





EXISTING



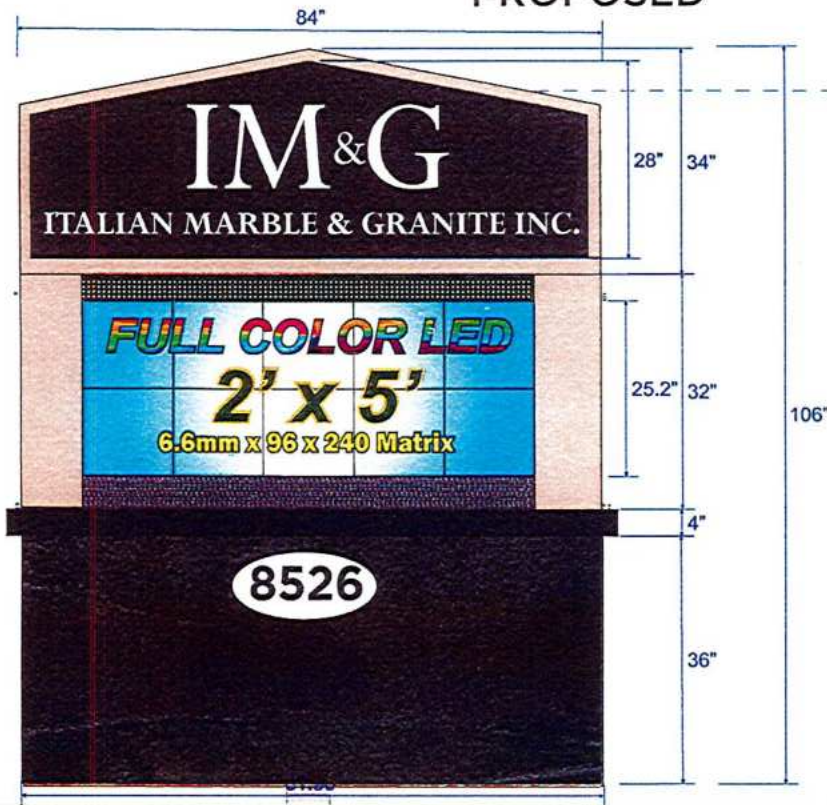
PROPOSED A



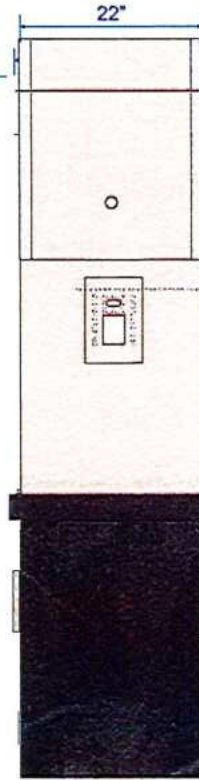
PROPOSED LED **A**  
 SCREEN SIZE: 2' x 5' = 10 sqft.  
 PIXEL: SMD RGB 3 in 1 PITCH: 6,6 mm  
 MATRIX: 64 x 160 = 10,240 pixels per side

 nassign.com	DRAWING TYPE: / STATUS: Concept: <input checked="" type="checkbox"/> Sales Survey: <input type="checkbox"/> After Survey Dimensions: <input checked="" type="checkbox"/> Approved For Fabrication Graphics Pending: <input type="checkbox"/> Approved For Fabrication Graphics Approved: <input type="checkbox"/>	APPROVAL STATUS: Customer: _____ Landlord Required: <input type="checkbox"/> N/A <input type="checkbox"/> Permit Required: <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Approval Date: ____/____/____	<b>BUILT IN BUFFALO!</b> *Property of N.A.S. SIGN COMPANY © 2025 all rights reserved	<b>NOW 10,000 NITS!!</b>   
	Customer: Italian Marble & Granite Job Site: 8526 Roll Rd. Clarence Center, NY Zip: 14032	Est# Job# Date: 10.14.25 11.16.25 Scale: " = 1"	Sales Rep: Designer: MB	This sign is intended to be installed in accordance with the requirements of article 600 of the national electrical codes. This includes binding and grounding of the sign.

Front View:



Side View:



**L-6.626**

- NEW POLE     EXISTING POLE
- NEW ILLUMINATED D/S CABINET
- EXISTING ILLUMINATED D/S CABINET
- NEW-D/S LED DISPLAY     EXISTING D/S LED DISPLAY

**SPECIFICATIONS:**

**SIGN DESCRIPTION:**  
 TYPE: NEW CUSTOM DOUBLE SIDED SIGN CABINET  
 HEIGHT: 34"    LENGTH: 84"    DEPTH: 22"  
 SQ. FT.: 18.6 SqFl.    COLOR:    RETAINERS: 1.5"

**SIGN FACES:**

TYPE:  FLAT     SMOOTH     PAN     EMBOSSED PAN     FLEX  
 MATERIAL: Acrylic    COLOR: White  
 THICKNESS:    CUT SIZE:    GRAPHICS:   

**LIGHTING:**

TYPE:    VOLTS:    COLOR:    ORIENTATION:    QUANTITY:   

**LED DISPLAY:**

MODEL: **DK-S-6.625**  
 CABINET & DISPLAY SIZE: 2' x 5' = 10 sq ft.  
 PITCH: 6.6mm    MATRIX: 96 X 240 Matrix  
 PIXEL TYPE: SMD RGB (3 IN 1)  
 TOTAL SQ. FT. 10 sq ft per side, 20sqft Total

**COMMUNICATION:**

- WIRELESS     NEW     EXISTING     DIRECT DATA

**ELECTRICAL REQUIRED:**

SIGN CABINET: 120-240 VAR  
 SHARE WITH LED DISPLAYS - 24/7/365

**LED DISPLAY:** 120-240 VAR

- 120V     40 AMPS PER SIDE
- 240V     20 AMPS PER SIDE

**POLE:**  NEW     EXISTING

**FOOTER:**  NEW     EXISTING

OPTION A



OPTION B



**DRAWING TYPE: / STATUS:**

- Concept:     Sales Survey:
- After Survey Dimensions:
- Approved For Fabrication Graphics Pending:
- Approved For Fabrication Graphics Approved:

**APPROVAL STATUS:**

- Customer: \_\_\_\_\_
- Landlord Required:  N/A
- Permit Required:  N/A
- Approval Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

**BUILT IN BUFFALO!**

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**NOW 10,000 NITS!!**



nassign.com

Customer: Italian Marble & Granite  
 Job Site: 8526 Roll Rd.  
 Clarence Center, NY    Zip: 14032

Est# Job#    Date: 10.14.25 11.16.25

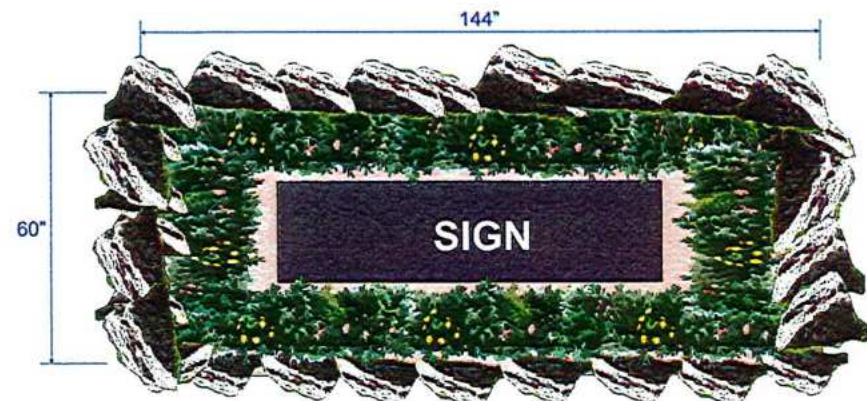
Scale: " = 1"





Template#

Sales Rep:

Designer: MB





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 nassign.com	<b>DRAWING TYPE: / STATUS:</b> Concept: <input checked="" type="checkbox"/> Sales Survey: <input type="checkbox"/> After Survey Dimensions <input checked="" type="checkbox"/> Approved For Fabrication Graphics Pending: <input type="checkbox"/> Approved For Fabrication Graphics Approved: <input type="checkbox"/>	<b>APPROVAL STATUS:</b> Customer: _____ Landlord Required: <input type="checkbox"/> N/A <input type="checkbox"/> Permit Required: <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Approval Date: ____/____/____	<b>BUILT IN BUFFALO!</b> *Property of N.A.S. SIGN COMPANY © 2025 all rights reserved	<b>NOW 10,000 NITS!!</b>   
	Customer: Italian Marble & Granite	Est# Job#	Date: 10.14.25 11.16.25	Sales Rep:
	Job Site: 8526 Roll Rd. Clarence Center, NY Zip: 14032	Scale: " = 1'	Template#	Designer: MB

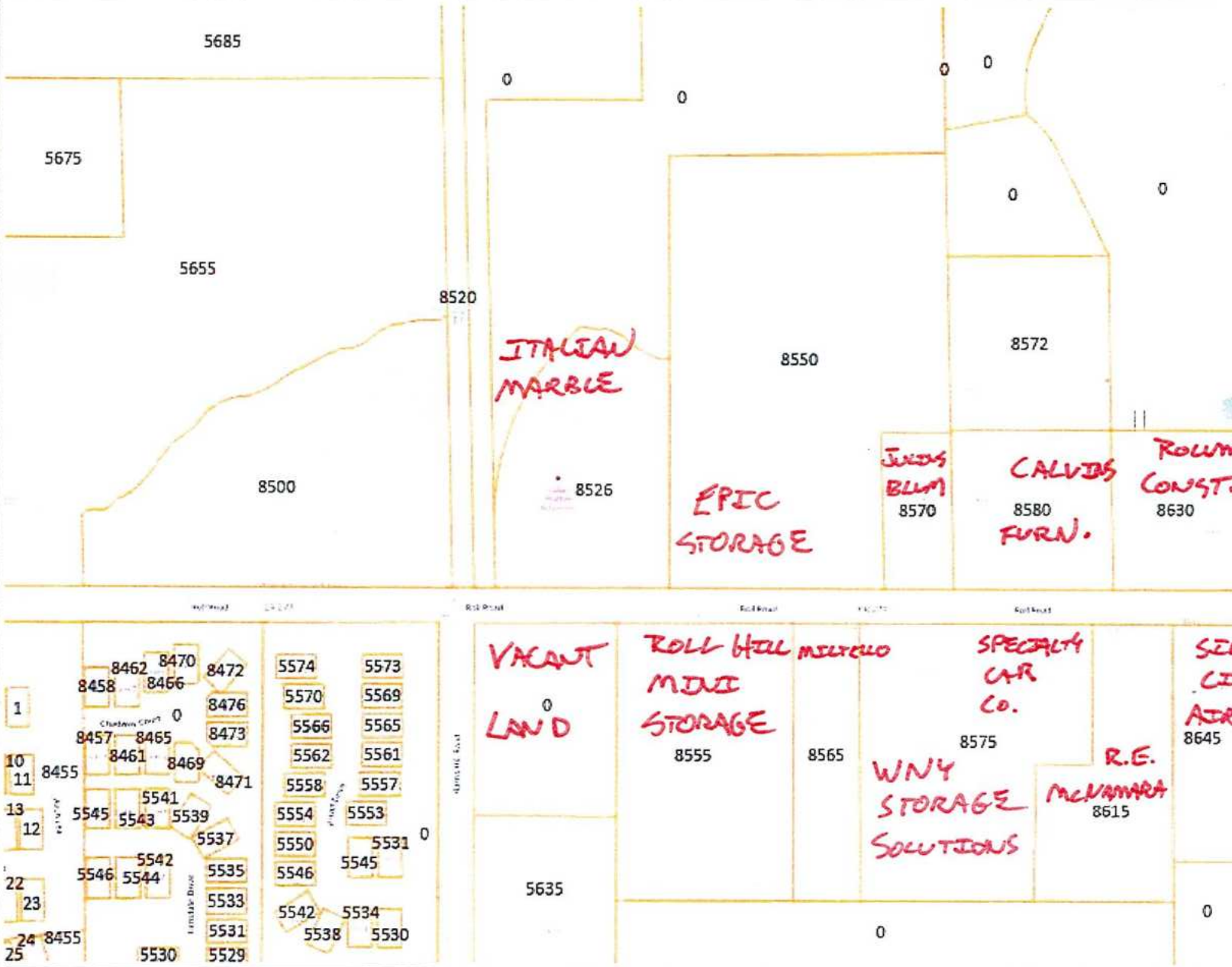
This sign is intended to be installed in accordance with the requirements of article 600 of the national electrical codes. This includes binding and grounding of the sign.



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# Erie County On-Line Mapping Application



**Legend**

- Parcels

Scale: 1: 4,514

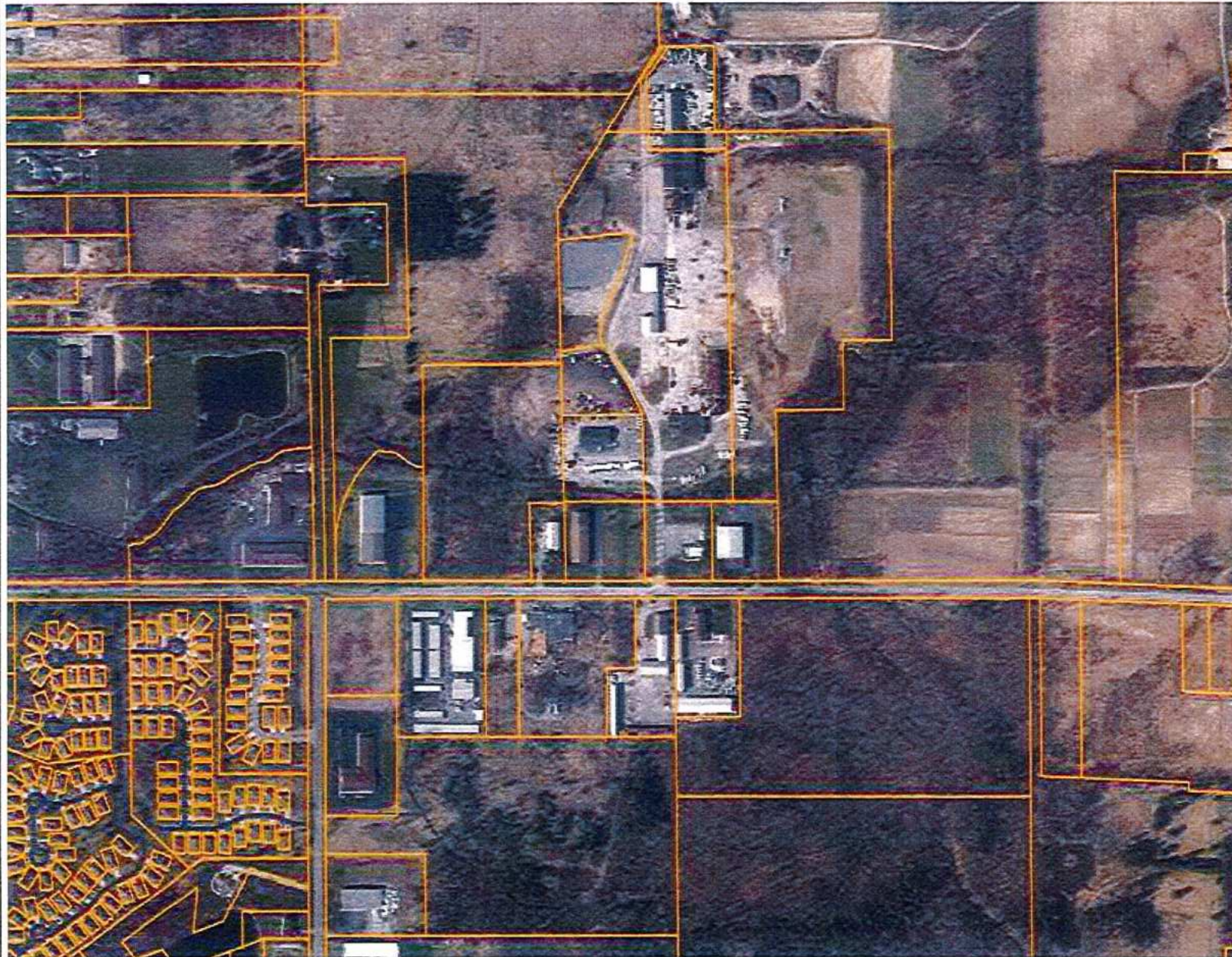
0 0.07 0.1 Miles  
 WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 THIS MAP IS NOT TO BE USED FOR NAVIGATION

**ERIE COUNTY**  
**DEPARTMENT OF ENVIRONMENT & PLANNING**  
**OFFICE OF GIS**

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



# Erie County On-Line Mapping Application



## Legend

 Parcels

0 0.14 0.3 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

**ERIE COUNTY**  
**DEPARTMENT OF ENVIRONMENT & PLANNING**  
**OFFICE OF GIS**

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1: 9,028











ITALIAN MARBLE & GRANITE INC.

8820

02.27.2026

ITALIAN MARBLE & GRANITE INC.

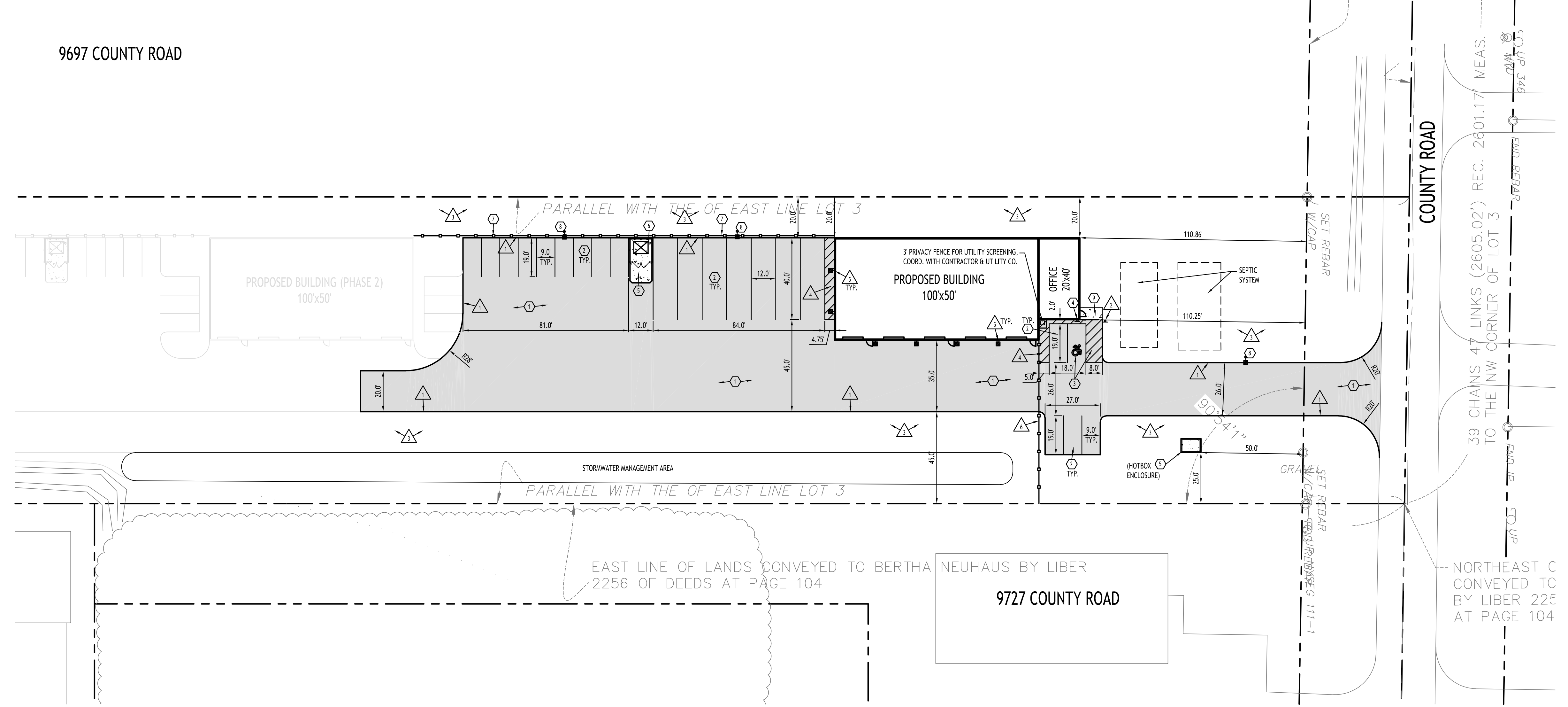
8526

02.27.2026

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9697 COUNTY ROAD



Site Data		
TOTAL SITE AREA = 4.88± ACRES		
ZONED: INDUSTRIAL BUSINESS PARK		
USE: PROPOSED WAREHOUSE & STORAGE BUILDINGS		
<b>SETBACKS - BUILDING</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
FRONT:	80 FT MIN.	103 FT MIN.
SIDE:	20 FT MIN.	20.0 FT MIN.
REAR:	25 FT MIN.	N/A
SIDE/REAR (ADJOINING RESIDENTIAL):	100 FT MIN.	163.14 FT MIN.
<b>SETBACKS - PARKING</b>		
ADJOINING RESIDENTIAL:	45 FT	45.0 FT
OTHER PROPERTY LINES:	5 FT	20.0 FT MIN.
<b>MAX BUILDING HEIGHT:</b>	45 FT	< 45 FT
<b>LOT COVERAGE (FOR ALL BLDGS):</b>	NOT TO EXCEED 75% OF GROSS LOT AREA	12.1% (0.59 AC)
<b>PARKING (TOTAL SITE):</b> 9 x 19	64	76

**PARKING CALCULATION:**  
 MANUFACTURING/WAREHOUSING/LIGHT ASSEMBLY  
 1 PER EMPLOYEE OF MAX. SHIFT, 1 PER 200 SF OF OFFICE  
 60 EMPLOYEES + 800 SF / 200 = 64 SPACES REQUIRED

**Site Plan**  
 SCALE: 1"=20'

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- ① HEAVY DUTY ASPHALT
  - ② 90' PARKING STALL
  - ③ HANDICAP PAVEMENT MARKINGS
  - ④ HANDICAPPED PARKING SIGN (BLDG. MOUNT)
  - ⑤ EXTERIOR CONCRETE SLAB ON GRADE
  - ⑥ DUMPSTER ENCLOSURE
  - ⑦ 6" BOARD ON BOARD FENCE
  - ⑧ LIGHT POLE FOUNDATION
  - ⑨ CONCRETE SIDEWALK

- NOTE LEGEND**
- △ EDGE OF PAVEMENT
  - △ INSTALL "NO PARKING" SIGN, AL.U.T.C.D. SIGN NO. RT-1C
  - △ LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
  - △ 4" WIDE WHITE PAINT STRIPE @ 45' R 2' O.C., INFILL AREA AS SHOWN
  - △ WALL PACK LIGHT, REFER TO LIGHTING PLAN LP-100
  - △ SECURITY FENCE & GATE, DETAILED BY OTHERS

- SITE NOTES:**
- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
  - ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
  - ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
  - CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
  - BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  - GATE TO EITHER SWING OR SLIDE, AND BE EQUIPPED WITH KNOX SWITCH FOR EMERGENCY ACCESS OVERRIDE.

- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNERS APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
  - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  - ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.

**SITE LEGEND**

PROPERTY LINE	---
PROPOSED SIDEWALK / CONCRETE PAD	▬
NUMBER OF PARKING SPACES	②
PROPOSED SIGN	▼
PROPOSED STANDARD DUTY ASPHALT PAVEMENT	■
PROPOSED LIGHT POLE	⊥

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**CARMINA WOOD**  
 DESIGN  
 Buffalo | Utica | Greensboro

**Proposed Warehouses**  
 9717 County Road  
 Clarence, NY

**REVISIONS:**

No.	Description	Date
1	Rev. per ECDOR comments	1/6/26
2	Rev. per Town comments	1/26/26
3	Rev. per Town comments	2/20/26
4	Rev. per Town comments	3/5/26



**DRAWING NAME:**  
 Site Plan  
 Phase 1

Date: 10/29/25  
 Drawn By: C. Wood  
 Scale: As Noted

**DRAWING NO.:**  
**C-101**  
 Project No: 24-4125

# Proposed Warehouses - Phase 1

9717 County Road  
Clarence, New York

## SITE DEVELOPMENT DRAWINGS

### AGENCIES

#### ENGINEERING DEPARTMENT

NAME/TITLE: TIMOTHY LAVOCAT P.E., TOWN ENGINEER  
COMPANY/DEPT: TOWN OF CLARENCE ENGINEERING DEPARTMENT  
ADDRESS: 6221 GOODRICH ROAD  
CLARENCE CENTER, NEW YORK 14032

TELEPHONE 716-741-8952

#### PLANNING & ZONING DEPARTMENT

NAME/TITLE: JONATHAN BLEUER, DIRECTOR OF COMMUNITY DEVELOPMENT  
COMPANY/DEPT: TOWN OF CLARENCE PLANNING DEPARTMENT  
ADDRESS: ONE TOWN PLACE  
CLARENCE, NEW YORK 14031

TELEPHONE 716-741-8933

#### LAND SURVEYOR

NAME/TITLE: WM SCHUTT & ASSOCIATES, P.C.

COMPANY/DEPT: 37 CENTRAL AVE  
ADDRESS: LANCASTER, NY 14086

TELEPHONE 716-683-5961

### UTILITIES

#### NATURAL GAS

COMPANY/DEPT.: NATIONAL FUEL GAS CORP.  
ADDRESS: 6363 MAIN STREET  
WILLIAMSVILLE, NEW YORK 14221

TELEPHONE 716-857-7000

#### TELEPHONE COMPANY

COMPANY/DEPT: VERIZON  
ADDRESS: 65 FRANKLIN STREET  
BUFFALO, NEW YORK 14203

TELEPHONE 716-840-8748

#### CABLE COMPANY

COMPANY/DEPT: TIME WARNER  
ADDRESS: 789 CHURCH ROAD  
WEST SENECA, NEW YORK

TELEPHONE 716-558-8615

#### ELECTRIC COMPANY

COMPANY/DEPT: NATIONAL GRID  
ADDRESS: 144 KENSINGTON AVENUE  
BUFFALO, NEW YORK 14214

TELEPHONE 716-236-2738

#### WATER

COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY  
ADDRESS: 3030 UNION ROAD  
CHEEKTOWAGA, NEW YORK 14227

TELEPHONE 716-684-1510

#### DIG SAFELY NEW YORK

TELEPHONE 1-800-962-7962

### OWNER/DEVELOPER

NAME: SWITATLA & SONS CONSTRUCTION

ADDRESS: 6352 LOCUST ST EXT.  
LOCKPORT, NY 14094

CONTACT: RICK SWITALA

TELEPHONE 716-998-2566

### ENGINEER

## CARMINAWOOD DESIGN

80 Silo City Row, Suite 100  
Buffalo, New York 14203  
Phone: (716) 842-3165

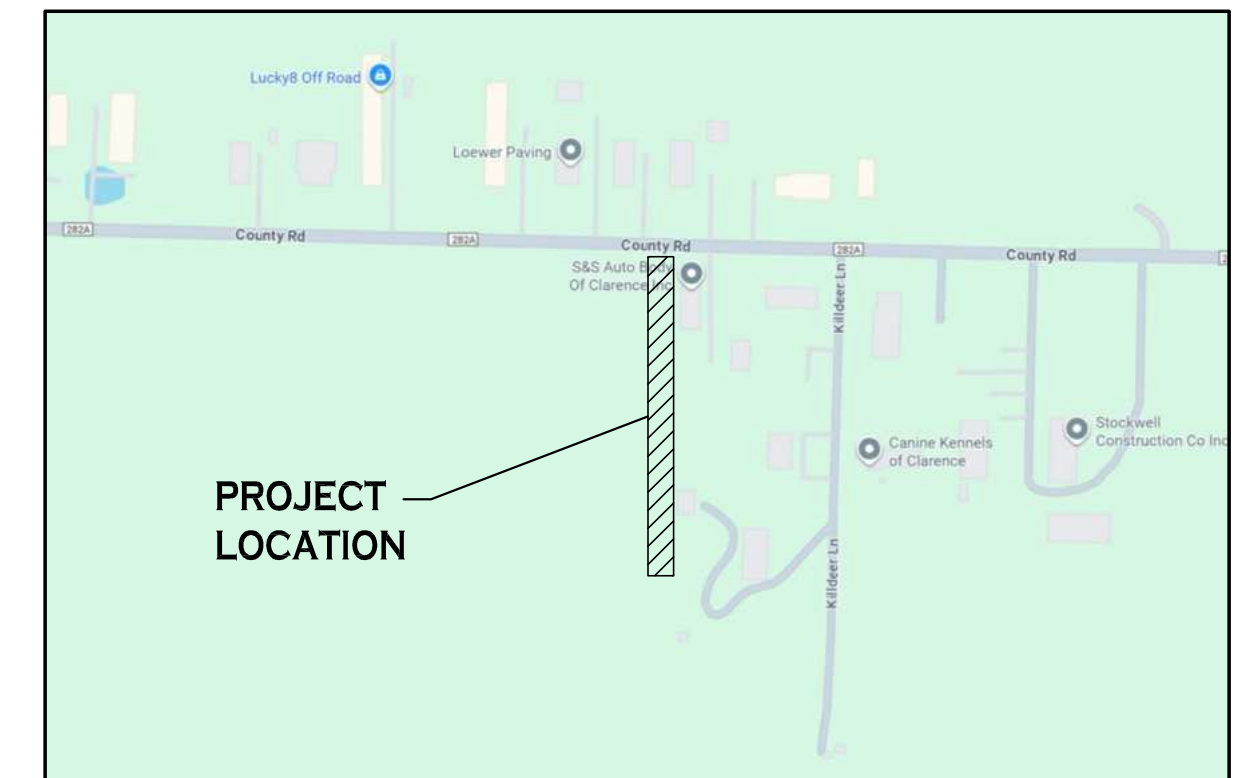
111 Bain Street, Suite 332  
Greensboro, North Carolina 27406  
Phone: (336) 937-9009

#### SANITARY

COMPANY/DEPT: ERIE COUNTY DEPARTMENT OF HEALTH

ADDRESS: 503 KENSINGTON AVE  
BUFFALO, NEW YORK 14214

TELEPHONE 716-858-6854



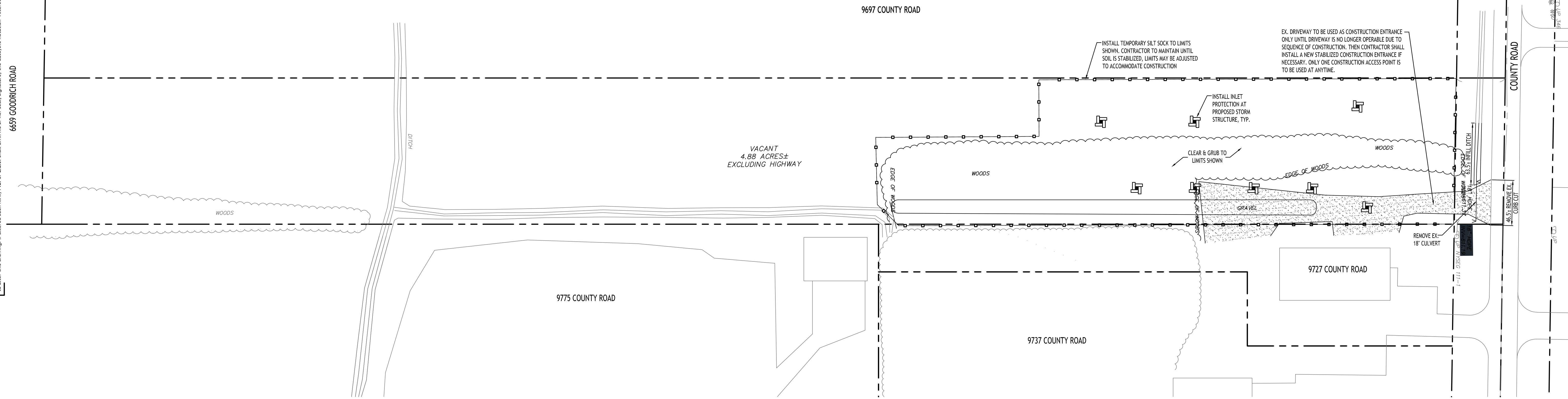
**LOCATION MAP**

DWG NO.	DRAWING TITLE
-	COVER SHEET
-	SURVEY & TOPOGRAPHIC MAP
C-001	DEMOLITION & EROSION CONTROL PLAN - PHASE 1
C-002	DEMOLITION & EROSION CONTROL DETAILS
C-100	SITE PLAN OVERALL
C-101	SITE PLAN - PHASE 1
C-102	SITE DETAILS
C-200	GRADING PLAN OVERALL
C-201	GRADING PLAN - PHASE 1
C-300	STORM DRAINAGE PLAN OVERALL
C-301	STORM DRAINAGE PLAN - PHASE 1
C-302	STORM DRAINAGE DETAILS
C-400	UTILITY PLAN OVERALL
C-401	UTILITY PLAN - PHASE 1
C-402	UTILITY DETAILS
C-403	SEPTIC DETAILS
C-404	SEPTIC DETAILS
L-100	LANDSCAPE PLAN, PLANT SCHEDULE, PLANTING NOTES
L-101	LANDSCAPE PLAN, PLANT SCHEDULE, SITE DETAILS
L-102	LANDSCAPE PLAN, DETAILS, PLANT SCHEDULE
LP-100	LIGHTING PLAN OVERALL
LP-101	LIGHTING PLAN - PHASE 1
CP-100	PHASING PLAN

# OCTOBER 2025

REV. NOVEMBER 2025  
REV. DECEMBER 2025  
REV. JANUARY 2026  
REV. FEBRUARY 2026





**Demolition & Erosion Control Plan**  
SCALE: 1"=50'

**DEMOLITION NOTES:**

1. ALL PERIMETER SILT SOCK TO BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITY BEGINNING.
2. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT THOSE ITEMS TO REMAIN, SUCH AS TREES, PROPERTY CORNER PINS, UTILITY POLES, VALVES, HYDRANTS, CURBS, MANHOLES AND CATCH BASINS.
3. TEMPORARY SILT SOCK TO BE INSTALLED AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE. MAINTAIN UNTIL VEGETATION IS ESTABLISHED AND PAVEMENT IS INSTALLED.
4. AS NECESSARY, COVERED DUMPSTERS SHALL BE PROVIDED ONSITE AS REQUIRED FOR CONSTRUCTION WASTE.
5. REMOVE ALL TREES AND STUMPS AS SHOWN AND DISPOSE OF OFF SITE. CONTRACTOR TO PROTECT ALL TREES/BRUSH NOT DISTURBED BY CONSTRUCTION ACTIVITY. LOCATIONS OF TREES SHOWN ON PLAN ARE APPROXIMATE, CONTRACTOR TO CONFIRM LOCATION PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO COORDINATE WITH TOWN LANDSCAPE ARCHITECT WHICH TREES SHALL BE REMOVED AND WHICH SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION.
7. EXISTING CURB AND REMOVAL OF EXISTING ENTRANCE SHALL BE SAW CUT FULL-DEPTH AND NEATLY REMOVED FROM THE BACKSIDE. EXISTING PAVEMENT SHALL NOT BE DISTURBED AND THE PAVEMENT EDGE SHALL BE USED AS FORM FOR PLACING NEW CURB.
8. REMOVE EXISTING BUILDING TO INCLUDE ALL FOUNDATIONS, PORCHES, STEPS, ETC. ALL UTILITY CONNECTIONS TO BE ABANDONED AND/OR REMOVED PER COUNTY, TOWN, AND UTILITY COMPANY REQUIREMENTS.

**EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL PROCEDURES SHALL BE ADHERED TO BY THE CONTRACTOR:

1. INSTALL TEMPORARY SILT SOCK BARRIERS AS DIRECTED BY THE OWNER AND AT ALL EXISTING STORMWATER CATCH BASINS WITHIN THE WORK AREA TO PREVENT SEDIMENT MIGRATION. ALL SILT SOCK BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR RE-USE AS DIRECTED BY THE OWNER. ALL LOCAL ORDINANCES REGARDING THE SALE OF TOPSOIL MUST BE FOLLOWED. TOPSOIL MAY NOT BE REMOVED WITHOUT A PERMIT.
3. ALL SILT SOCK BARRIERS SHALL BE REPLACED WHEREVER THEY BECOME CLOGGED OR INOPERABLE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION. DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND SPREAD WATER AS NECESSARY AND AS DIRECTED BY THE OWNER IN ORDER TO CONTROL DUST.
6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTOR ON A DAILY BASIS.
7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM 4" DEPTH AND SEEDING IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES, AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TOWN/CITY.
9. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE NEW SLOPES ARE STABILIZED WITH SEEDING AND/OR SLOPE PROTECTION, AS DIRECTED BY THE ENGINEER.
10. INSTALL TEMPORARY SILT SOCK AROUND THE BASE OF STOCKPILES. STOCKPILES NOT BEING ACTIVELY USED FOR MORE THAN SEVEN (7) DAYS SHALL BE STABILIZED.
11. THE PROFESSIONAL CERTIFYING COMPLIANCE TO NYSDEC PHASE II STORMWATER REGULATION REQUIREMENTS MUST INSPECT AT A MINIMUM WEEKLY, AND WHEN DISTURBING MORE THAN 5 ACRES TWICE A WEEK, AND SHALL PROVIDE THESE INSPECTION REPORT WITH A WRITTEN CERTIFICATION OF CONSTRUCTION COMPLIANCE TO THE TOWN OF CLARENCE (BIWEEKLY).
12. THE ENGINEER OF RECORD FOR THIS PROJECT CERTIFIES THAT THESE DESIGN PLANS MEET THE REQUIREMENTS AND ARE IN COMPLIANCE WITH THE NEW YORK STORMWATER MANAGEMENT DESIGN MANUAL AND NYSDEC PHASE II STORMWATER REGULATION REQUIREMENTS.

AREA OF DISTURBANCE (PHASE 1) = 1.8 AC±

**DEMOLITION & EROSION CONTROL LEGEND**

- EXISTING PAVEMENT TO BE SAWCUT & REMOVED
- PROPOSED SILT SOCK
- EXISTING TREE TO BE REMOVED
- PROPOSED STORM INLET PROTECTION

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:	Date
No. Description	



**DRAWING NAME:**  
Demolition & Erosion Control Plan - Phase 1

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**

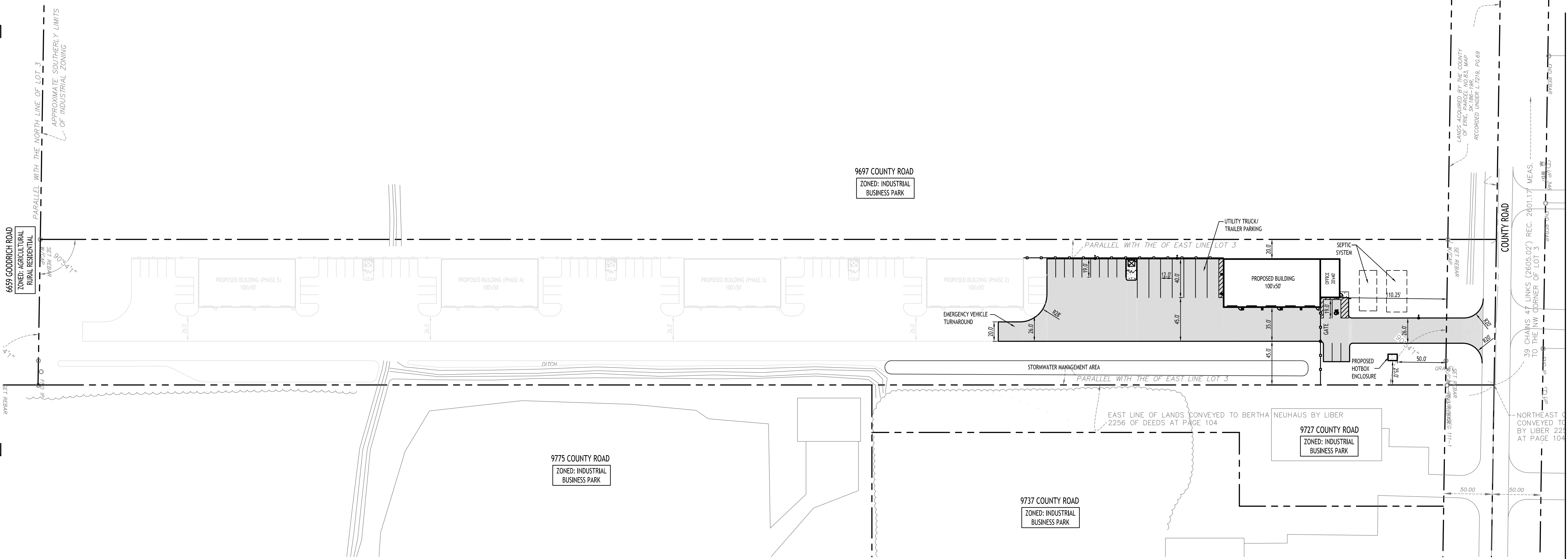
**C-001**

Project No: 24-4125



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Site Data		
TOTAL SITE AREA - 4.88± ACRES		
ZONED: INDUSTRIAL BUSINESS PARK		
USE: PROPOSED WAREHOUSE & STORAGE BUILDINGS		
<b>SETBACKS - BUILDING</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
FRONT:	80 FT MIN.	103 FT MIN.
SIDE:	20 FT MIN.	20.0 FT MIN.
REAR:	25 FT MIN.	N/A
SIDE/REAR (ADJOINING RESIDENTIAL):	100 FT MIN.	163.14 FT MIN.
<b>SETBACKS - PARKING</b>		
ADJOINING RESIDENTIAL:	45 FT	45.0 FT
OTHER PROPERTY LINES:	5 FT	20.0 FT MIN.
<b>MAX BUILDING HEIGHT:</b>	45 FT	< 45 FT
<b>LOT COVERAGE (FOR ALL BLDGS):</b>	NOT TO EXCEED 75% OF GROSS LOT AREA	12.1% (0.59 AC)
<b>PARKING (TOTAL SITE): 9 x 19'</b>	64	76

**PARKING CALCULATION:**  
 MANUFACTURING/WAREHOUSING/LIGHT ASSEMBLY  
 1 PER EMPLOYEE OF MAX. SHFT, 1 PER 200 SF OF OFFICE  
 60 EMPLOYEES + 800 SF / 200 = 64 SPACES REQUIRED

**Site Plan**  
 SCALE: 1"=50'

**SITE NOTES:**

- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
- ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
- CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
- BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
- GATE TO EITHER SWING OR SLIDE, AND BE EQUIPPED WITH KNOX SWITCH FOR EMERGENCY ACCESS OVERRIDE.

**GENERAL NOTES:**

- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNERS APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.

**SITE LEGEND**

- PROPERTY LINE
- PROPOSED SIDEWALK / CONCRETE PAD
- NUMBER OF PARKING SPACES
- PROPOSED SIGN
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED LIGHT POLE

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:	No.	Description	Date
1	1	Rev. per ECDOR comments	1/6/26
2	2	Rev. per Town comments	1/26/26
3	3	Rev. per Town comments	2/20/26



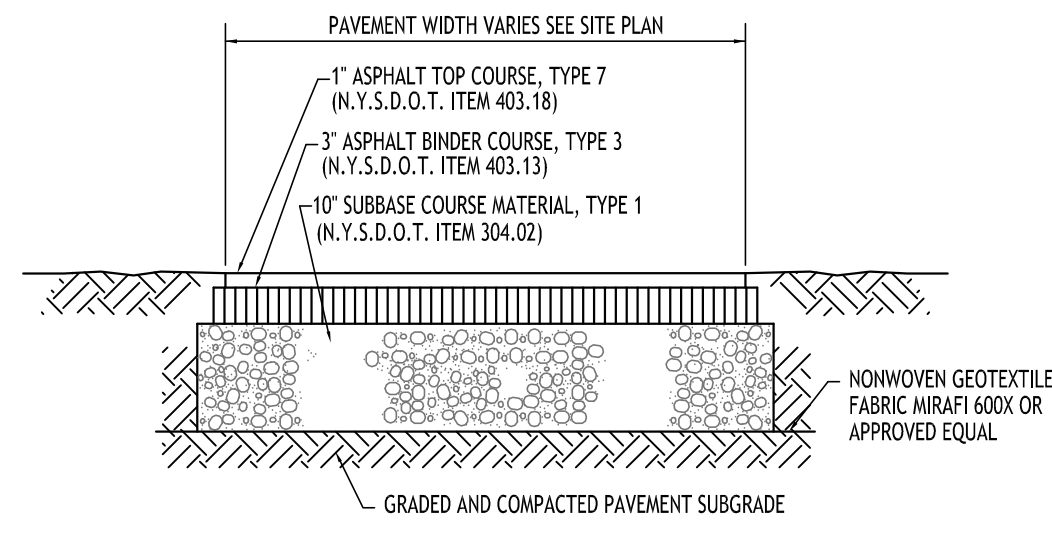
**DRAWING NAME:**  
 Site Plan  
 Overall

Date: 10/29/25  
 Drawn By: C. Wood  
 Scale: As Noted

**DRAWING NO.:**

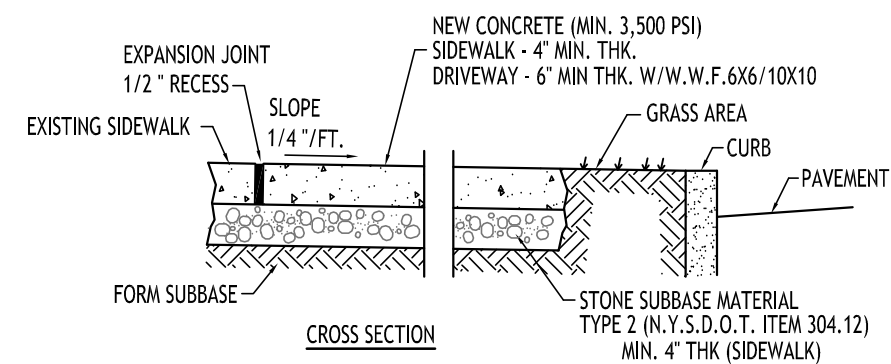
**C-100**

Project No: 24-4125



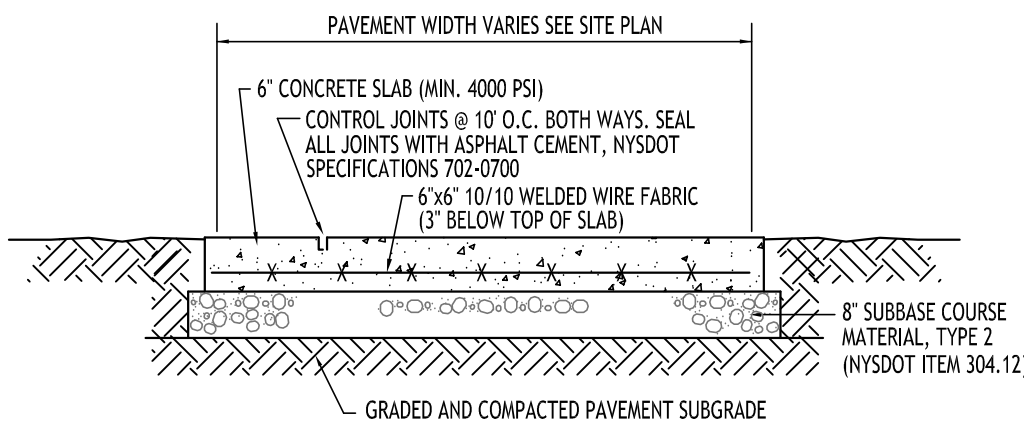
NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 403.1, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYSDOT STANDARD SPECIFICATION 304.3.

**HEAVY DUTY ASPHALT SECTION - 1**  
NOT TO SCALE



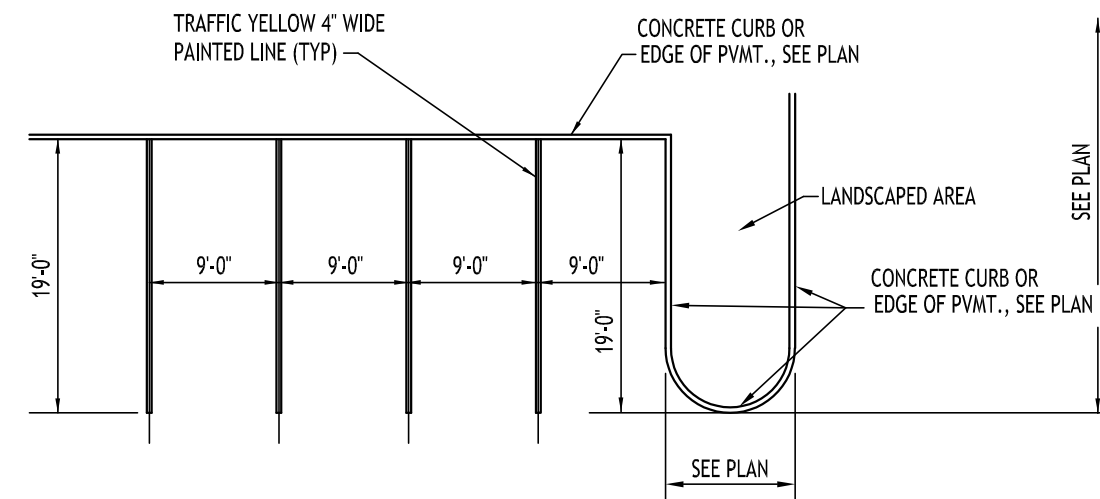
- NOTES:
- CONTROL JOINTS TO BE AT 5'-0" O.C., BOTHWAYS WHERE APPLICABLE. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700.
  - CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3.
  - SUBBASE GRADE SHALL FOLLOW THE PROPOSED GRADE OF THE SIDEWALK AND SLOPE AWAY FROM BUILDING WHERE APPLICABLE. PROVIDE CONTINUOUS STONE PATH TO CURB UNDERDRAIN WHERE PROVIDED.
  - FULL DEPTH EXPANSION JOINTS SHALL BE INSTALLED EVERY 20' O.C., BOTHWAYS WHERE APPLICABLE. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700.
  - SEE CURB DETAIL FOR DOWLING REQUIREMENTS WHERE ABUTTING CURB.
  - INSTALL 6" LONG #3 DOWELS @ 12" O.C. WHERE SIDEWALK ABUTS A BUILDING WALL AT AN ENTRANCE, THICKEN SIDEWALK TO 6" AT BUILDING WALL AND INSTALL DOWEL CENTERED IN THE 6" DEPTH. DOWELS AND THICKENING OF SIDEWALK SHALL EXTEND 18" EITHER SIDE OF ENTRANCE.
  - INSTALL 1/2" PREMOLED EXPANSION JOINT WITH BACKER ROD & SEALANT WHERE SIDEWALK ABUTS BUILDING OR OTHER STRUCTURE.

**CONCRETE SIDEWALK - 9**  
NOT TO SCALE

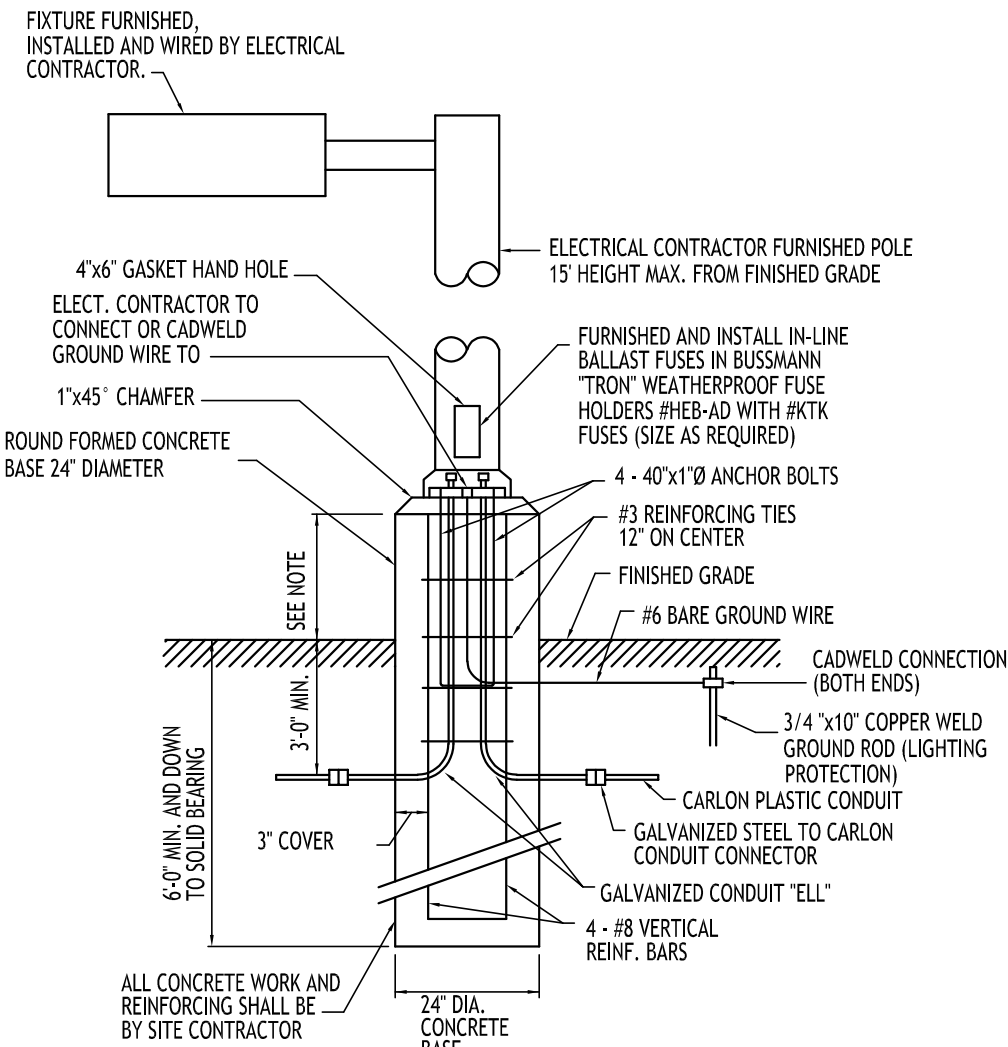


NOTE: CONCRETE PAVEMENT MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 502.3.

**EXTERIOR CONCRETE SLAB-ON-GRADE SECTION - 5**  
NOT TO SCALE

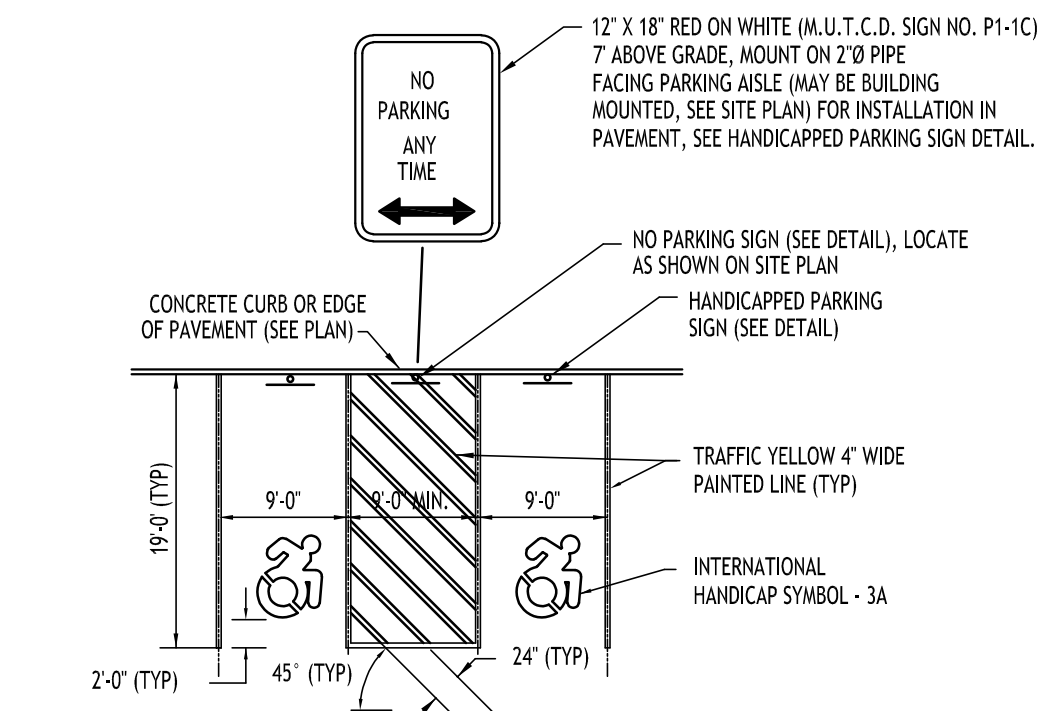


**90° PARKING STALL LAYOUT - 2**  
NOT TO SCALE

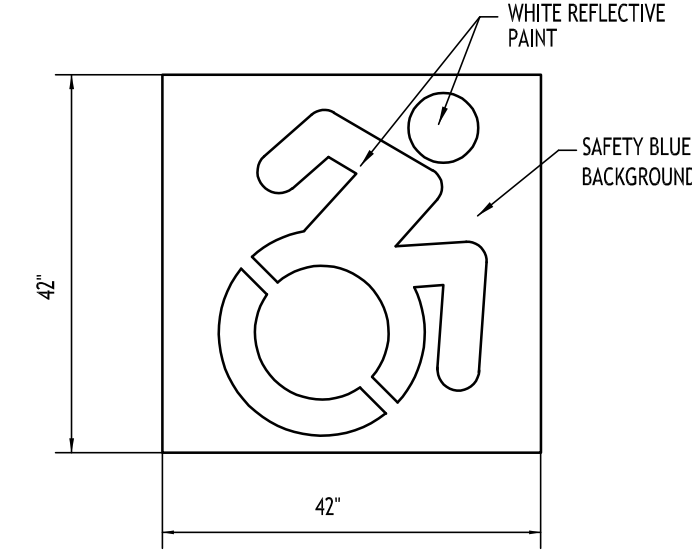


- NOTES:
- FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN.
  - FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN.
  - LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:  
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION  
IN PAVEMENT: 30" ABOVE GRADE  
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

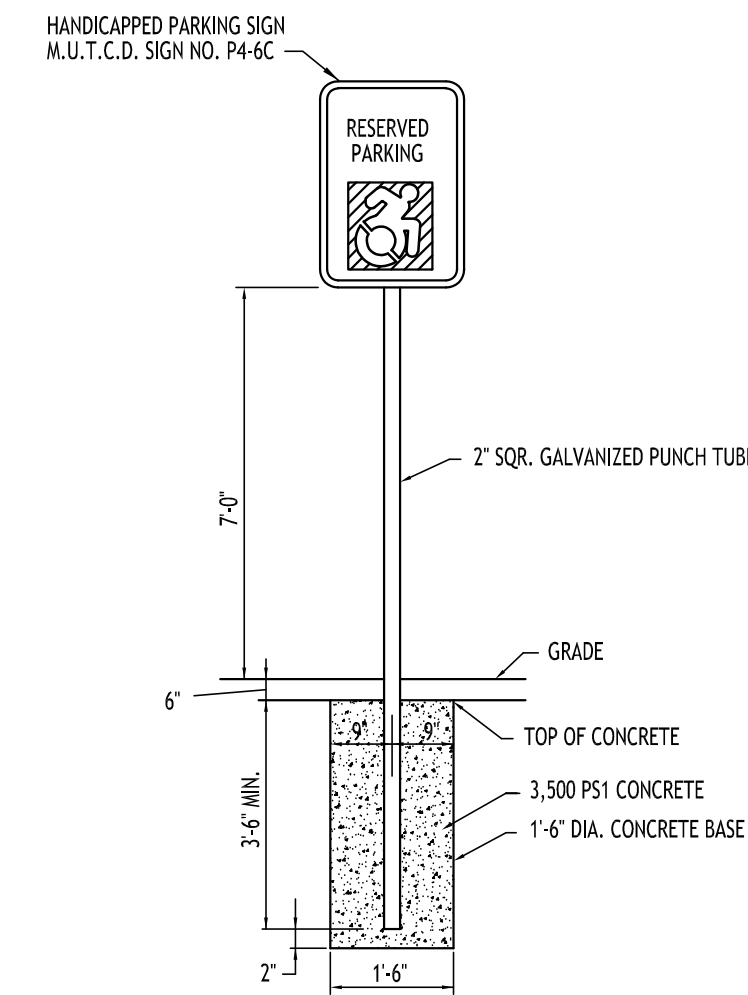
**LIGHT POLE FOUNDATION - 8**  
NOT TO SCALE



**HANDICAPPED PAVEMENT MARKINGS & SIGNAGE - 3**  
NOT TO SCALE

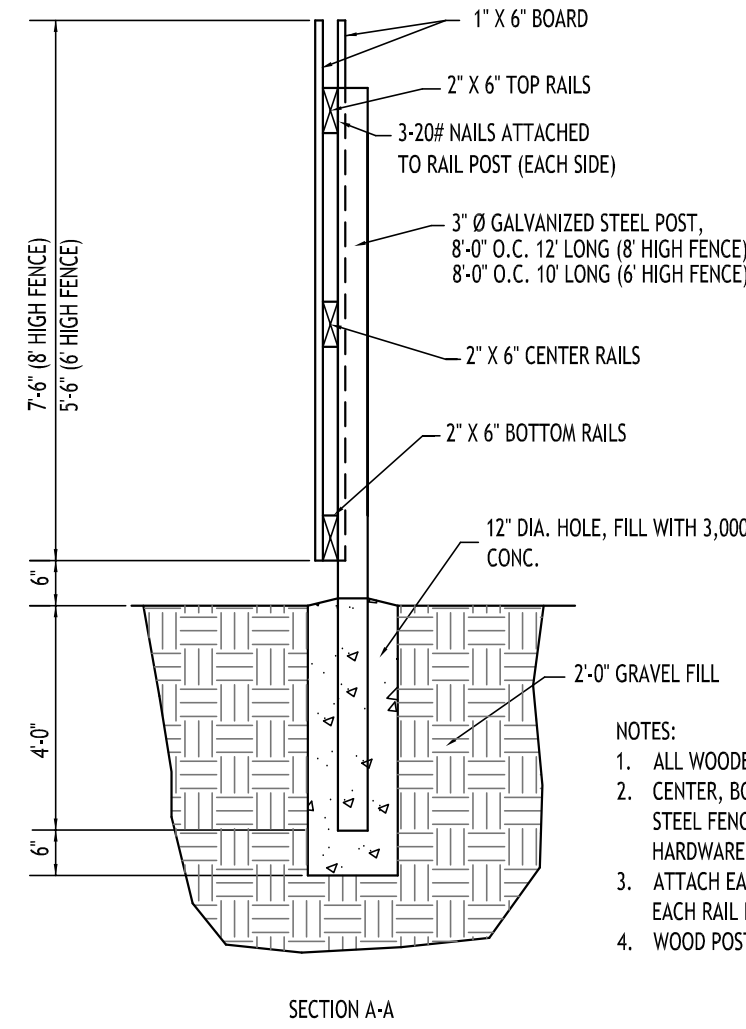


**INTERNATIONAL HANDICAP SYMBOL - 3A**  
NOT TO SCALE



NOTES:  
1. HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

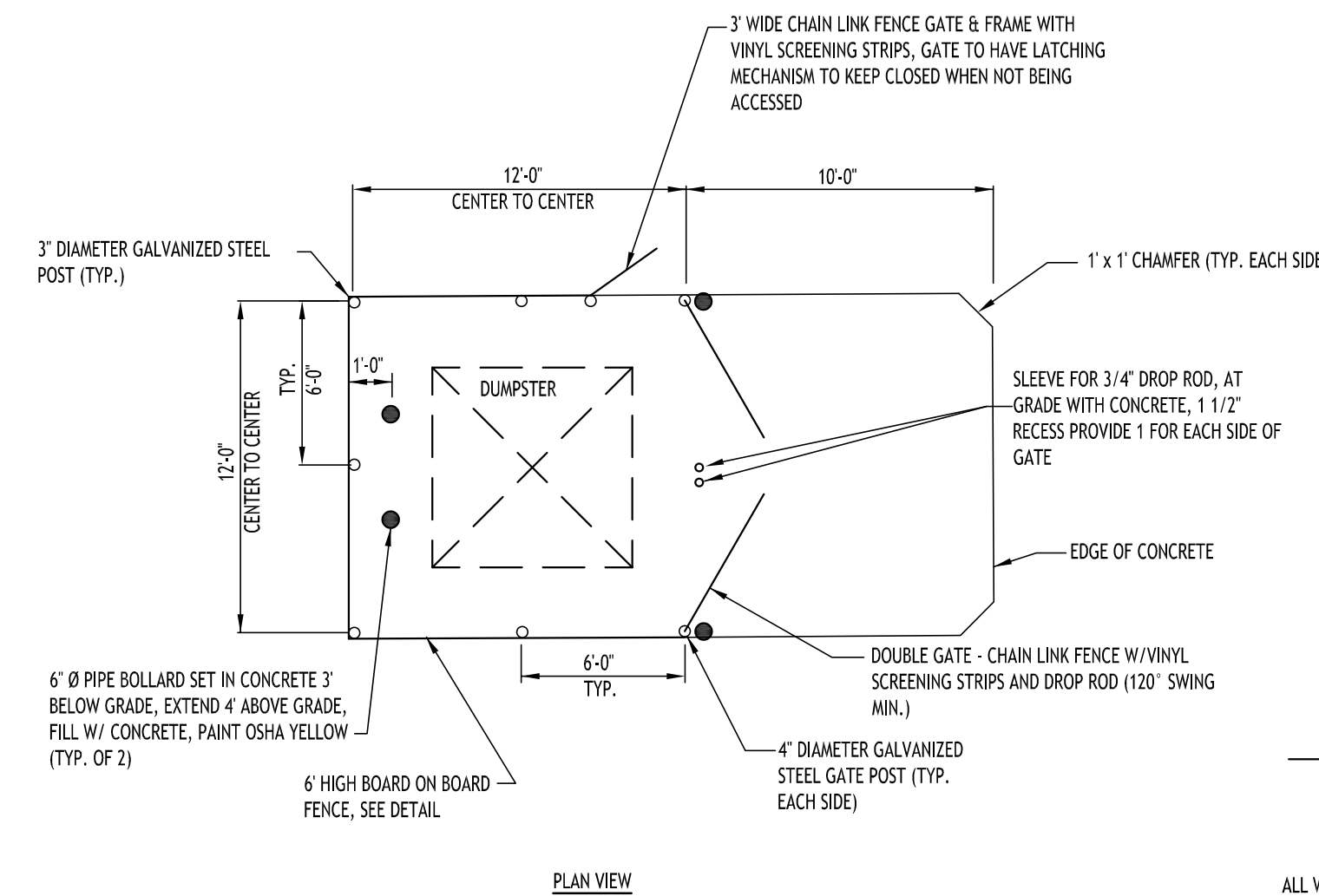
**HANDICAPPED PARKING SIGN - 4**  
NOT TO SCALE



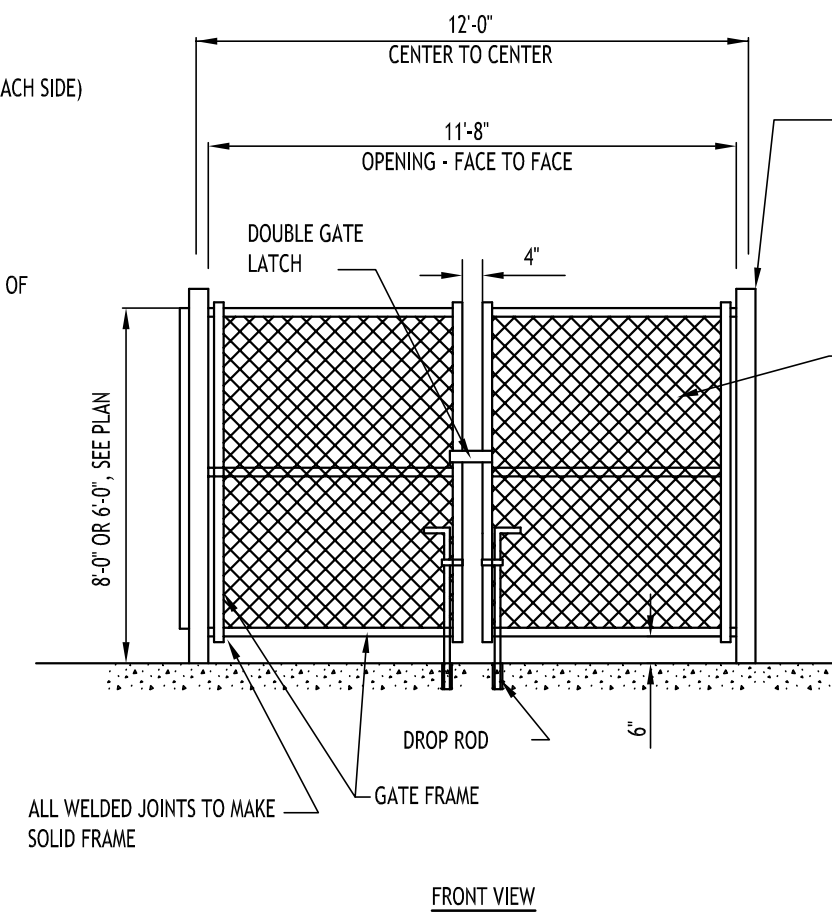
SECTION A-A

- NOTES:
- ALL WOODEN FENCE MATERIAL TO BE PRESSURE TREATED PINE.
  - CENTER, BOTTOM AND TOP RAILS TO BE FASTENED TO 3" Ø GALVANIZED STEEL FENCE POSTS USING SIMPSON PIPE GRIP TIES OR EQUAL. ALL HARDWARE TO BE GALVANIZED.
  - ATTACH EACH 1" X 6" BOARD TO RAILS USING (3) GALVANIZED NAILS AT EACH RAIL LOCATION.
  - WOOD POSTS CAN BE SUBSTITUTED FOR STEEL.

**6' BOARD ON BOARD FENCE - 7**  
NOT TO SCALE



PLAN VIEW



FRONT VIEW

**DUMPSTER ENCLOSURE - 6**  
NOT TO SCALE

**CHAIN LINK FENCE GATE NOTES:**

- GATE POST FOOTINGS TO BE MIN. 36" DEEP x (4x) POST DIAMETER, EXTEND POST TO WITHIN 6" OF BOTTOM.
- GATE FRAMES TO BE 2" SQ. GALVANIZED STEEL, WEIGHING 2.60 LB/FT IN ACCORDANCE WITH ASTM F 900.
- CHAIN LINK FENCE FABRIC SHALL BE 2" MESH, 9 GAUGE, ZINC COATED STEEL CORE WIRE. INSTALL MESH WITH HOOK BOLTS AND TENSION BARS ON ALL 4 SIDES, ATTACH AT 15" MAX.
- DOUBLE GATE LATCH TO BE FORKED TYPE CAPABLE OF RETAINING GATE IN CLOSED POSITION AND HAVE PROVISION FOR PAD LOCK. LATCH SHALL BE OPERABLE FROM EITHER SIDE OF GATE.
- ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL TO SUIT GATE SIZE.

REVISIONS:	No.	Description	Date



DRAWING NAME:  
**Site Details**

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

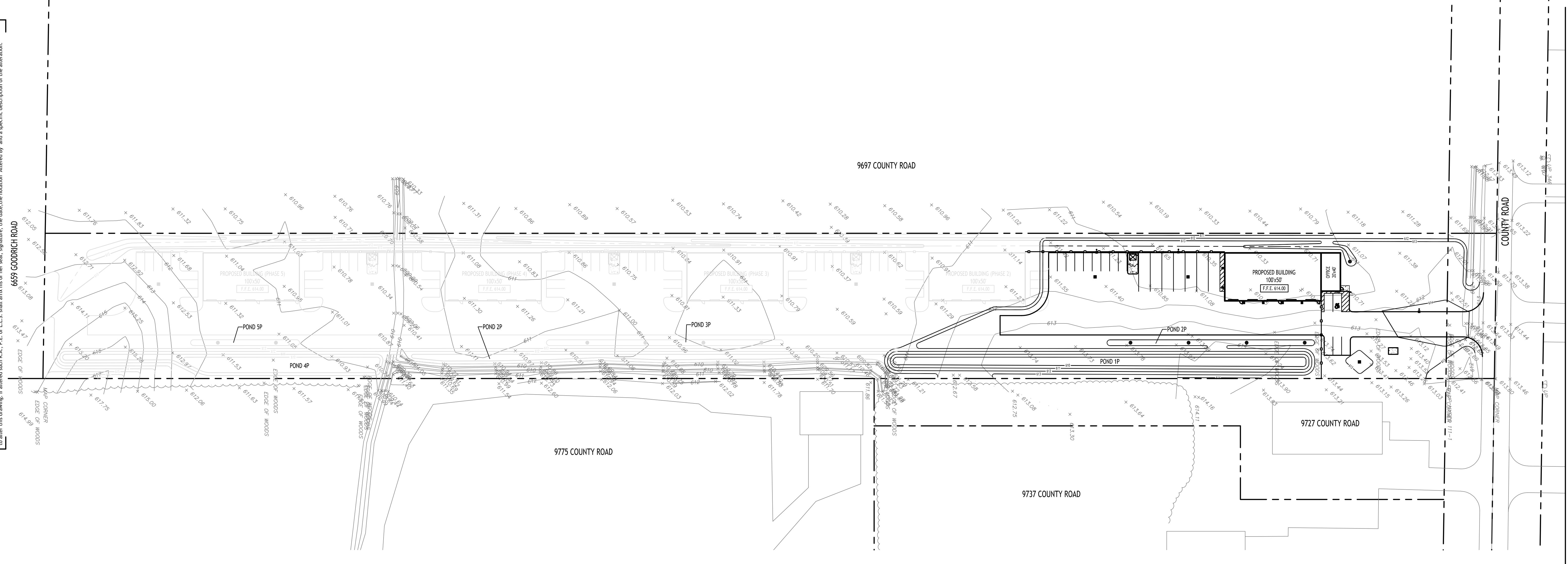
DRAWING NO.:

**C-102**

Project No: 24-4125

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**N Grading Plan**  
SCALE: 1"=50'

PRE DEVELOPMENT STORMWATER EVENT SUMMARIES (NORTH)			
Event	Runoff (cfs)	Volume (cubic-feet)	Depth (inches)
1-Year	1.70	8,609	0.65
10-Year	4.50	21,508	1.63
25-Year	6.19	29,394	2.23
100-Year	9.66	45,875	3.48

POST DEVELOPMENT STORMWATER EVENT SUMMARIES (POND 1P)			
Event	Runoff (cfs)	Volume (cubic-feet)	Elevation (ft)
1-Year	1.70	3,348	610.61
10-Year	3.24	8,145	611.18
25-Year	4.00	10,956	611.44
100-Year	4.79	17,023	611.91

**PROPOSED GRADING LEGEND**

- PROPOSED CONTOUR ——— 10'
- PROPOSED SPOT ELEVATION 100.00
- PROPOSED TOP/BOTTOM OF CURB TC 100.30  
BC 100.00
- PROPOSED CATCH BASIN ■ CB
- PAVEMENT/GROUND SLOPE ———
- PROPOSED MANHOLE ● MH
- PROPOSED SWALE - - - - -

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

REVISIONS:

No.	Description	Date
1	Rev. per Town comments	1/26/25



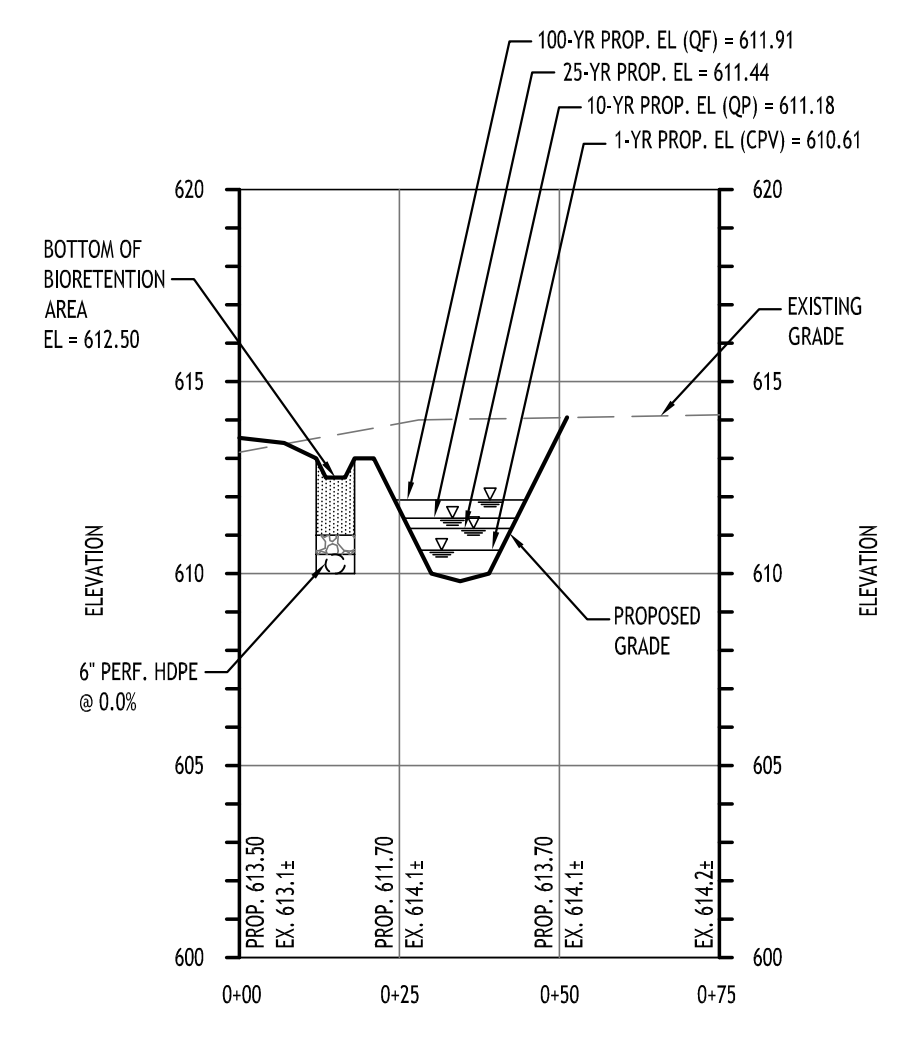
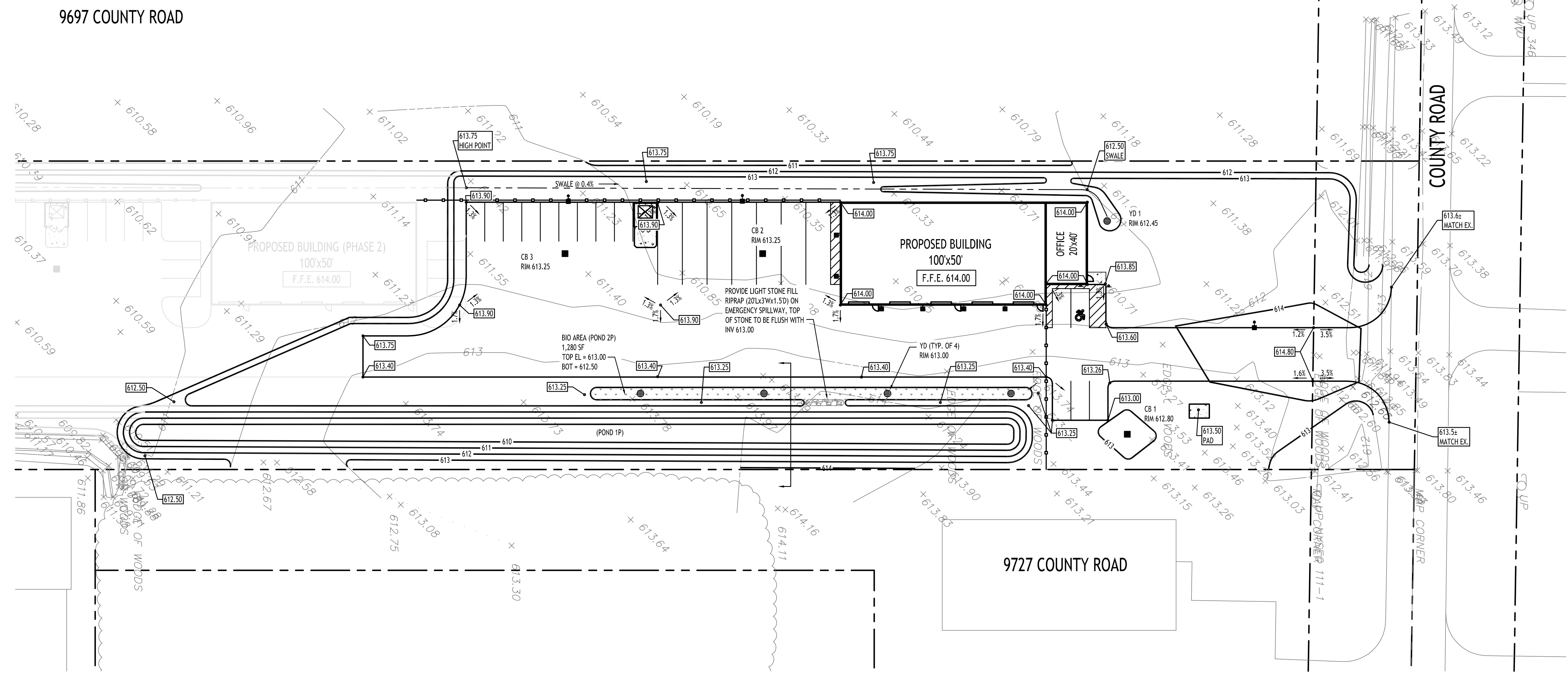
DRAWING NAME:  
**Grading Plan Overall**

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-200**  
Project No: 24-4125

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Section through Pond 1P  
 HORZ. SCALE: 1"=30'  
 VERT. SCALE: 1"=5'

**Grading Plan**  
 SCALE: 1"=30'

**PRE DEVELOPMENT STORMWATER EVENT SUMMARIES (NORTH)**

Event	Runoff (cfs)	Volume (cubic-feet)	Depth (inches)
1-Year	1.70	8,609	0.65
10-Year	4.50	21,508	1.63
25-Year	6.19	29,394	2.23
100-Year	9.66	45,875	3.48

**POST DEVELOPMENT STORMWATER EVENT SUMMARIES (POND 1P)**

Event	Runoff (cfs)	Volume (cubic-feet)	Elevation (ft)
1-Year	1.70	3,348	610.61
10-Year	3.24	8,145	611.18
25-Year	4.00	10,956	611.44
100-Year	4.79	17,023	611.91

- PROPOSED GRADING LEGEND**
- PROPOSED CONTOUR — 101 —
  - PROPOSED SPOT ELEVATION — 100.00 —
  - PROPOSED TOP/BOTTOM OF CURB — TC 100.00 / BC 100.00 —
  - PROPOSED CATCH BASIN — CB —
  - PAVEMENT/GROUND SLOPE — —
  - PROPOSED MANHOLE — MH —
  - PROPOSED SWALE — —

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**REVISIONS:**

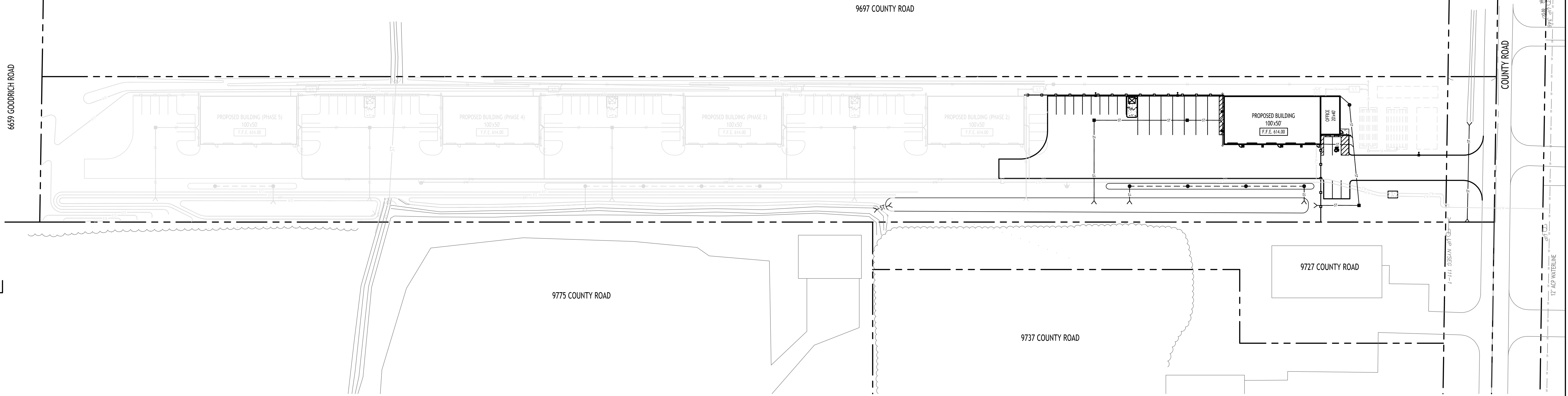
No.	Description	Date
1	Rev. per Town comments	1/26/25



**DRAWING NAME:**  
 Grading Plan  
 Phase 1

Date: 10/29/25  
 Drawn By: C. Wood  
 Scale: As Noted

**DRAWING NO.:**  
**C-201**  
 Project No: 24-4125



**Storm Drainage Plan**  
SCALE: 1"=50'

**PRE DEVELOPMENT STORMWATER EVENT SUMMARIES (NORTH)**

Event	Runoff (cfs)	Volume (cubic-feet)	Depth (inches)
1-Year	1.70	8,609	0.65
10-Year	4.50	21,508	1.63
25-Year	6.19	29,394	2.23
100-Year	9.66	45,875	3.48

**POST DEVELOPMENT STORMWATER EVENT SUMMARIES (POND 1P)**

Event	Runoff (cfs)	Volume (cubic-feet)	Elevation (ft)
1-Year	1.70	3,348	610.61
10-Year	3.24	8,145	611.18
25-Year	4.00	10,956	611.44
100-Year	4.79	17,023	611.91

- PROPOSED STORM DRAINAGE LEGEND**
- PROPOSED STORM PIPE ST
  - PROPOSED PERFORATED STORM PIPE
  - PROPOSED CATCH BASIN
  - PROPOSED MANHOLE
  - PROPOSED CLEANOUT
  - CB: CATCH BASIN
  - MH: MANHOLE
  - OS: OUTLET STRUCTURE

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**DRAWING NAME:**  
Storm Drainage Plan - Overall

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

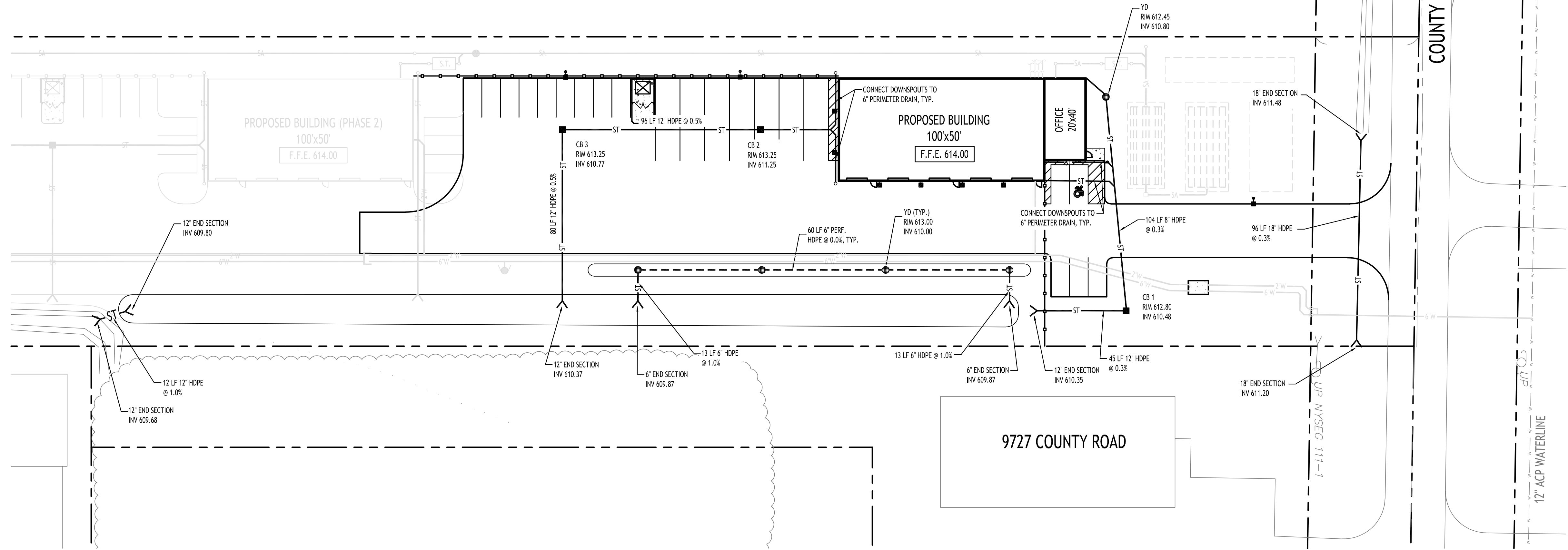
**DRAWING NO.:**  
**C-300**

Project No: 24-4125

**Proposed Warehouses**  
9717 County Road  
Clarence, NY

**CARMINA WOOD**  
**DESIGN**  
Buffalo | Utica | Greensboro

9697 COUNTY ROAD



**Storm Drainage Plan**  
SCALE: 1"=30'

**PRE DEVELOPMENT STORMWATER EVENT SUMMARIES (NORTH)**

Event	Runoff (cfs)	Volume (cubic-feet)	Depth (inches)
1-Year	1.70	8,609	0.65
10-Year	4.50	21,508	1.63
25-Year	6.19	29,394	2.23
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**POST DEVELOPMENT STORMWATER EVENT SUMMARIES (POND 1P)**

Event	Runoff (cfs)	Volume (cubic-feet)	Elevation (ft)
1-Year	1.70	3,348	610.61
10-Year	3.24	8,145	611.18
25-Year	4.00	10,956	611.44
100-Year	4.79	17,023	611.91

- PROPOSED STORM DRAINAGE LEGEND**
- PROPOSED STORM PIPE ——— ST ———
  - PROPOSED PERFORATED STORM PIPE - - - - -
  - PROPOSED CATCH BASIN ■
  - PROPOSED MANHOLE ●
  - PROPOSED CLEANOUT ○
  - CB: CATCH BASIN
  - MH: MANHOLE
  - OS: OUTLET STRUCTURE

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**REVISIONS:**

No.	Description	Date
1	Rev. per ECDPW comments	1/6/26
2	Rev. per Town comments	1/26/26

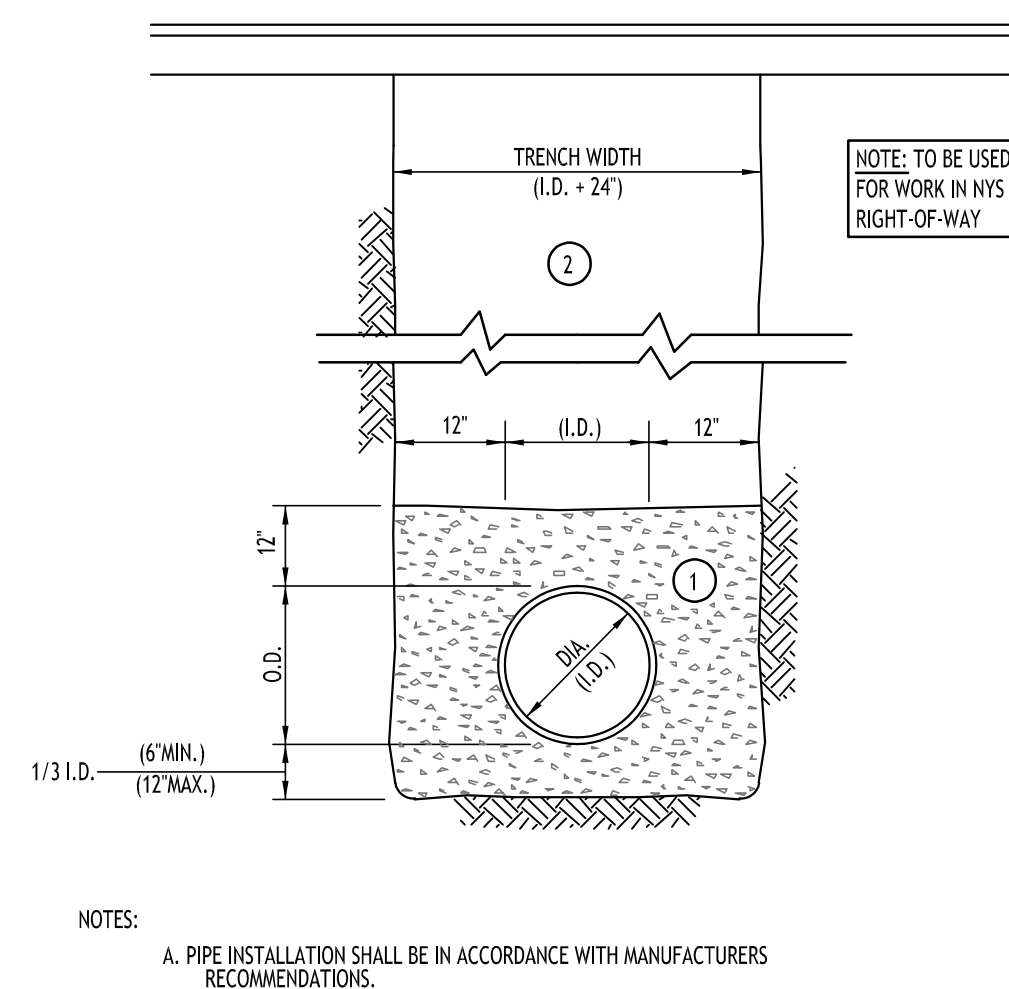


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Storm Drainage  
Plan - Phase 1

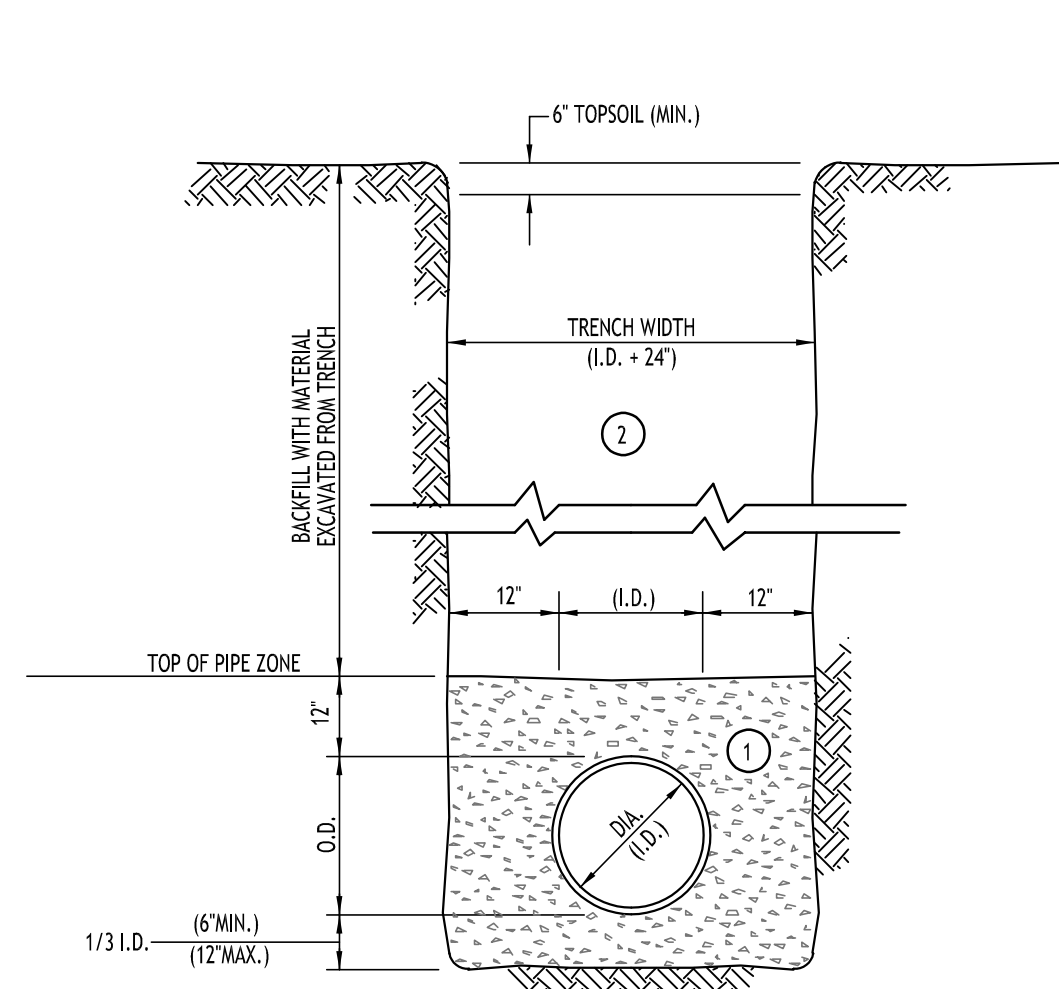
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Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**  
**C-301**  
Project No: 24-4125

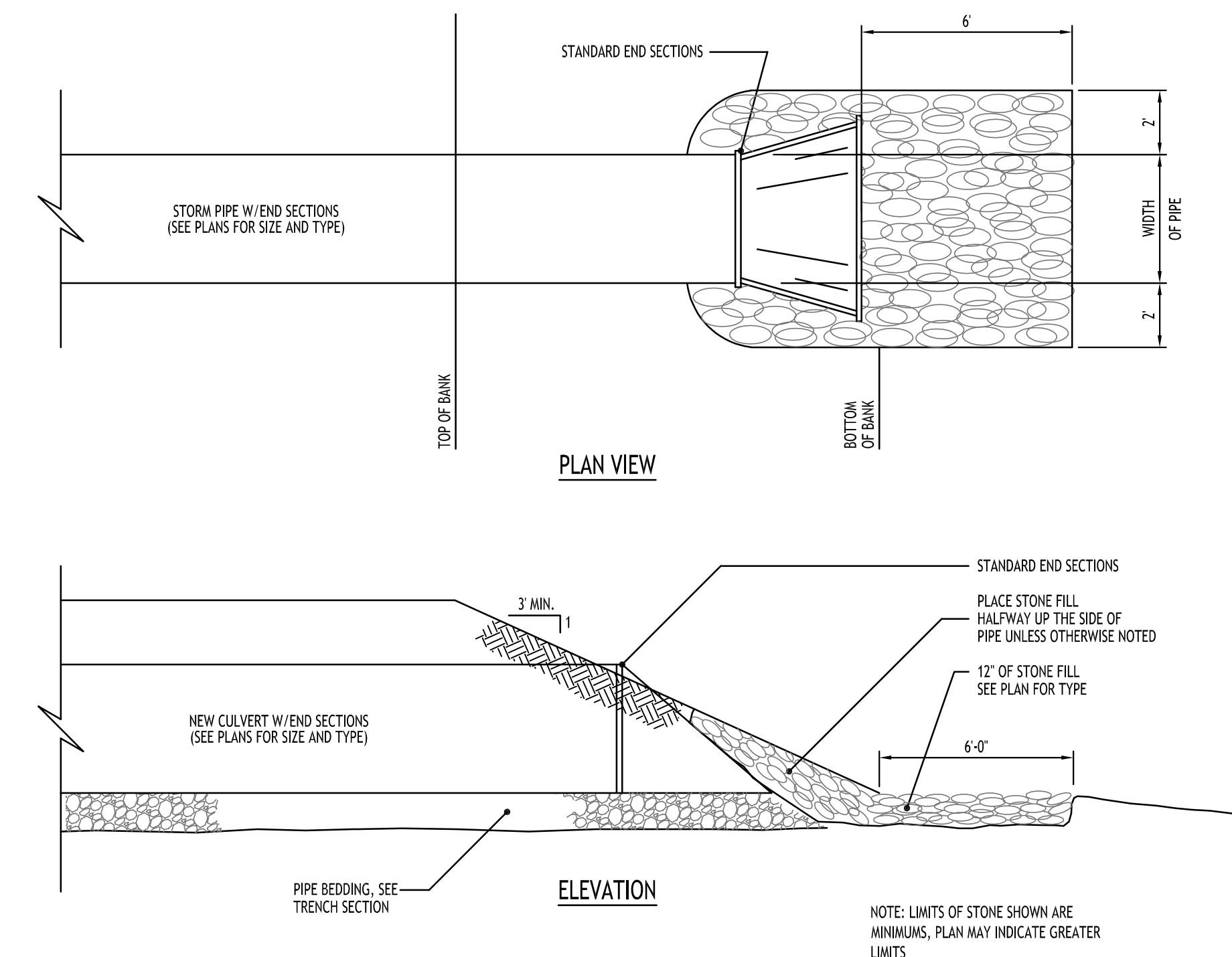
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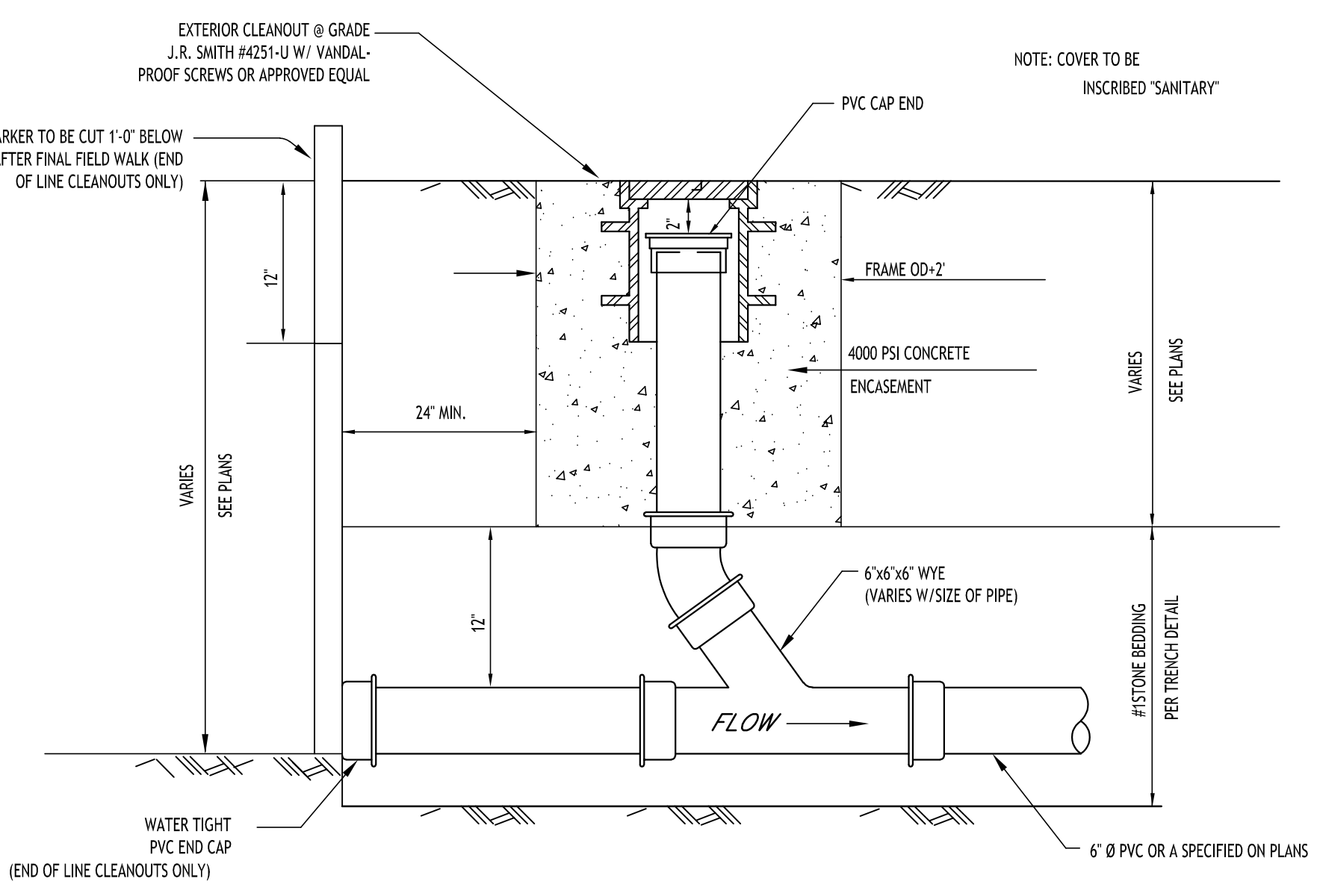
**STORM SEWER TRENCH SECTION IN PAVED AREAS**  
NOT TO SCALE



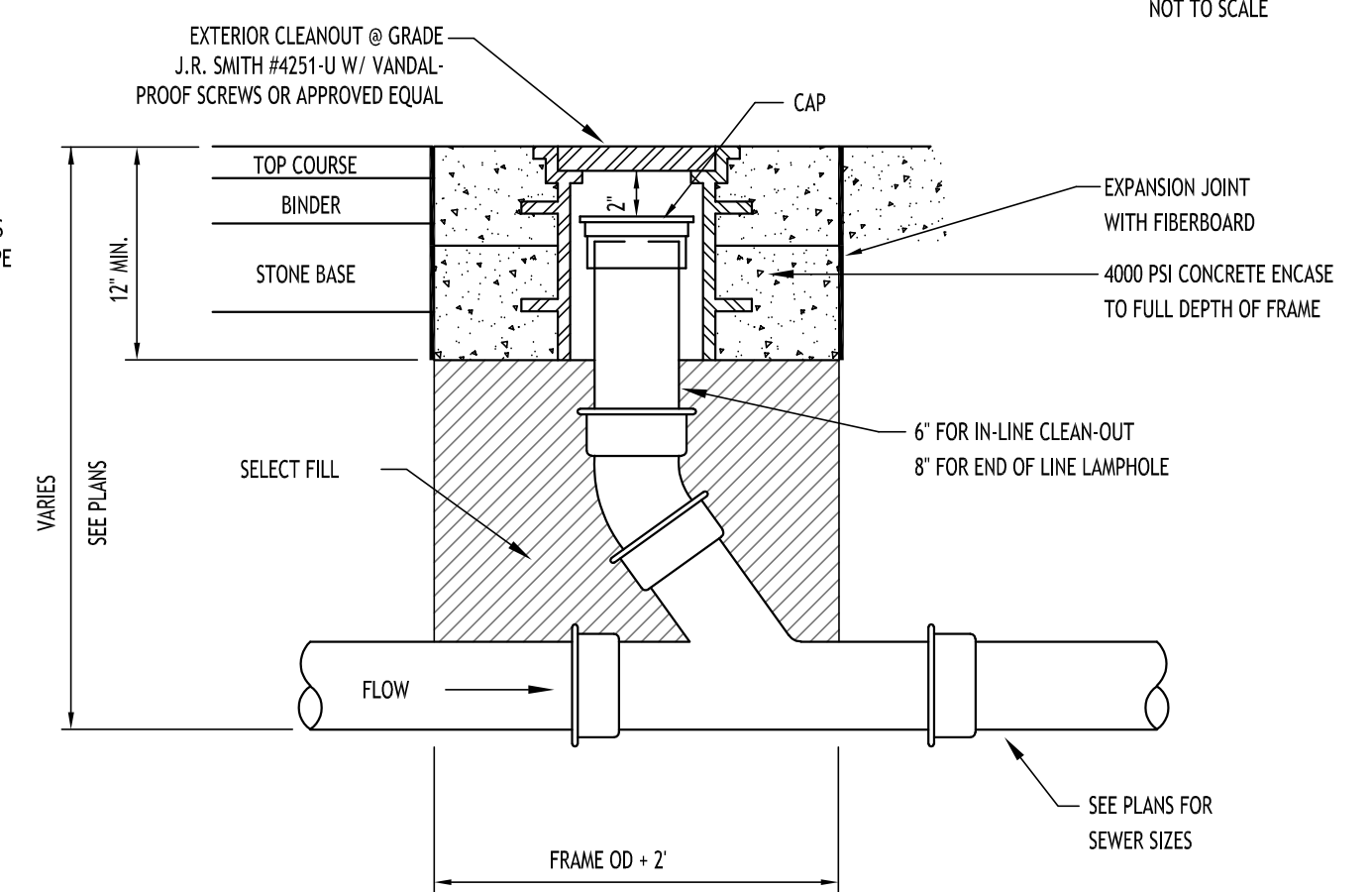
**STORM SEWER TRENCH SECTION IN UNPAVED AREAS**  
NOT TO SCALE



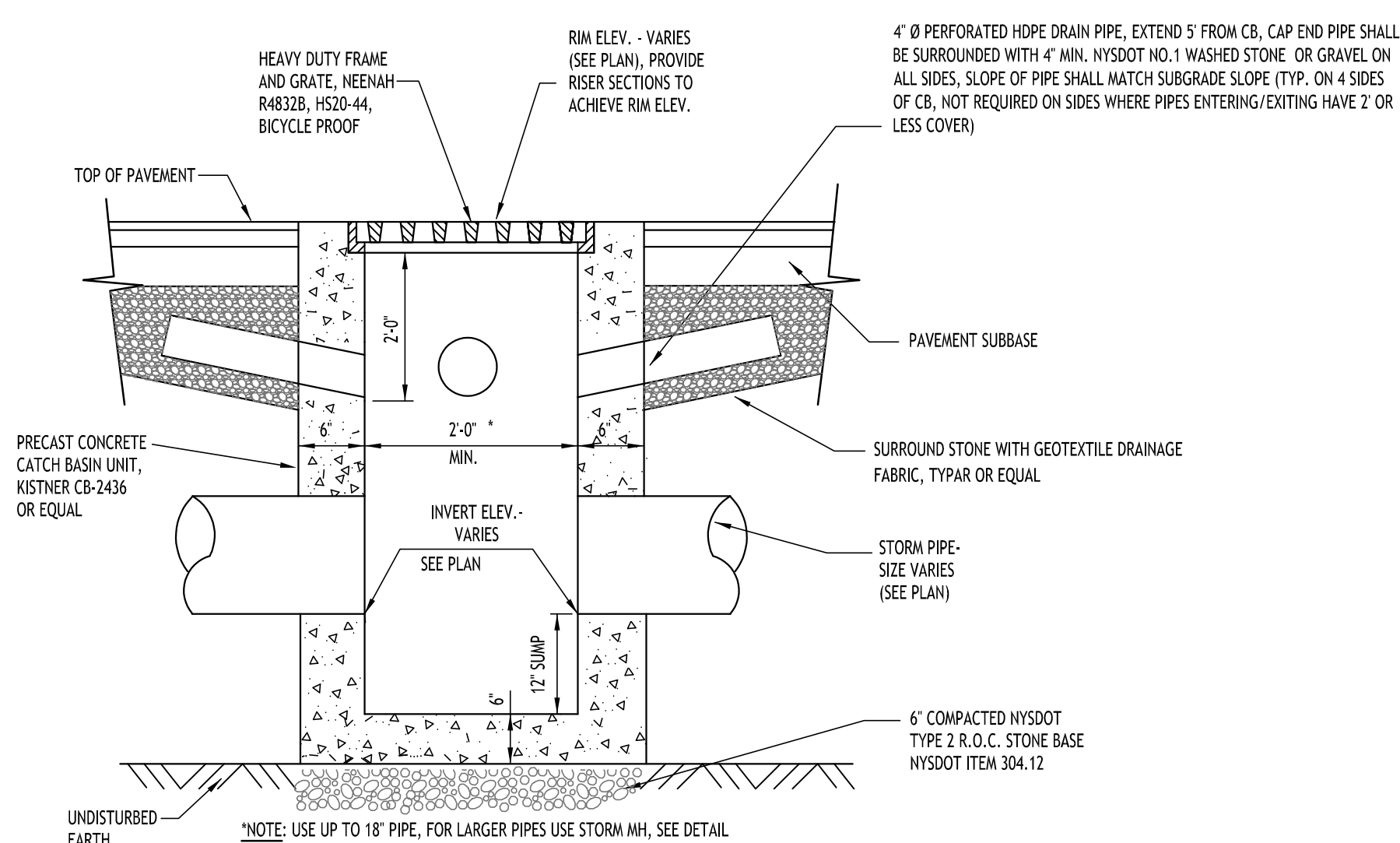
**TYPICAL PIPE OUTLET W/ END SECTION & RIP RAP**  
NOT TO SCALE



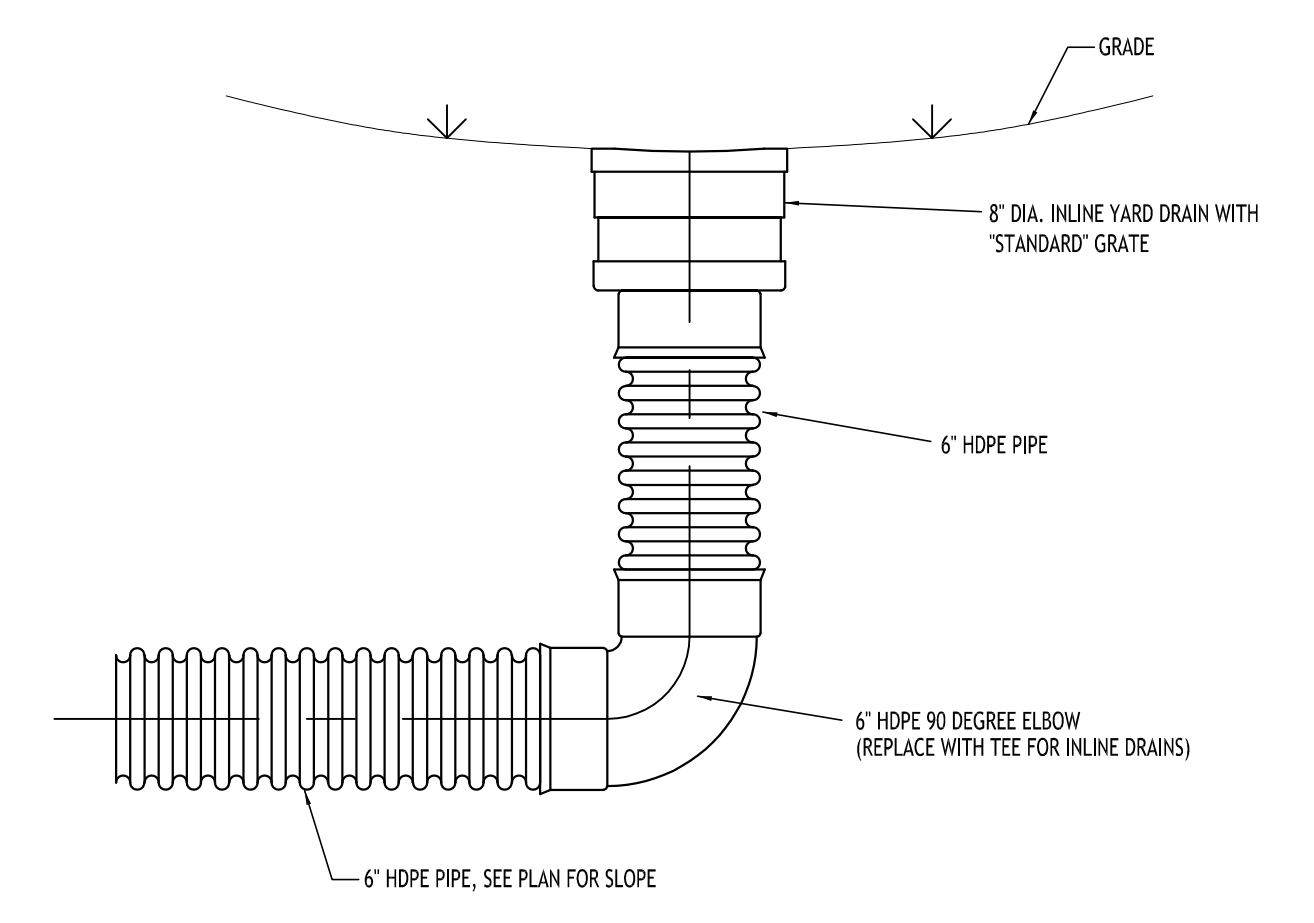
**LAMPHOLE/CLEANOUT IN LAWN/FIELD AREAS**  
NOT TO SCALE



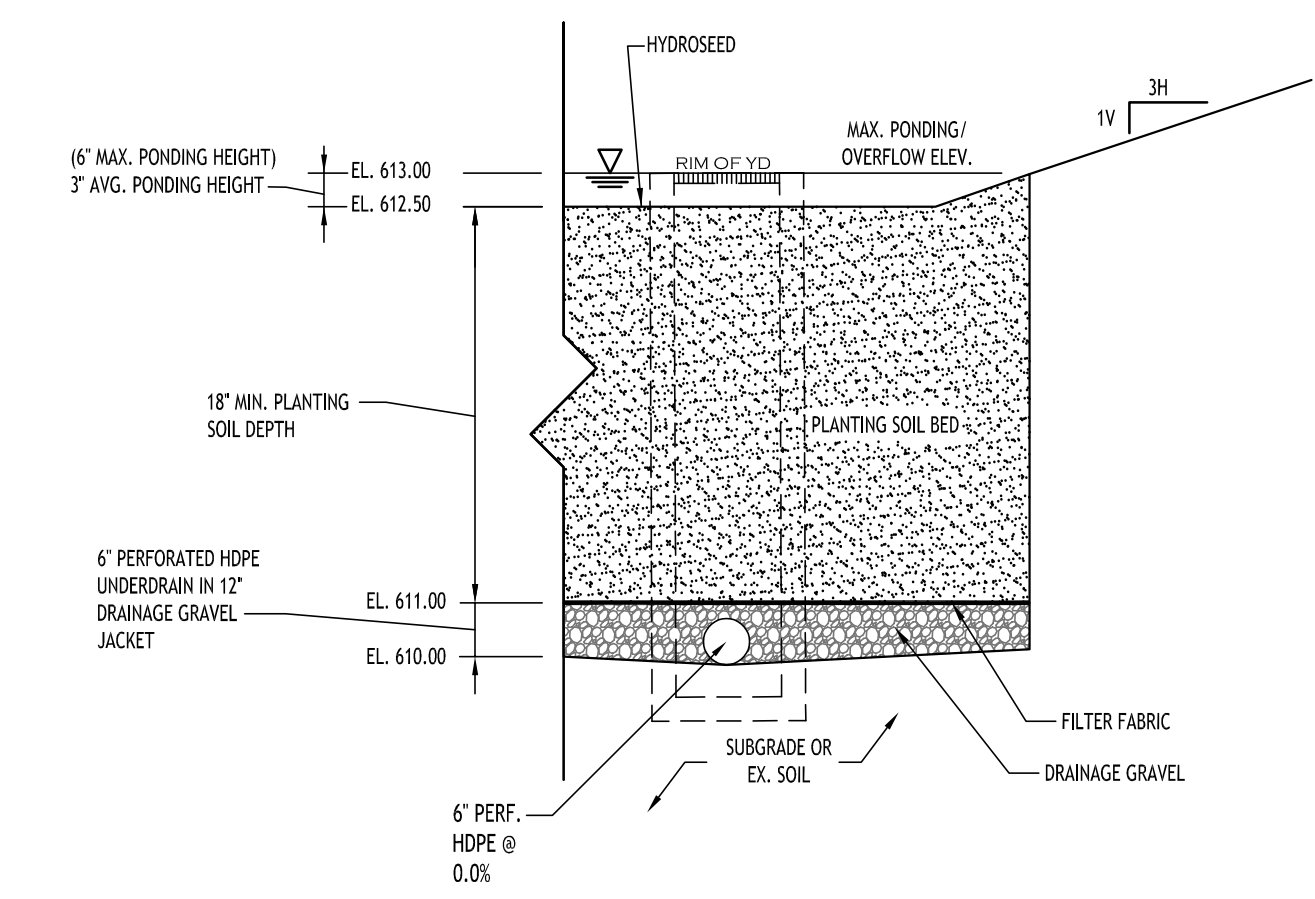
**LAMPHOLE/CLEANOUT IN PAVEMENT/SIDEWALK**  
NOT TO SCALE



**TYPICAL PRECAST CATCH BASIN**  
NOT TO SCALE



**TYPICAL YARD DRAIN DETAIL**  
NOT TO SCALE



**BIORETENTION AREA - TYPICAL SECTION**  
NOT TO SCALE

**NOTES:**

- FILTER FABRIC TO BE NON-WOVEN CLASS C, MIRAFT 180-H OR APPROVED EQUIVALENT
- DRAINAGE GRAVEL TO MEET AASHTO M-43, NO. 67, SIZE 0.25" TO 0.75"
- CONTRACTOR TO PROVIDE PLANTING SOIL SUBMITTAL SPECIFICATION FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

NOTE: PLANTING SOIL SHALL BE LOAM/SAND MIX CONTAINING A MINIMUM OF 35 TO 60% SAND BY VOLUME AND LESS THAN 25% CLAY. SOIL SHOULD FALL WITHIN USCS TYPES SA OR ML WITH PERMEABILITY OF AT LEAST 0.5 FEET PER DAY. SOIL SHOULD BE FREE FROM STONES, STUMPS, ROOTS OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12" TO 18", LOOSELY COMPACTED.

CHARACTERISTICS SHALL BE:

- PH RANGE: 5.2 - 7.00
- ORGANIC MATTER: 1.5 - 4.0%
- MAGNESIUM: 35 LBS PER ACRE MIN.
- PHOSPHORUS: 75 LBS PER ACRE MIN.
- POTASSIUM: 85 LBS PER ACRE MIN.
- SOLUBLE SALTS: 500 PPM
- CLAY: 10 TO 25%
- SILT: 30 TO 55%
- SAND: 35 TO 60%

**Bio-retention Area Seeding Spec (Northeast Wetland Grass Seed Mix):**

Seed Mixture	Variety	Percent by No. of Seeds
Creeping Bentgrass	Agrostis stolonifera	53.0
Rough Bluegrass	Poa trivialis	17.0
Meadow Foxtail	Alopecurus arundinaceus	11.0
Arenal Ryegrass	Lolium multiflorum	4.5
Deergrass	Panicum clandestinum	4.5

REVISIONS:

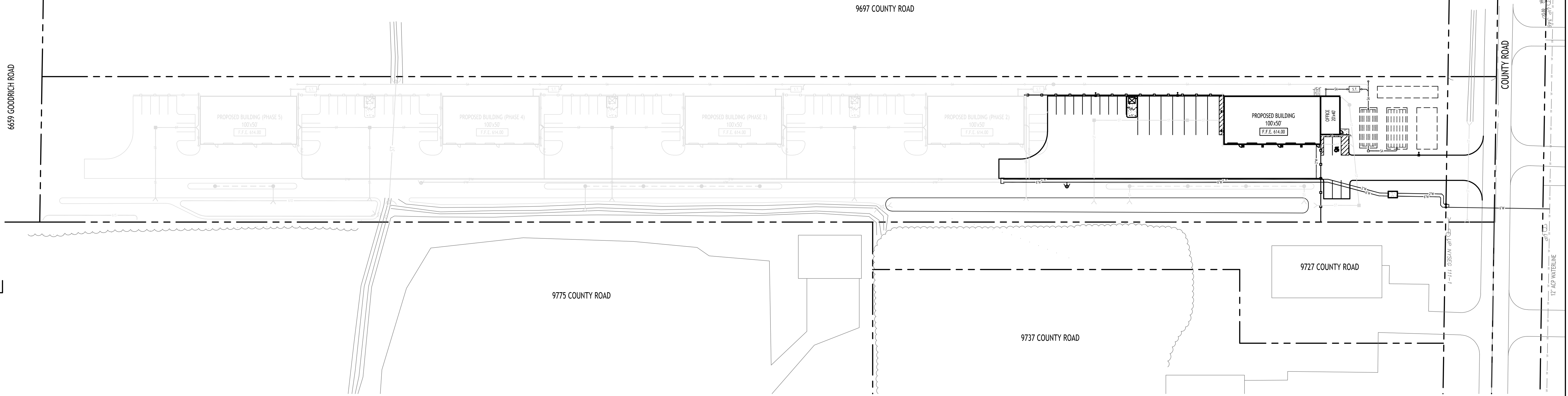
No.	Description	Date



DRAWING NAME:  
**Storm Drainage Details**

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-302**  
Project No: 24-4125



**Utility Plan**  
SCALE: 1"=50'

**PROPOSED UTILITY LEGEND**

PROPOSED WATER LINE	— W —
PROPOSED SANITARY SEWER	— SA —
PROPOSED UTILITY CONNECTIONS (GAS, ELEC., CABLE, TEL., ETC.)	— G — — E — — C — — T —
PROPOSED GATE VALVE	⊗
PROPOSED CLEANOUT	○
PROPOSED HYDRANT	⦿

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**DRAWING NAME:**  
Utility Plan  
Overall

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**

**C-400**

Project No: 24-4125

**Proposed Warehouses**  
9717 County Road  
Clarence, NY

**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

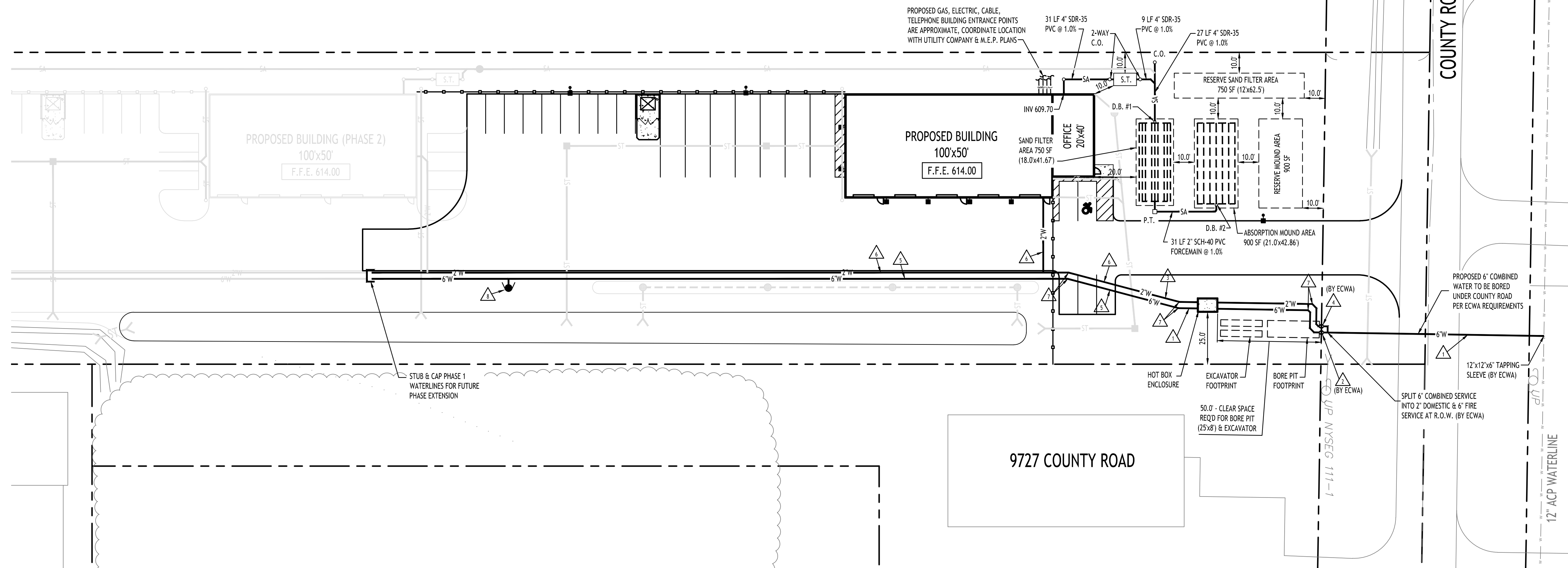
**REVISIONS:**

No.	Description	Date
1	Rev. per ECWA 12/11/25 Comments	12/12/25
2	Rev. per ECDOH comments	1/6/26

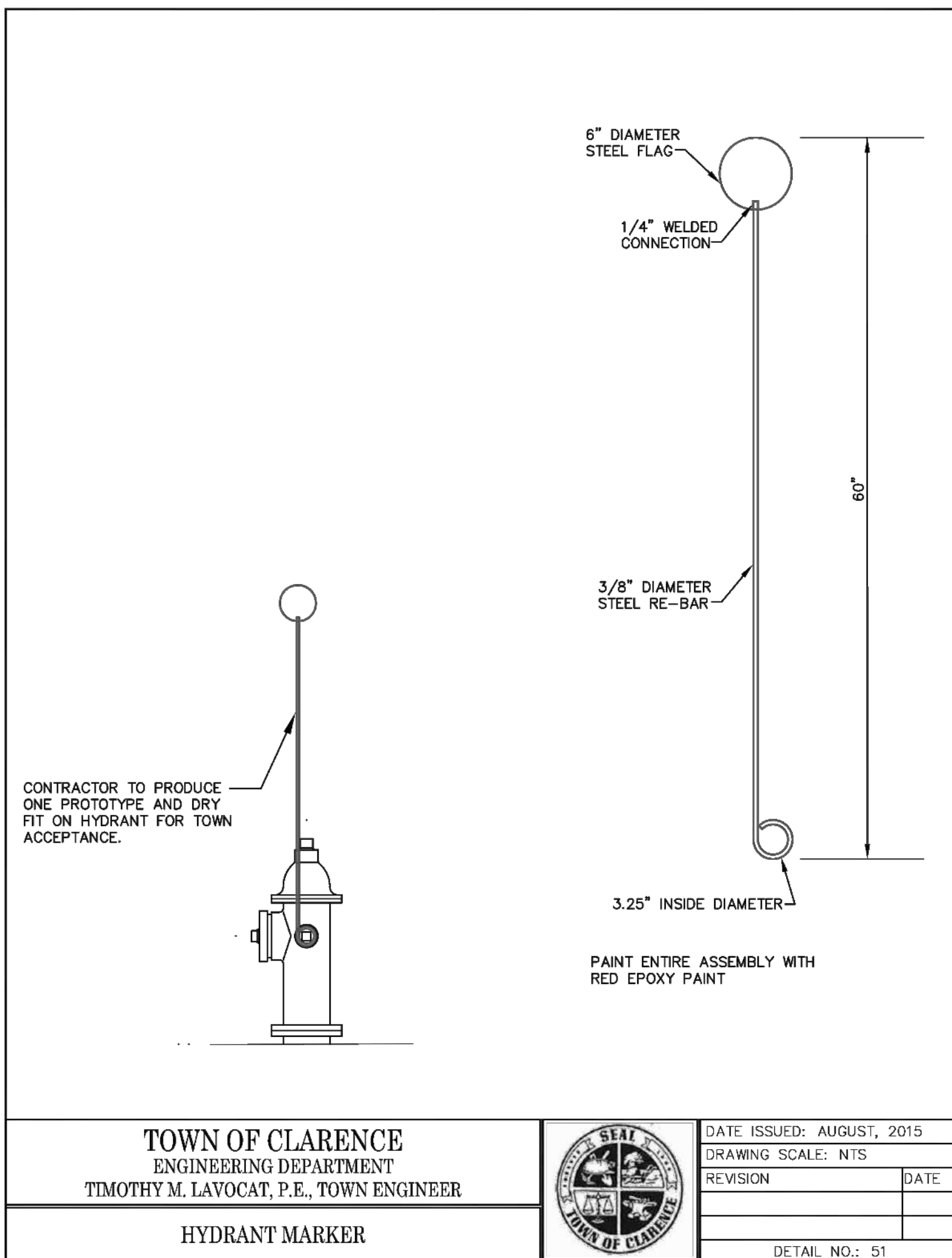
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9697 COUNTY ROAD



**Utility Plan**  
SCALE: 1"=30'



**NOTES:**

- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE ERIE COUNTY SEWER SPECIFICATIONS AND DETAILS, AND ERIE COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
- PRIOR STARTING ANY WORK ASSOCIATED WITH OR NEAR EXISTING SANITARY MANHOLES, THE CONTRACTOR SHALL MEET WITH THE ERIE COUNTY SEWER TO DISCUSS AND AGREE TO THE WORK.
- FILL SHALL BE PLACED AND SATISFACTORILY COMPACTED PRIOR TO INSTALLATION OF UTILITIES, AND MUST BE APPROVED BY THE SUPERVISING PROJECT ENGINEER.
- ALL SANITARY SEWER IS TO CONSTRUCTION IS TO CONFORM TO ERIE COUNTY SEWER DISTRICT RULES AND REGULATIONS.
- ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, COUNTY OF ERIE AND TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.

**UTILITY NOTES:**

- FOR ALL SANITARY SEWERS, INSTALL SELECT FILL IN PAVED AREAS, EXTEND 5' MIN. BEYOND PAVEMENT LIMITS
- BUILDINGS TO HAVE A 6" HOUSE TRAP, VENT AND CLEANOUT INSTALLED AT ENTRANCE POINT. INVERT ELEVATION TO BE 5' MIN. BELOW F.F.E. OF THE BUILDING. PIPE TO BE 6" SDR-35 PVC @ 1.0% MIN WITH MIN 4' OF COVER. ADD CLEANOUTS @ 90' MAX. SPACING FOR 6" LATERALS OVER 90' IN LENGTH.
- COORDINATE GAS & ELEC. METER BANK LOCATIONS ON BUILDINGS WITH M.E.P. PLANS & UTILITY CO. S.
- COORDINATE LOCATION OF CTV & TELEPHONE SERVICE TO BUILDINGS WITH M.E.P. PLANS AND UTILITY CO. S.
- ANY EXISTING UTILITIES WHICH ARE TO BE ABANDONED AND FALL UNDER PAVEMENT OR BUILDINGS SHALL BE REMOVED VS. BEING ABANDONED UNLESS THOSE UTILITIES ARE FILLED WITH FLOWABLE FILL.
- A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.
- SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH CONCRETE AND ASPHALT PAVEMENT AREAS.

**SANITARY SEWER NOTES:**

- THE CONTRACTOR IS ADVISED THAT A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
- ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (i.e., MANHOLES, WETWELLS, CHAMBERS) OWNED BY AN ERIE COUNTY SEWER DISTRICT, MUST CERTIFY TO THE COUNTY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
- CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS FOR ERIE COUNTY SEWER DISTRICTS.
- IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN FOUR (4) FEET OF COVER, THEN CONCRETE ENCASMENT IS REQUIRED. IF MORE THAN FOUR (4) FEET OF COVER IS PROVIDED IN PAVED AREAS, SELECT FILL IS REQUIRED.
- THE CONTRACTOR MUST NOTIFY THE DISTRICT OFFICE 48 HOURS IN ADVANCE OF CONSTRUCTION.
- VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, PROTECT WITH BOLLARDS (3 MINIMUM).
- CLEANOUTS (C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE IN DIRECTION.
- ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
- REUSE OF EXISTING BUILDING SEWERS SHALL CONFORM TO THE RULES AND REGULATIONS FOR ECSD, ARTICLE III, SECTION 304.
- NEW YORK STATE EXCAVATOR LAW: ALL EXCAVATION PERFORMED ON OR AFTER MAY 4, 2019 SHALL BE CONDUCTED BY AN EXCAVATOR OPERATOR WHO HAS COMPLETED THE TRAINING AND EDUCATION PROGRAM PROVIDED BY THE ONE-CALL NOTIFICATION SYSTEM OR ANOTHER AUTHORIZED PROVIDER PURSUANT TO NEW YORK STATE SENATE BILL S.6756A. NO EXCAVATOR OPERATOR IS PERMITTED TO PERFORM ANY EXCAVATION ON OR AFTER MAY 4, 2019 WITHOUT RECEIVING THE PROPER TRAINING AND EDUCATION PROGRAM.

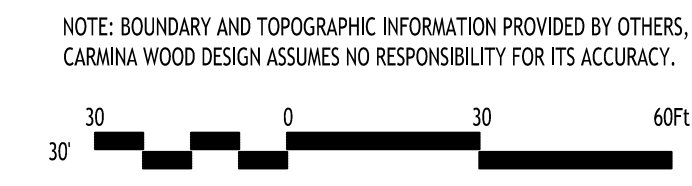
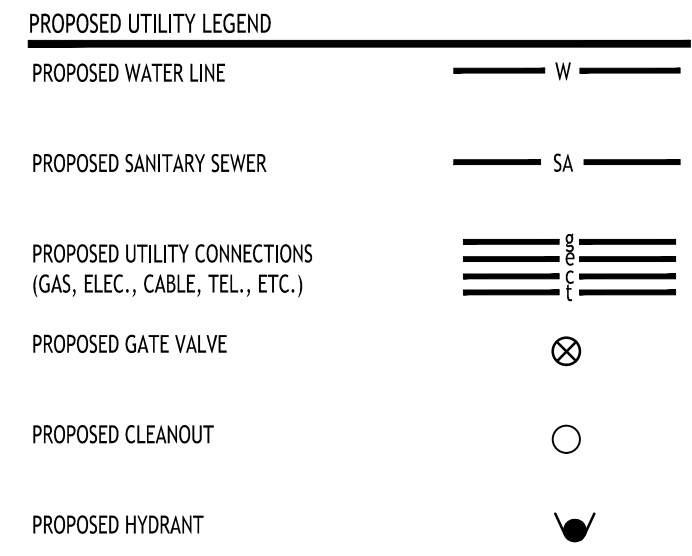
**SOILS ANALYSIS:**

DATE OF EXCAVATION:	11/12/25
DEEP HOLES DEPTH:	6'
TOPSOIL THICKNESS:	6'
DEPTH OF MOTTILING FROM SURFACE:	NOT PRESENT
DEPTH TO WATER:	NOT PRESENT
DEPTH TO BEDROCK:	NOT PRESENT
NOTES:	DRY STIFF CLAY BELOW TOPSOIL

SEPTIC SYSTEM DESIGN ELEVATIONS		SEPTIC SYSTEM LEGEND:	
S.T.	INVERT IN = 609.39	S.T.	= SEPTIC TANK
S.T.	INVERT OUT = 609.14	P.T.	= PUMP TANK
P.T.	INVERT IN = 605.63	D.B.	= DISTRIBUTION BOX
P.T.	INVERT OUT = 609.50	I.T.	= INSPECTION TANK
D.B. #1	INVERT IN = 608.80		
D.B. #1	INVERT OUT = 608.70		
D.B. #2	INVERT IN = 608.92		
D.B. #2	INVERT OUT = 608.82		
<b>P.S.D.S. DESIGN INFO:</b>			
1. DESIGN FLOW - 750 GPD (150 GPD PER BLDG.)			
2. PRIMARY TREATMENT - 1,000 GAL. SEPTIC TANK (EACH BLDG.)			
3. OUTFALL TREATMENT - 0.5:1 OR LABEL FILTER			
4. SECONDARY TREATMENT - SAND FILTER			
18.0 x 41.67 = 750 SF PROVIDED			
(750 GPD @ 1.0 GPD/SF = 750 SF REQ'D)			
5. SUB-SURFACE TREATMENT - RAISED "MOUND" W/ 900 SF BASAL AREA (1.2 GPD/SF)			

- WATER NOTE LEGEND:**
- △ 6" CLASS 52 DUCTILE IRON
  - △ 6" VALVE AND BOX
  - △ 2" TYPE 'K' COPPER DOMESTIC SERVICE
  - △ 2" CURB STOP & BOX
  - △ 6" ANWVA C-900 PVC FIRE SERVICE
  - △ POLYETHYLENE DOMESTIC SERVICE
  - △ PROVIDE BENDS AND BLOCKING AS NECESSARY
  - △ HYDRANT ASSEMBLY

- MINIMUM CLEARANCE NOTES:**
- SEPTIC TANK** - A MINIMUM OF 10' FROM THE BUILDING FOUNDATION, A MINIMUM OF 10' FROM ANY PROPERTY LINE, A MINIMUM OF 10' FROM ANY DRAINAGE DITCH, A MINIMUM OF 10' FROM ANY WATERLINE, A MINIMUM OF 50' FROM ANY WATERBODY OR WETLAND AND A MINIMUM OF 50' FROM ANY WATER WELL.
  - SAND FILTER** - A MINIMUM OF 20' FROM THE HOUSE FOUNDATION, A MINIMUM OF 10' FROM ANY PROPERTY LINE, A MINIMUM OF 20' FROM ANY DRAINAGE DITCH, A MINIMUM OF 100' FROM ANY WATERBODY OR WETLAND AND A MINIMUM OF 100' FROM ANY WATER WELL.
  - RAISED SYSTEM OR MOUND** - A MINIMUM OF 20' FROM THE HOUSE FOUNDATION, A MINIMUM OF 10' FROM ANY PROPERTY LINE, A MINIMUM OF 20' FROM ANY DRAINAGE DITCH, A MINIMUM OF 100' FROM ANY WATERBODY OR WETLAND AND A MINIMUM OF 100' FROM ANY WATER WELL.
  - ABSORPTION FIELD** - A MINIMUM OF 20' FROM THE HOUSE FOUNDATION, A MINIMUM OF 10' FROM ANY PROPERTY LINE, A MINIMUM OF 20' FROM ANY DRAINAGE DITCH, A MINIMUM OF 100' FROM ANY WATERBODY OR WETLAND AND A MINIMUM OF 100' FROM ANY WATER WELL.
  - DISTRIBUTION BOX** - A MINIMUM OF 20' FROM THE HOUSE FOUNDATION, A MINIMUM OF 10' FROM ANY PROPERTY LINE, A MINIMUM OF 20' FROM ANY DRAINAGE DITCH, A MINIMUM OF 100' FROM ANY WATERBODY OR WETLAND AND A MINIMUM OF 100' FROM ANY WATER WELL.
  - EFFLUENT LINE TO DISTRIBUTION BOX** - A MINIMUM OF 10' FROM THE HOUSE FOUNDATION, A MINIMUM OF 10' FROM ANY PROPERTY LINE, A MINIMUM OF 10' FROM ANY DRAINAGE DITCH, A MINIMUM OF 50' FROM ANY WATERBODY OR WETLAND AND A MINIMUM OF 50' FROM ANY WATER WELL.



**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

**Proposed Warehouses**  
9717 County Road  
Clarence, NY

**REVISIONS:**

No.	Description	Date
1	Rev. per ECWA 12/11/25 Comments	12/12/25
2	Rev. per Town & ECDOH comments	1/6/26

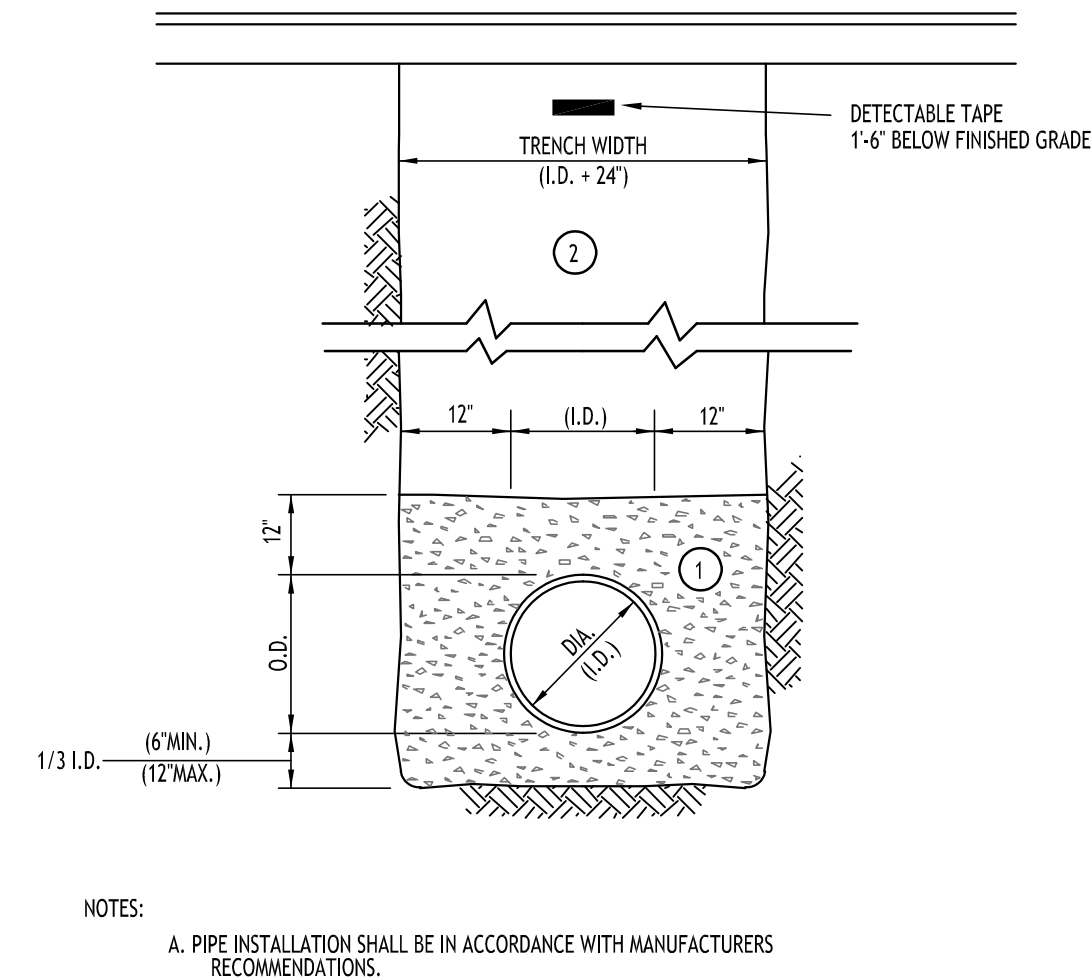


**DRAWING NAME:**  
Utility Plan  
Phase 1

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**  
**C-401**  
Project No: 24-4125

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- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

**MATERIALS**

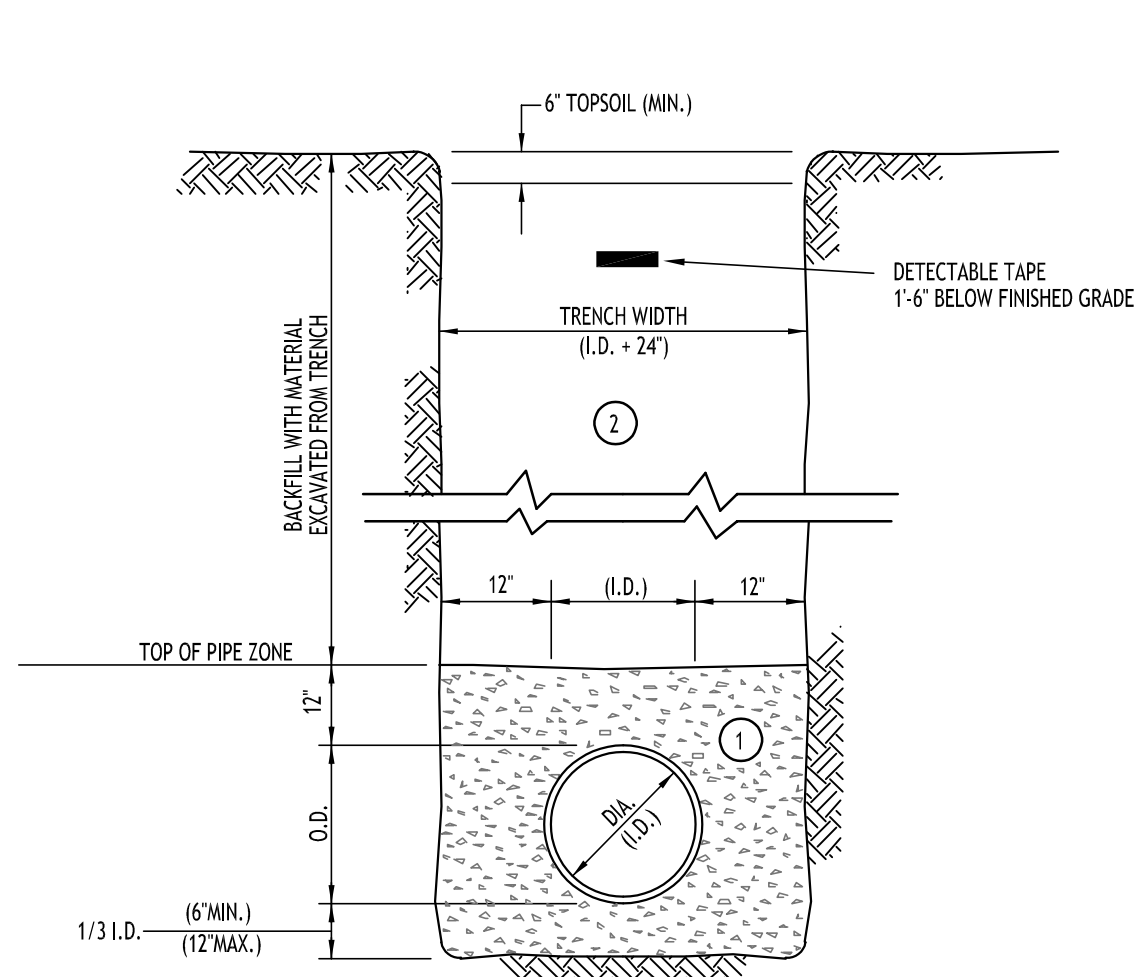
**PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)**

1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 1

2 TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 304-2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 2



- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

**MATERIALS**

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NO SLAG SHALL BE ALLOWED FOR MATERIAL 1

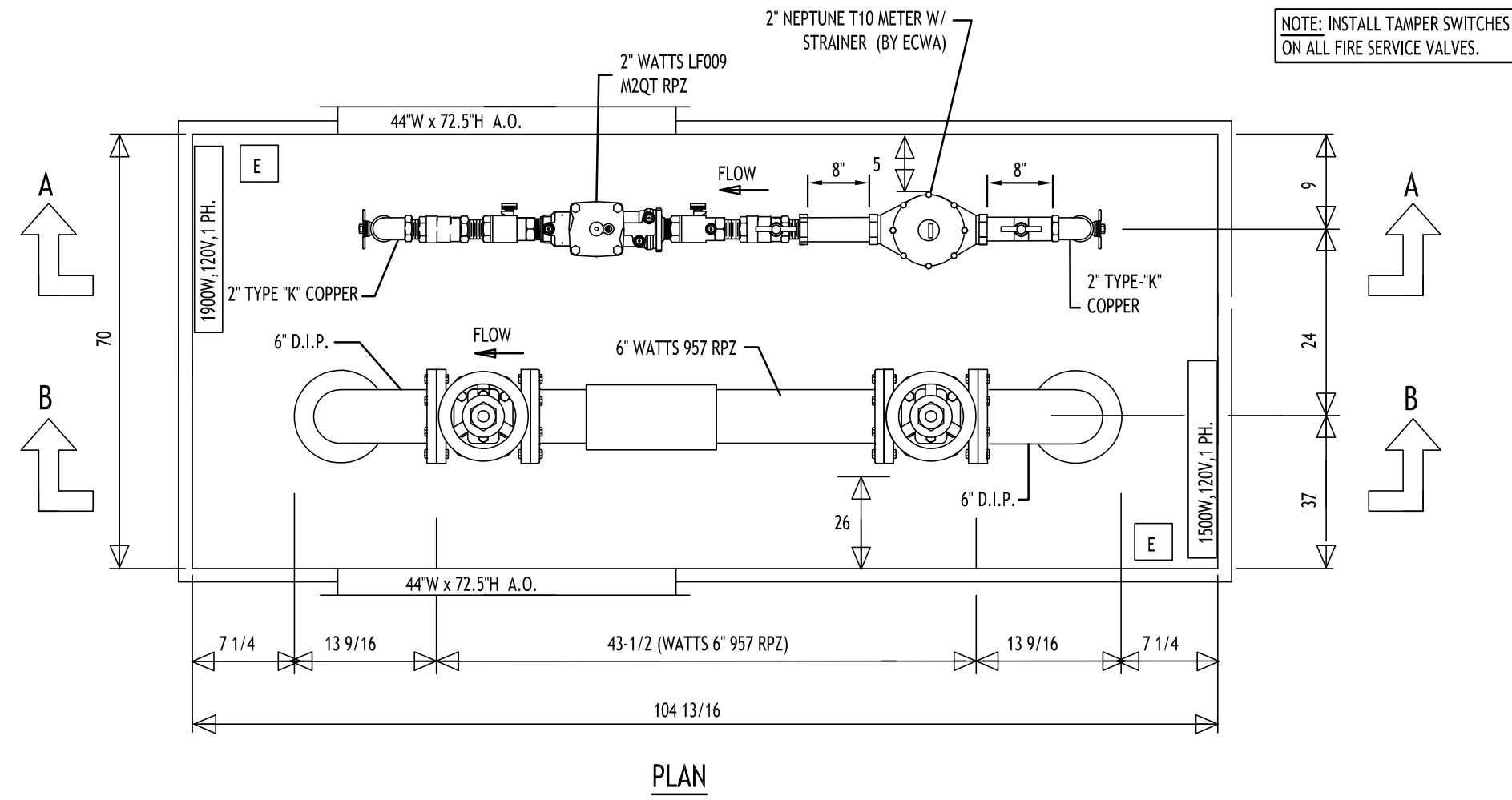
2 BACKFILL MATERIAL SHALL BE NATIVE SOIL, CONTAINING NO UNSUITABLE MATERIAL. COMPACTED IN 6" LIFTS.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

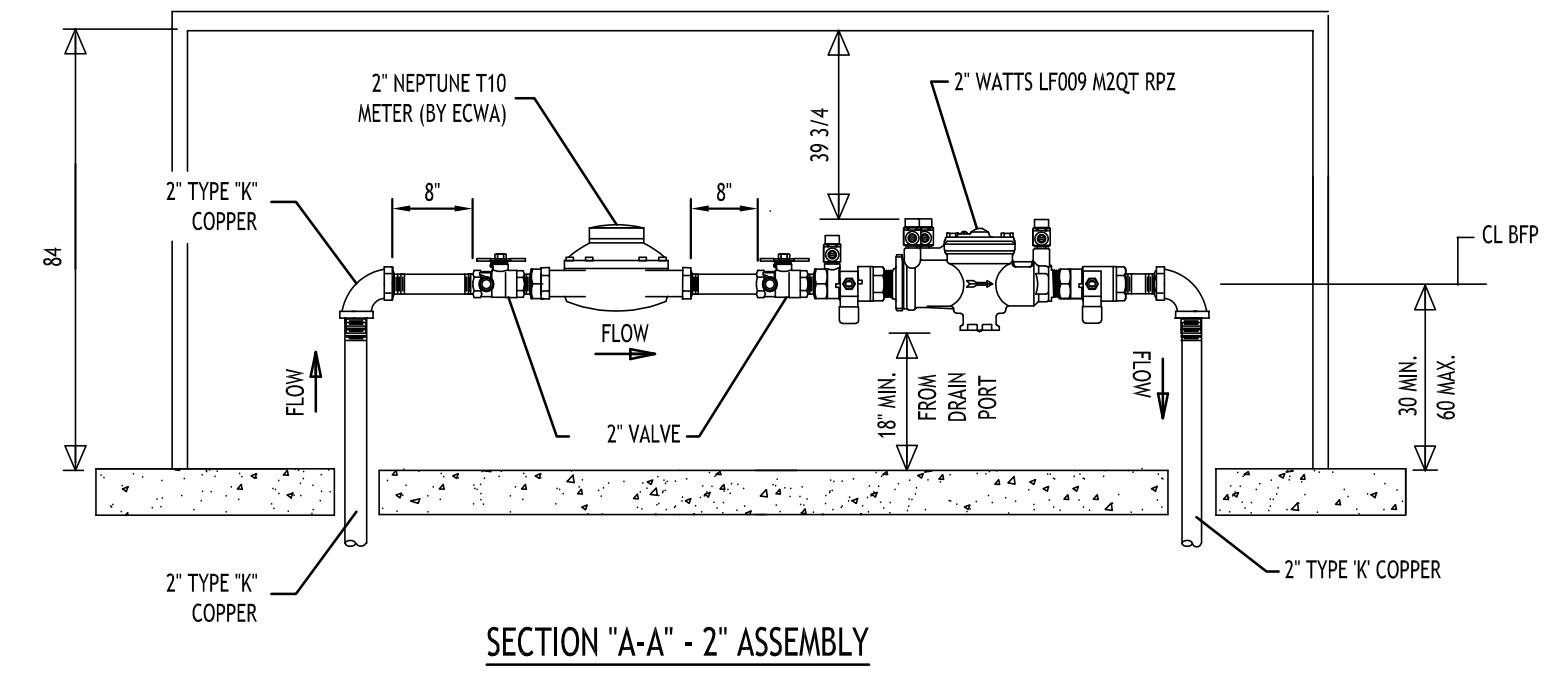
**SEWER/WATERLINE TRENCH SECTION IN PAVED AREAS**  
NOT TO SCALE

**SEWER/WATERLINE TRENCH SECTION IN UNPAVED AREAS**  
NOT TO SCALE

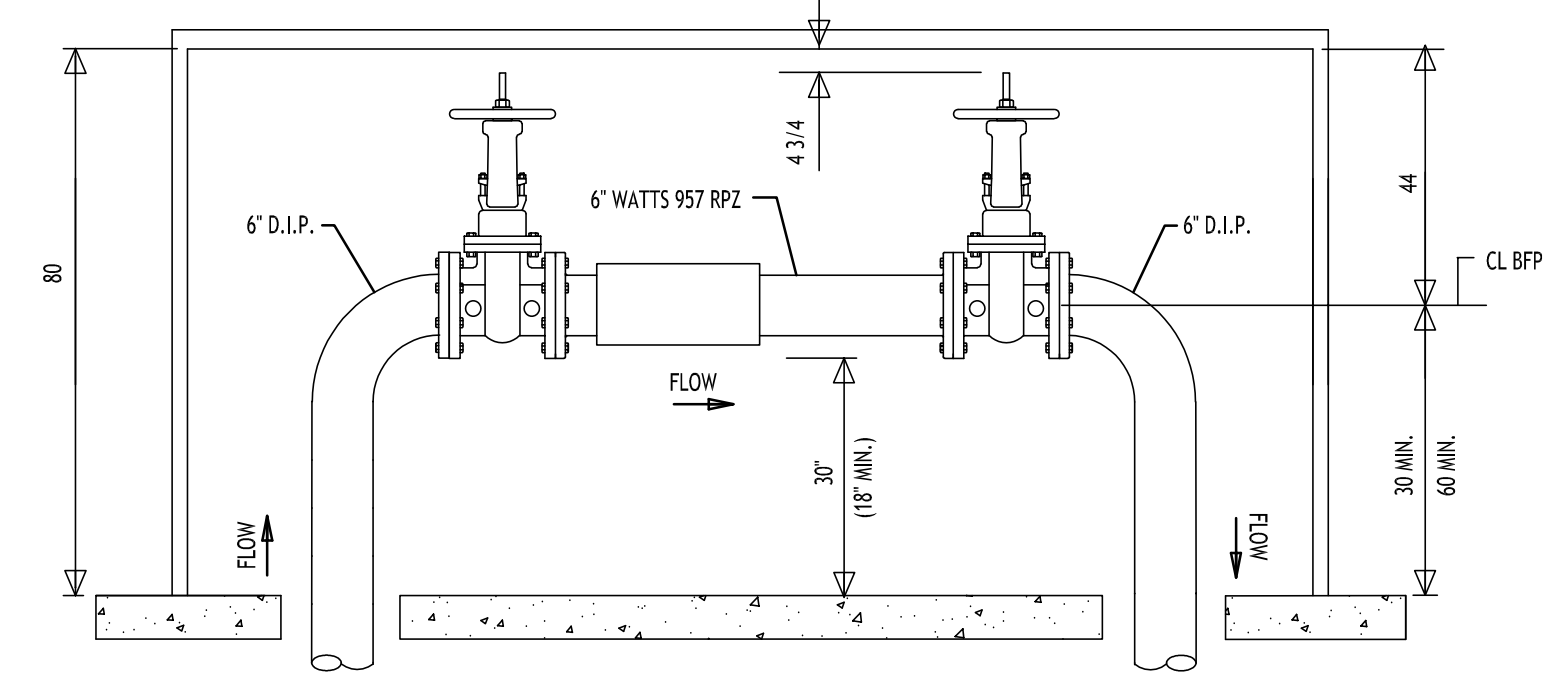
- NOTES:
- BACKFLOW PREVENTER DIMENSIONS FURNISHED BY WATTS.
  - ALL DIMENSIONS ARE IN INCHES.
  - WALL & INSULATION THICKNESS IS 1'-1/2".
  - ROOF & INSULATION THICKNESS IS 3".
  - EXTERIOR ENCLOSURE DIMENSIONS: 73"W x 108"L x 83" H.
  - CONCRETE PAD IS 85"W x 120"L x 6" THK W/W.W.F., 6X6/10X10.
  - METER SHOWN: 2" NEPTUNE T10 W/ STRAINER & METER SUPPLIED BY ECWA, VERIFY DIMS PRIOR TO ORDERING.
  - RPZ SHOWN: 6" WATTS 957 RPZ (FIRE SERVICE) & 2" WATTS LF009 M2QT RPZ (DOMESTIC SERVICE).
  - CONTRACTOR TO INSTALL ELECTRIC SERVICE TO ENCLOSURE, COORDINATE SOURCE WITH OWNER.
  - INSTALL A 120V GFI OUTLET IN THE ENCLOSURE.
  - HEATERS TO HAVE THERMOSTAT CONTROL.
  - INSTALL DRAIN ON WEST SIDE OF ENCLOSURE TO ENSURE POTENTIAL DISCHARGE IS DIRECTED TO THE PROPOSED BIORETENTION AREA.



**6" FIRE & 2" DOM RPZ BACKFLOW DEVICE & ENCLASURE**  
NOT TO SCALE

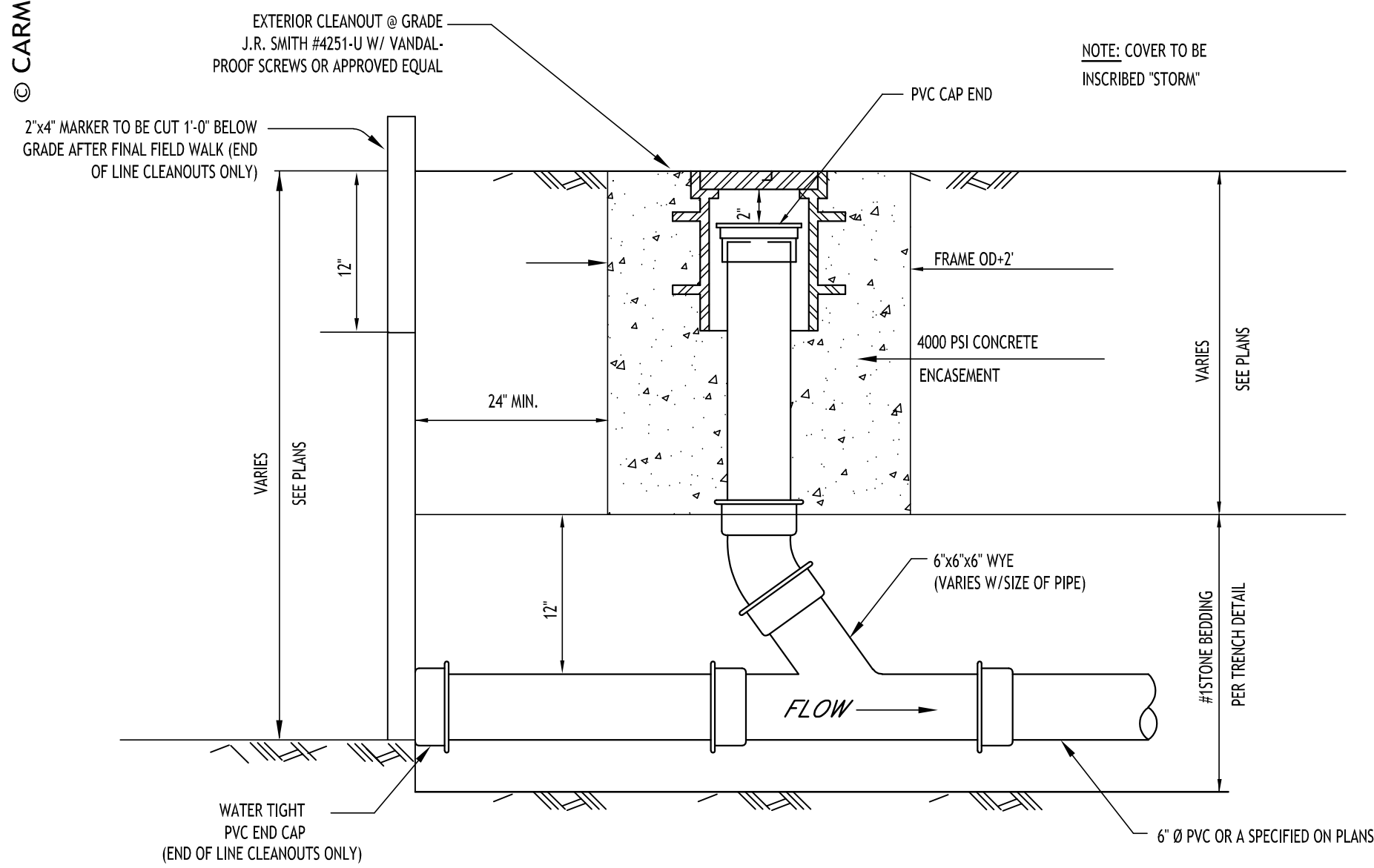


**SECTION "A-A" - 2" ASSEMBLY**

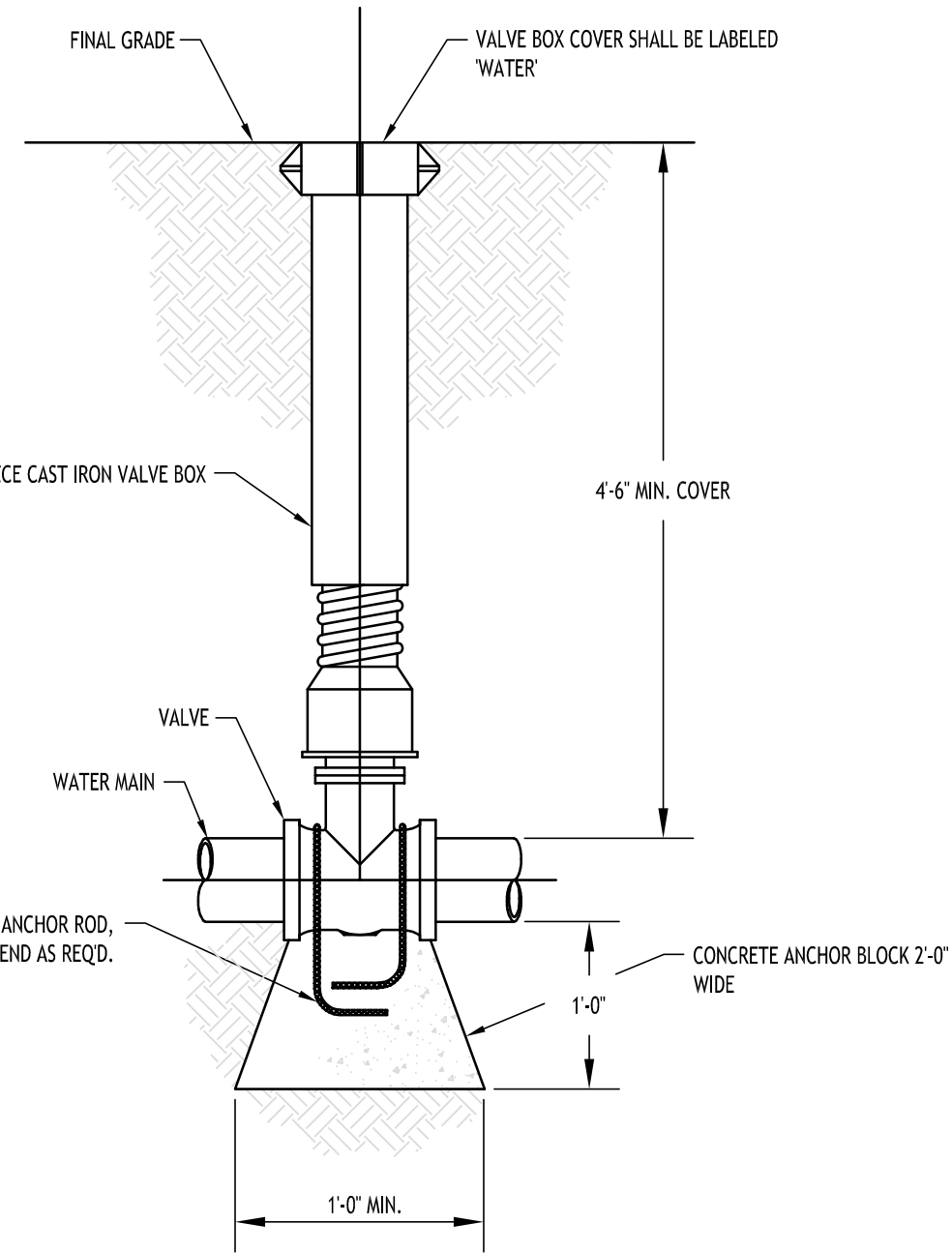


**SECTION "B-B" - 6" ASSEMBLY**

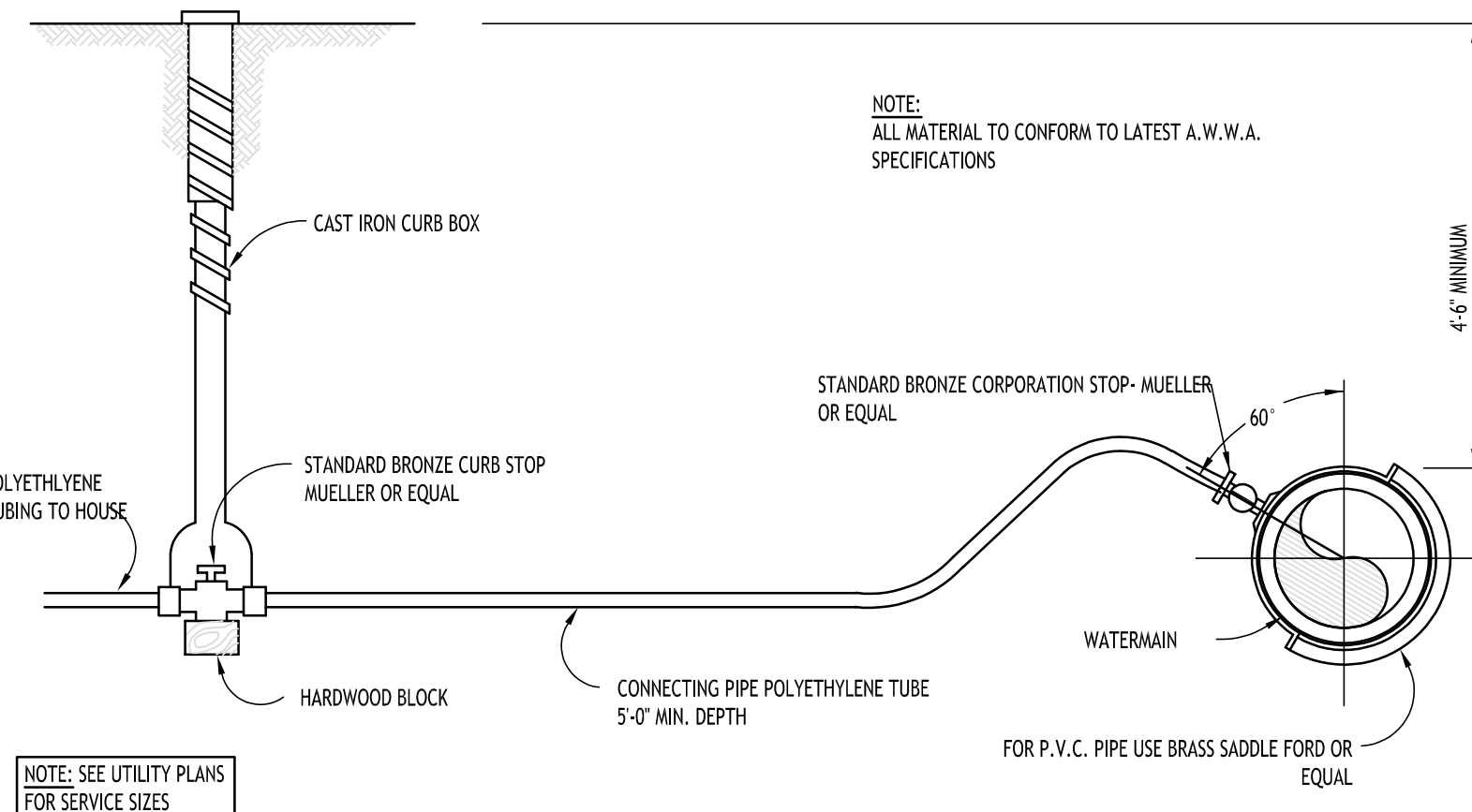
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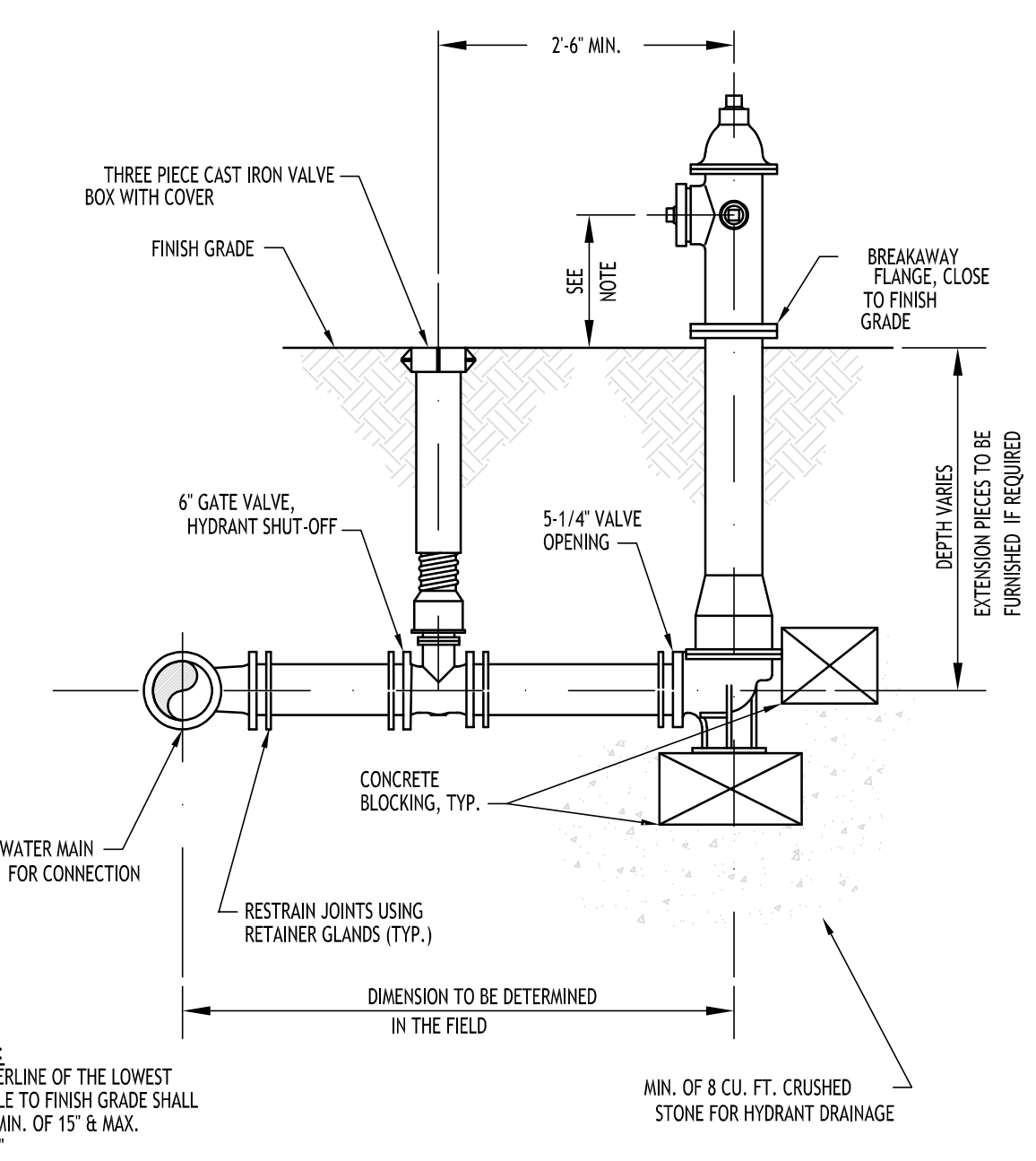
**LAMPHOLE/CLEANOUT IN LAWN/FIELD AREAS**  
NOT TO SCALE



**TYPICAL GATE VALVE DETAIL**  
NOT TO SCALE



**TYPICAL WATER SERVICE LINE INSTALLATION**  
NOT TO SCALE



**TYPICAL FIRE HYDRANT ASSEMBLY DETAIL**  
NOT TO SCALE

REVISIONS:	No.	Description	Date
	1	Rev. per ECWA 12/11/25 Comments	12/12/25



DRAWING NAME:  
**Utility Details**

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

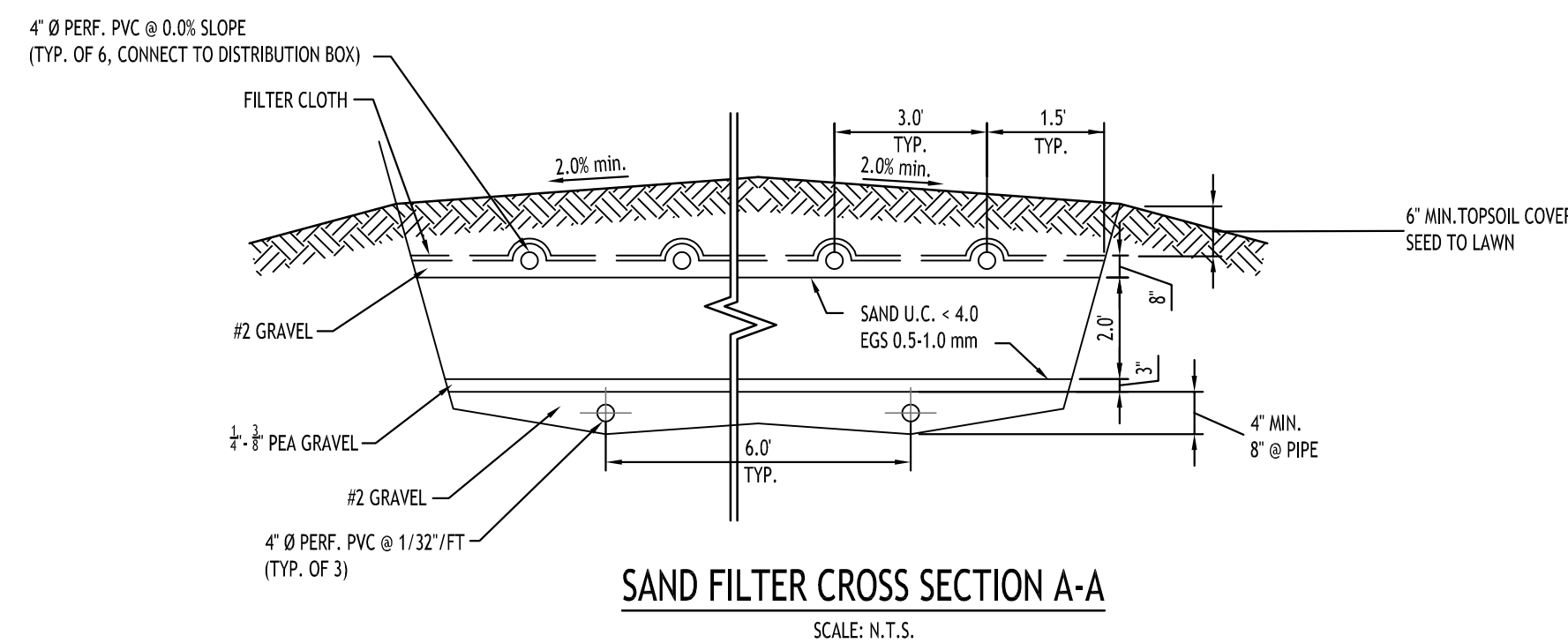
DRAWING NO.:

**C-402**

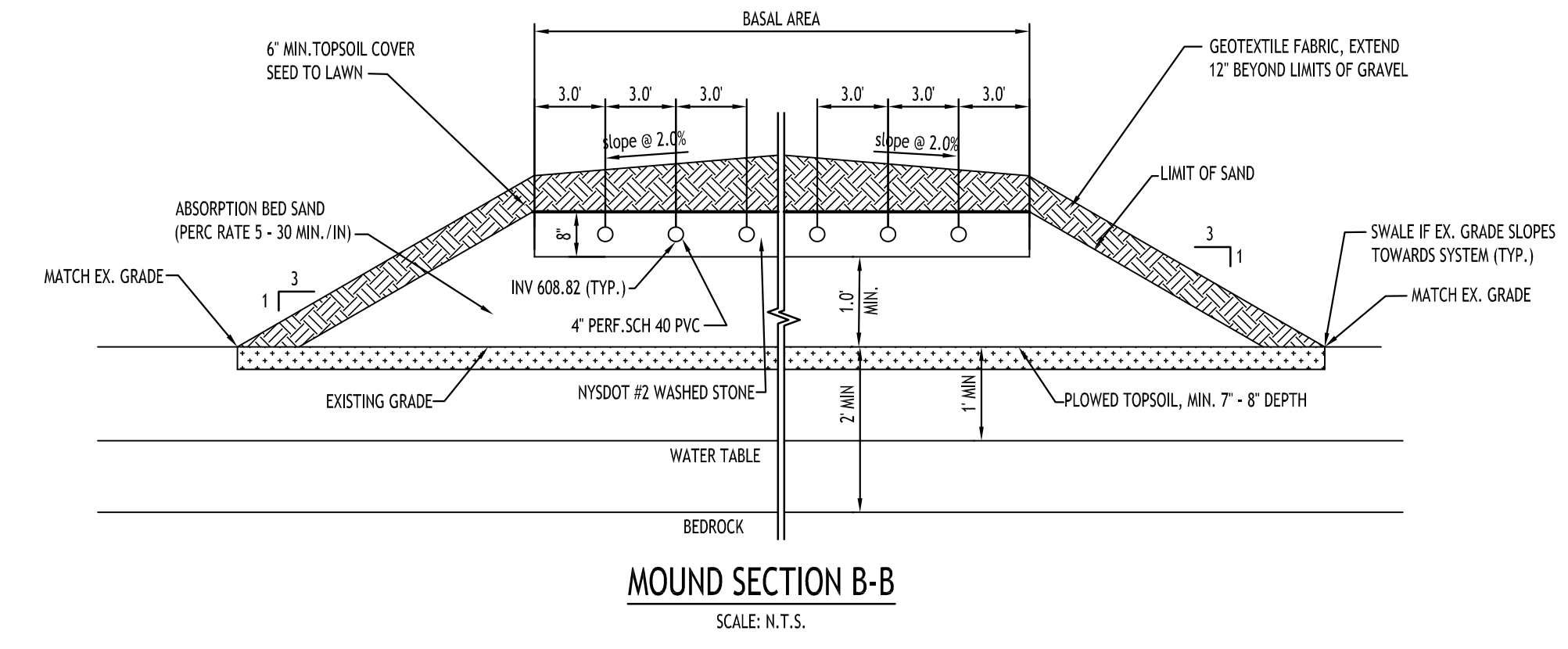
Project No: 24-4125

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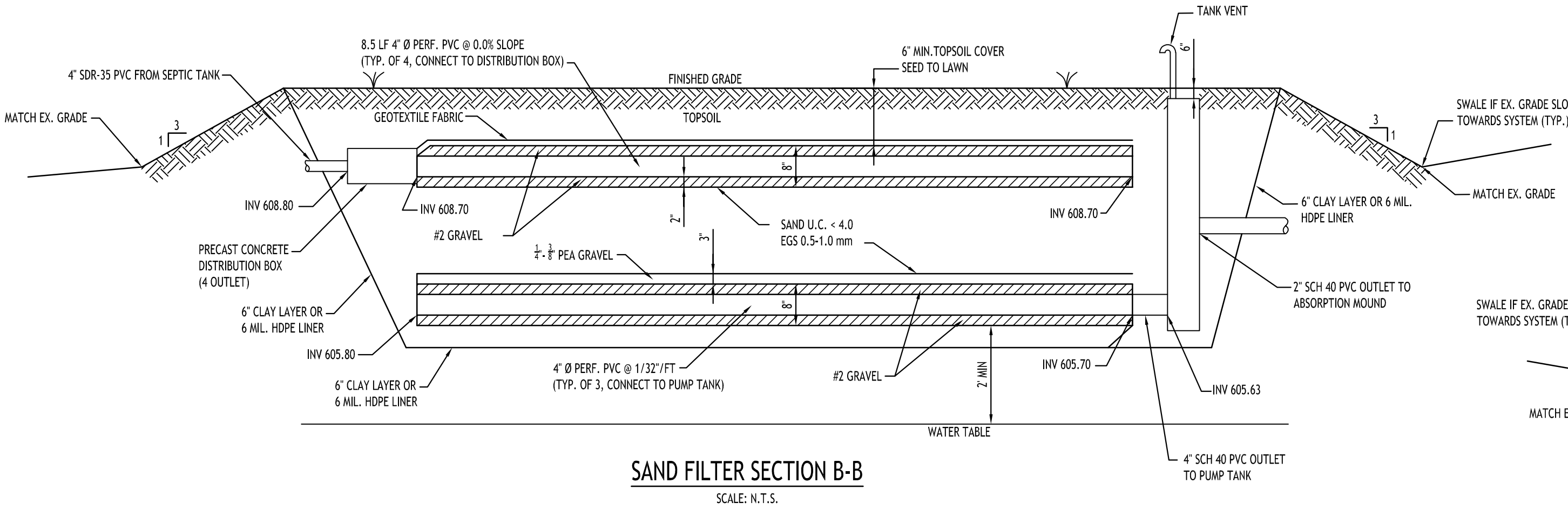
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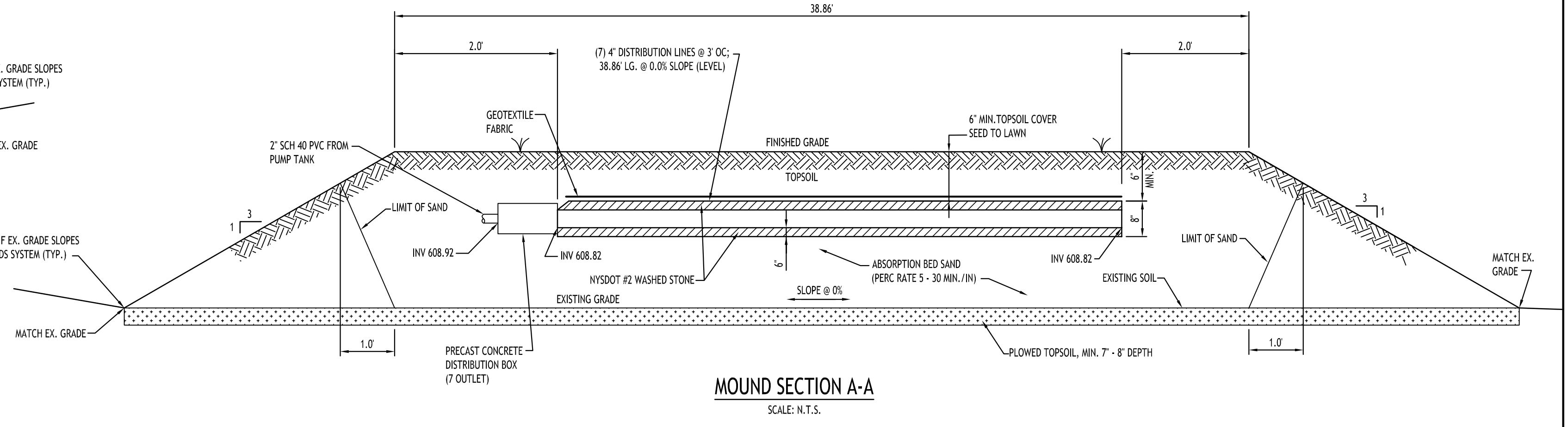
**SAND FILTER CROSS SECTION A-A**  
SCALE: N.T.S.



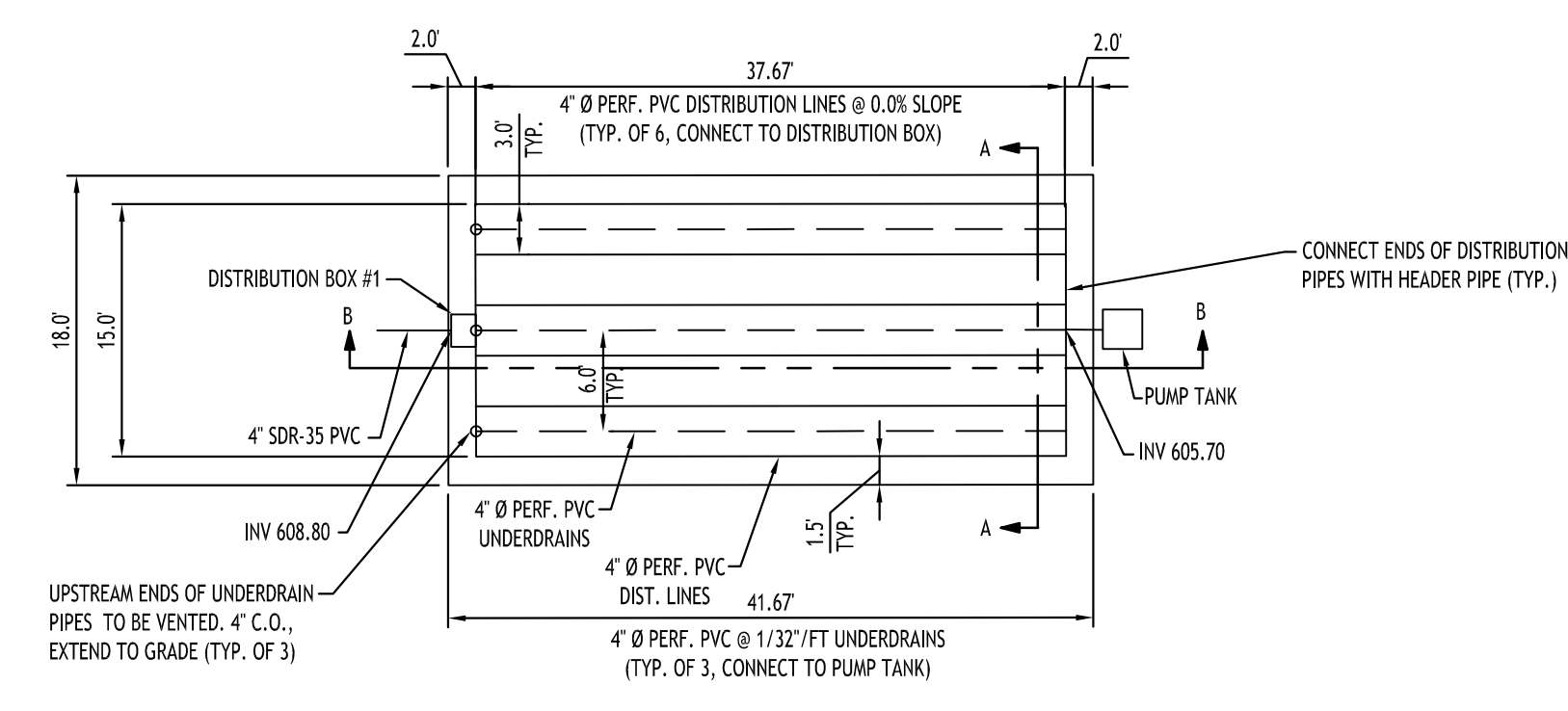
**MOUND SECTION B-B**  
SCALE: N.T.S.



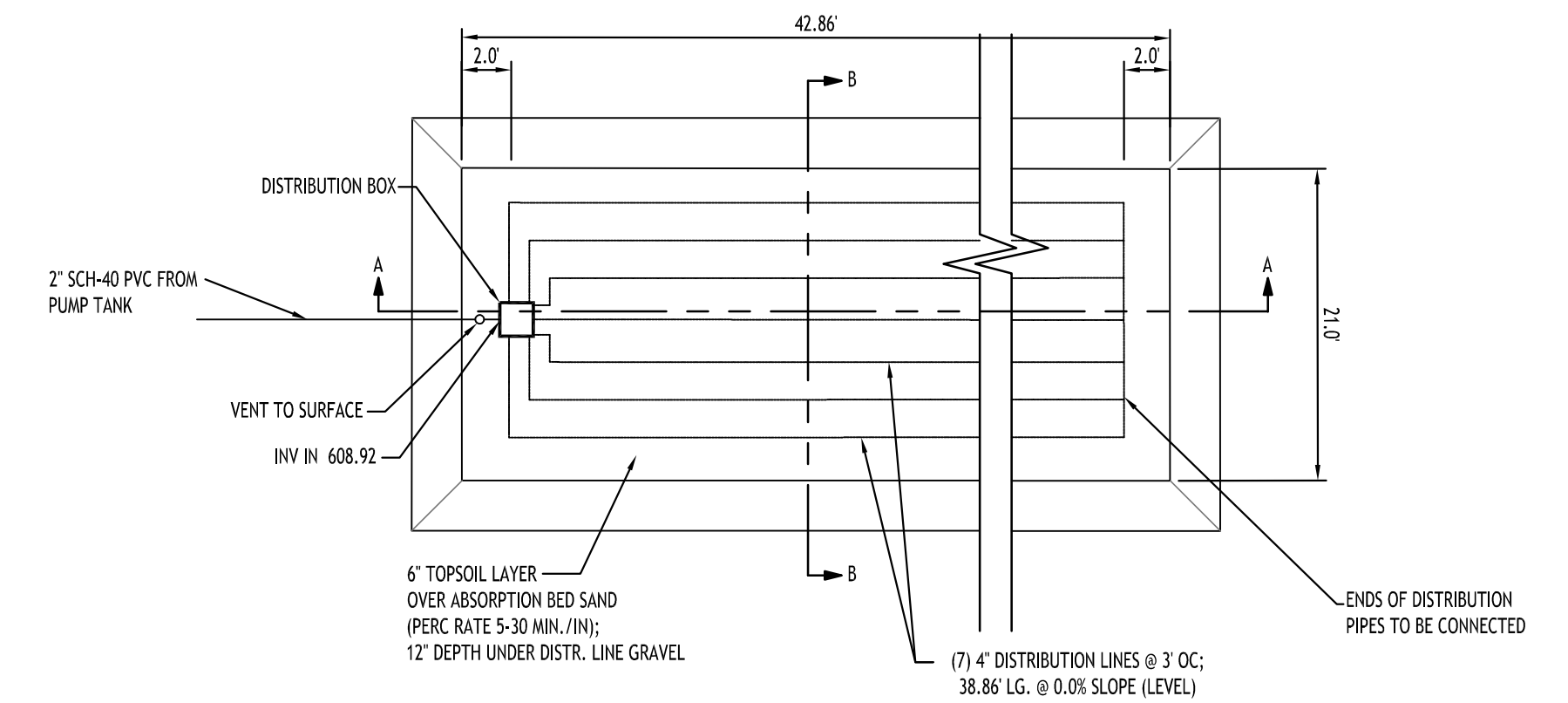
**SAND FILTER SECTION B-B**  
SCALE: N.T.S.



**MOUND SECTION A-A**  
SCALE: N.T.S.



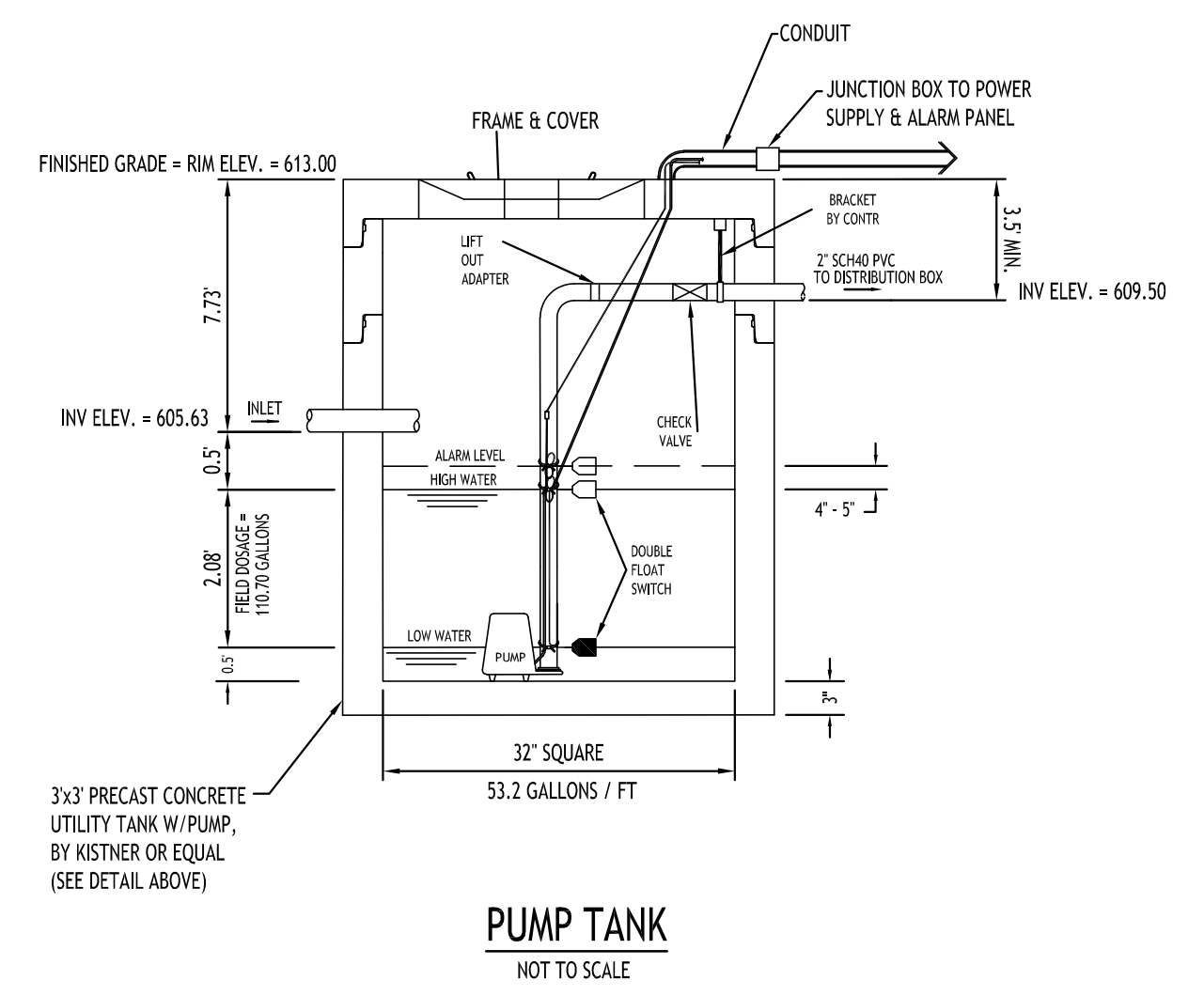
**SAND FILTER PLAN**  
SCALE: N.T.S.



**MOUND PLAN**  
SCALE: N.T.S.

**MOUND SIZING CALCULATION:**  
DAILY FLOW = 750 GPD  
PERC RATE OF EX. UNDERLYING SOIL: > 60 MIN.  
APPLICATION RATE BASED ON PERC. RATE = 1.2 GPD/SF  
BASAL AREA REQ'D = 750 GPD / 1.2 GPD/SF = 900 SF  
BASAL AREA PROVIDED = 900 SF

NOTE: SAND FILTER TO BE CONSTRUCTED INSIDE 6 MIL. HDPE LINER, SEAL PENETRATIONS AND SEAMS WATER TIGHT



**PUMP TANK**  
NOT TO SCALE

- NOTES:**
- ALL PUMP SYSTEMS SHALL BE SUPPLIED & INSTALLED COMPLETE WITH ALL NECESSARY ELECTRICAL DEVICES, CONTROLS AND AUDIO VISUAL ALARMS.
  - TANKS SHALL HAVE EXTERIOR BITUMASTIC COATING.
  - INSTALL OSHA APPROVED STAIRS IN TANK IN LOCATION THAT DOES NOT INTERFERE WITH PUMP OPERATION.
  - PUMP CONTROL PANEL TO BE INSTALLED ON PRESSURE TREATED POST OR IN OTHER LOCATION WHERE VISIBLE, COORDINATE WITH OWNER.
  - THE PUMP SHALL BE INSTALLED IN A 2' x 2' INSPECTION TANK WITH THE FLOATS SET PER THE DETAIL SHOWN. THE ACCESS HATCH SHALL BE EXTENDED TO BE FLUSH WITH FINISHED GRADE.

- ERIE COUNTY HEALTH DEPARTMENT NOTES**
- THE EXCAVATED ROCK AREA MUST BE TESTED FOR ROCK INFILTRATION CAPACITY BY DISCHARGING A GARDEN HOSE RUNNING AS FULL AS POSSIBLE FOR A MINIMUM OF 30 MINUTES. WATER SHALL NOT ACCUMULATE. OR, IF THE ABOVE IS NOT POSSIBLE, FILL THE EXCAVATION WITH 2' OF HAULED WATER AND RECORD THE DRAINAGE RATE, WHICH MUST BE 30 MINUTES OR LESS TO DROP 1 INCH. AN EFFORT MUST BE MADE TO CLEAR SUFFICIENT DEBRIS TO OBSERVE BEDROCK SURFACE OVER THE EXTENT OF THE EXCAVATION.
  - SAND FILTER TO BE SIZED AS NORMAL EXCEPT THAT 0.8 GPD/SF APPLICATION RATE SHALL BE USED.
  - THE DOWNSTREAM ABSORPTION SYSTEM (DISCHARGE LINES) WILL BE CONSTRUCTED BENEATH THE SAND FILTER AS SHOWN IN THE SECTION.
  - MINIMUM OF 4" OF #2 GRAVEL SHALL BE PLACED BETWEEN THE EXCAVATED BEDROCK AND DISCHARGE LINES. A MINIMUM OF 2" OF #2 GRAVEL SHALL BE PLACED ON TOP OF THE DISCHARGE LINES PER THE SECTION.
  - THE SAND FILTER MUST BE LINED WITH THE "LINER SANDWICH" CONSTRUCTED BETWEEN THE DOWNSTREAM ABSORPTION SYSTEM AND THE SAND FILTER AS FOLLOWS:  
- TOP LAYER: NON-WOVEN GEOTEXTILE - TERRATEX 4.5 OR APPROVED EQUAL  
- 6 MIL. POLYETHYLENE  
- 6 MIL. POLYETHYLENE  
- BOTTOM LAYER: NON-WOVEN GEOTEXTILE - TERRATEX 4.5 OR APPROVED EQUAL
  - SLOPE LINER AT OUTSIDE EDGES TOWARDS THE COLLECTION LINES TO CHANNEL WATER TO COLLECTORS.
  - PIPE INTRUSIONS - USE FERMC COUPLINGS OR APPROVED EQUAL.
  - INSPECTION TANK VENT PIPE SHALL BE OPEN GRATED AND EXPOSED TO THE ATMOSPHERE AT ALL TIMES. CAPPING OR BURNING THE VENT COULD RESULT IN A FINE. OPEN GRATE VENT PIPE MUST BE A MINIMUM OF 2' ABOVE THE GROUND SURFACE.
  - THE TOP ON THE INSPECTION TANK MUST BE LOCATED A MAXIMUM OF 3" BELOW GRADE. IF AT OR ABOVE GRADE, A LOCKABLE COVER SHALL BE PROVIDED.

- MOUND NOTES:**
- TOP OF MOUND SHALL BE SLOPED TO DRAIN, AREAS AROUND THE BASE OF THE MOUND SHALL BE GRADED TO DIVERT WATER AWAY FROM THE MOUND.
  - SLOPE UNDER MOUND SHALL FOLLOW SLOPE OF EXISTING GRADE, EITHER SIDE TO SIDE OR LONGITUDINAL TO FACILITATE DRAINAGE (SHOWN AS SIDE TO SIDE FOR ILLUSTRATION PURPOSES).
  - ALL HEAVY EQUIPMENT SHALL BE KEPT OFF THE MOUND AREA FOLLOWING CONSTRUCTION. IN ADDITION, NO EQUIPMENT SHALL BE ALLOWED IN THE MOUND AREA FOLLOWING PLOWING OF THE EXISTING SOIL.
  - MOUND SHALL BE ELEVATED AS REQUIRED TO PROVIDE A MINIMUM OF 2' OF NATURAL SOIL ABOVE BEDROCK AND A MINIMUM OF 1' ABOVE THE HIGH GROUND WATER ELEVATION.
  - THE SLOPE OF THE ORIGINAL GROUND SURFACE IN THE LOCATION OF THE MOUND SHALL NOT EXCEED 12%. THE SYSTEM SHALL BE ORIENTED TO RUN PARALLEL WITH THE NATURAL SITE CONTOURS.
  - THE ABSORPTION BED SAND SHALL MEET THE FOLLOWING CRITERIA:  
A. < 10% passing #200 sieve  
B. < 25% passing #10 sieve to #10 sieve  
C. < 15% passing 1/2 sieve  
D. Percolation rate of between 5 - 30 min/inch  
E. E.G.S. between 0.15 - 0.30 mm  
F. U.C. between 4 - 6  
G. Test results to be submitted to engineer for approval
  - NOTE: ASTM C33 WASHED CONCRETE SAND WILL TYPICALLY MEET THE ABOVE SUGGESTED MOUND SAND CRITERIA AND WILL TYPICALLY BE AVAILABLE AT MOST SAND AND GRAVEL DISTRIBUTORS; HOWEVER, THIS MATERIAL WILL OFTEN HAVE A PERC RATE FASTER THAN THE MINIMUM OF 5 MINUTES PER INCH. THE PERCOLATION RATE SHALL BE VERIFIED AND TAKE PRECEDENCE TO THE FILL GRADATION REQUIREMENTS WHEN A MOUND IS PLACED OVER VERY SLOW PERCOLATING SOIL TO AVOID RAPID WEEPING OF FLUIDS AT THE GROUND SURFACE.
  - THE NATURAL VEGETATION SHALL NOT BE SCRAPPED AWAY WITH THE EXCEPTION OF TREES, STUMPS AND EXCESSIVE VEGETATION. THE PROPOSED MOUND AREA SHALL BE PLOWED TO A DEPTH OF 7' - 8' PREFERABLY WITH A DOUBLE-BOTTOM BLADE/FURROW PLOW WITH TURNED UPSLOPE OR A BACKHOE EQUIPPED WITH PLOWING BLADES. ALL TRAFFIC SHALL BE EXCLUDED FROM THE MOUND AREA FOLLOWING PLOWING.
  - DEPENDING ON DEPTH OF HIGH WATER MARK OR BEDROCK, THE ENTIRE MOUND MAY BE ADJUSTED UP OR DOWN. ALL REQUIRED CLEARANCES AND MINIMUM SLOPES MUST BE MAINTAINED. IF ADJUSTMENTS ARE MADE TO THE MOUND, THE ENGINEER SHALL BE NOTIFIED PRIOR TO START OF INSTALLATION.

**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

**Proposed Warehouses**  
9717 County Road  
Clarence, NY

REVISIONS:	No.	Description	Date
1	1	Rev. per ECD/0H comments	1/6/26



**DRAWING NAME:**  
Septic Details

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

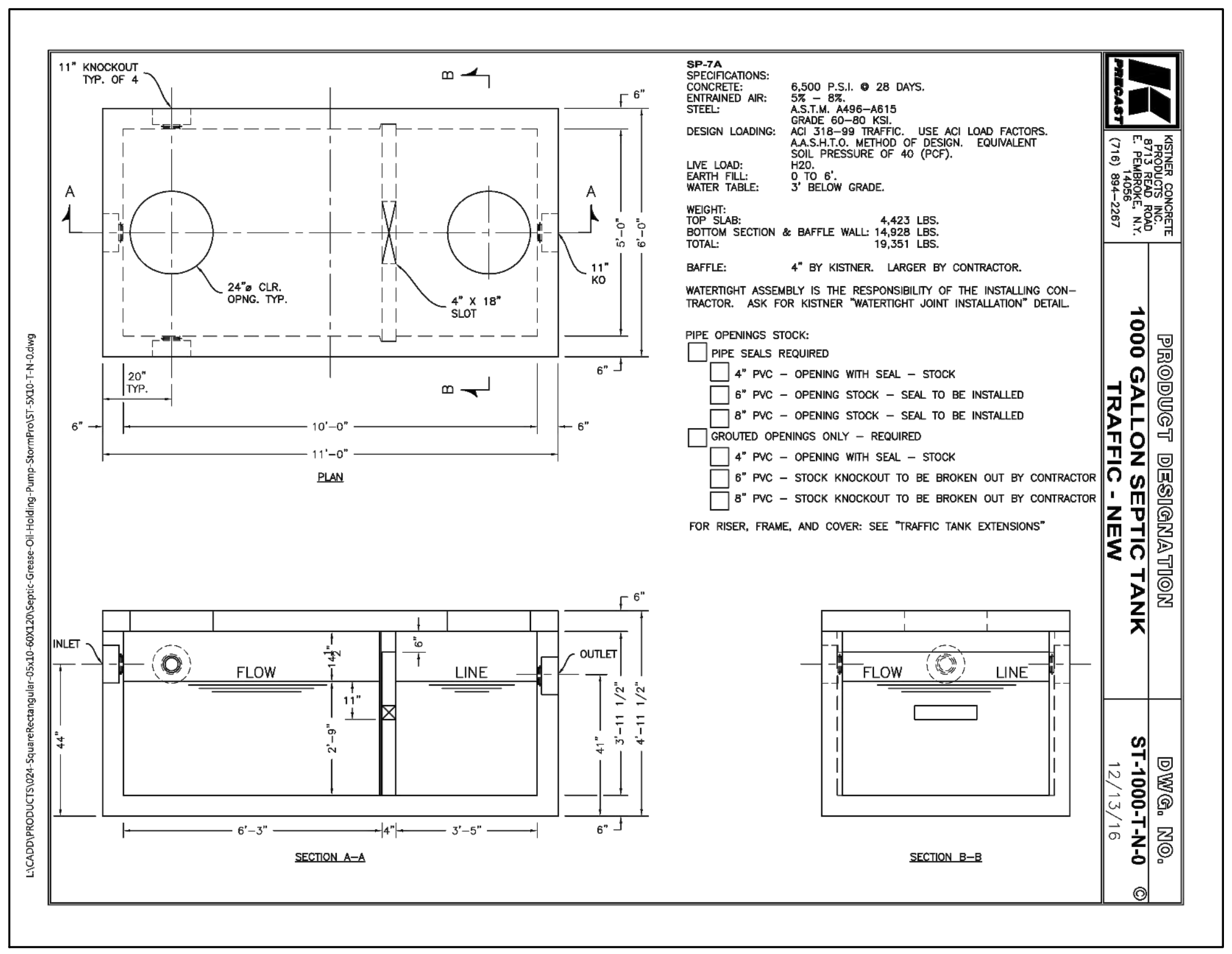
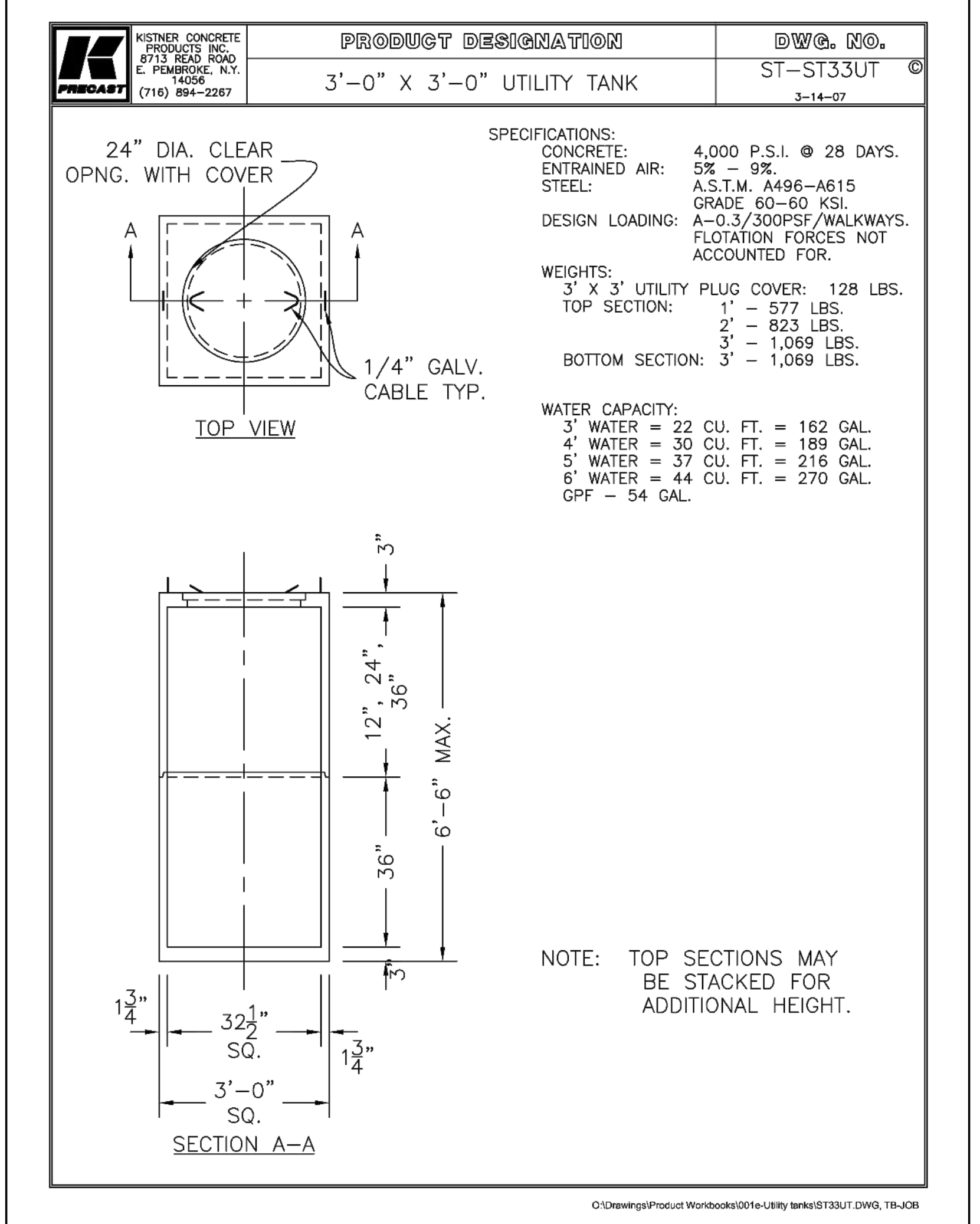
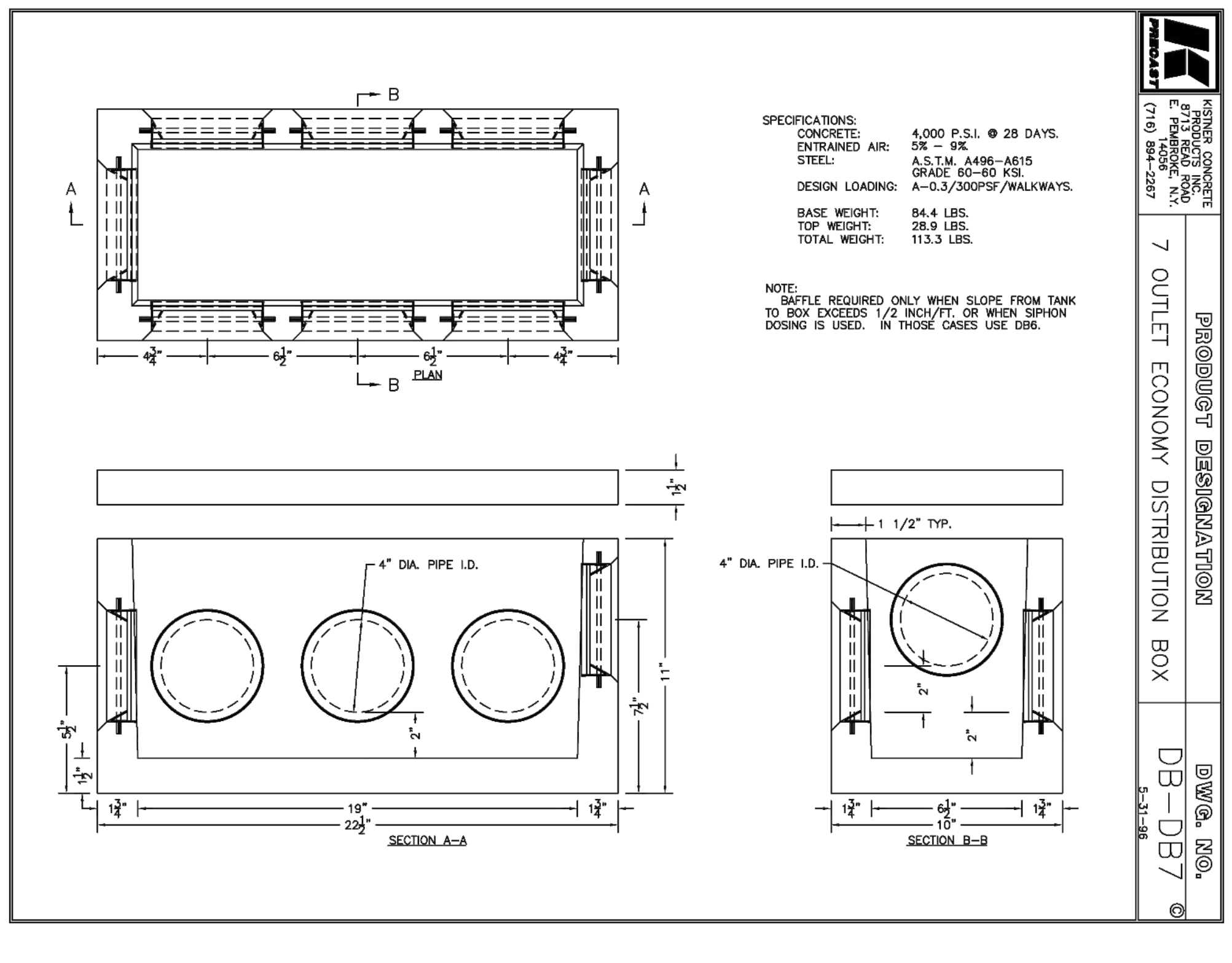
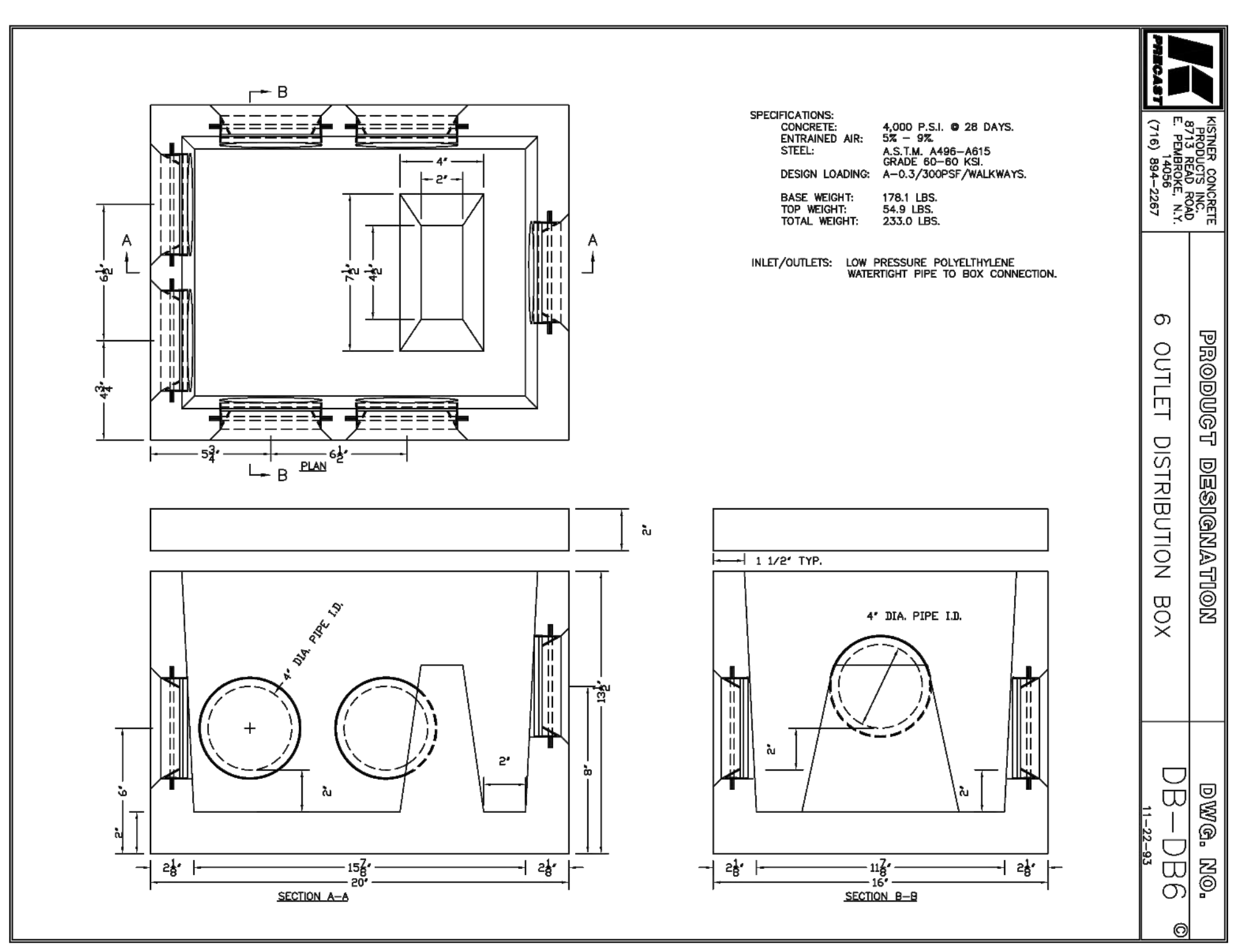
**DRAWING NO.:**  
**C-403**  
Project No: 24-4125

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C:\Drawing\Product Workbooks\005 Distribution Boxes\0517.dwg



**DRAWING NAME:**  
Septic Details

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.**

**C-404**

Project No: 24-4125

**Proposed Warehouses**  
9717 County Road  
Clarence, NY

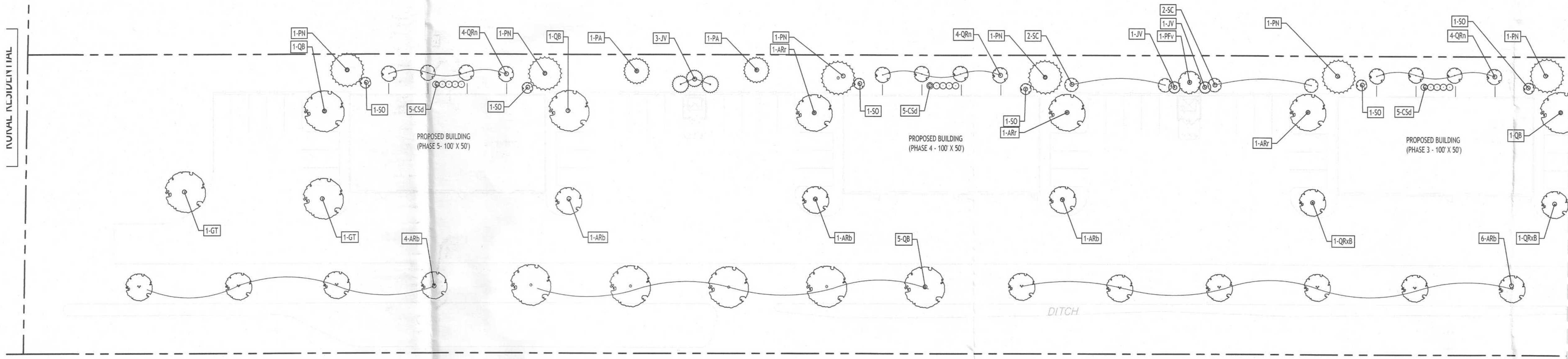
**REVISIONS:**

No.	Description	Date
1	Rev. per ECD001 comments	1/6/26

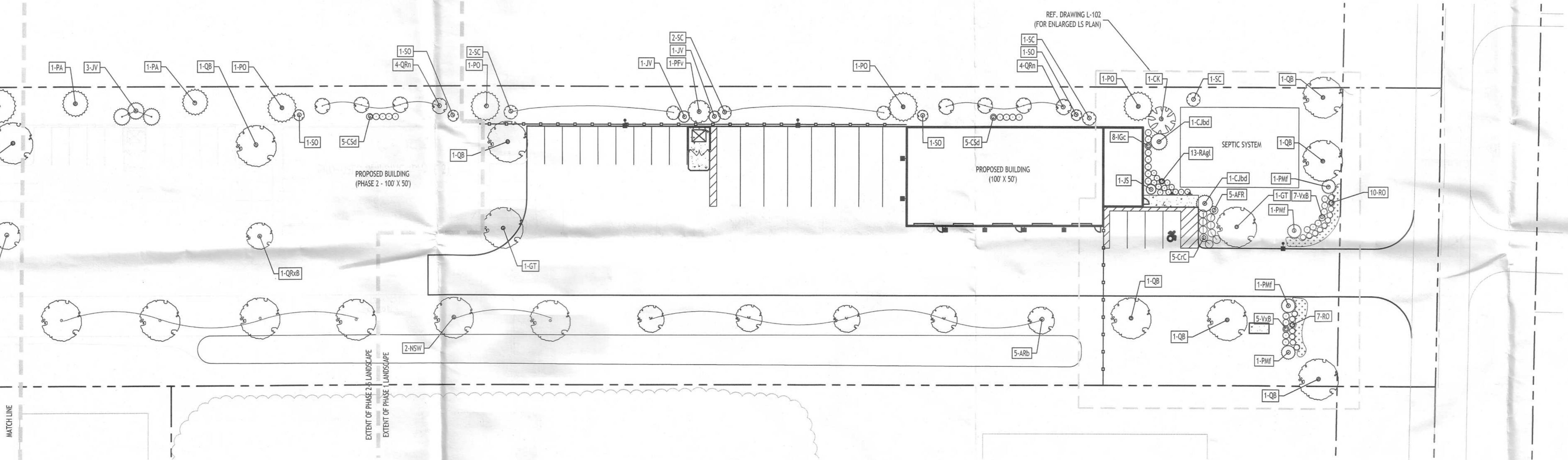
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**Landscape Plan**  
SCALE: 1"=30'



**Landscape Plan**  
SCALE: 1"=30'

- LEGEND**
- DECIDUOUS TREE
  - SMALL TREE
  - EVERGREEN TREE/SHRUB
  - BUSH/ORNAMENTAL GRASS
  - PERENNIAL

- PLANTING NOTES:**
- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
  - ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE "PREEN" HERBICIDE AND THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
  - ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE "PREEN" HERBICIDE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
  - ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.

- LANDSCAPE NOTES:**
- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
  - THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUALLY INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY, ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
  - THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY, CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
  - ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
  - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART MILORGANITE.
  - STAKE TREES IMMEDIATELY FOLLOWING INSTALLATION.
  - ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH WITH "PREEN".
  - ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE SEEDED.
  - THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 4" MINIMUM OF TOPSOIL, DI PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
  - ALL SEEDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING, SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.

Overall Plant Schedule(Phase)s 1-5 -9717 County Road-Clarence, New York (Ref. Landscape Plan on L-100 & L-102)

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
QB	15	Quercus bicolor	Swamp White Oak	2 1/2" - 3" CAL.	B&B, HT. 60', W 40'
QRn	20	Quercus robur x bicolor 'Nadler'	Kindred Spirit Oak	2 1/2" - 3" CAL.	B&B, HT. 35', W 8'
GT	4	Gleditsia triacanthos f. inermis 'Skycole'	Honey locust - Skyline	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
ARb	18	Acer rubrum 'Bowhall'	Bowhall Red Maple	2 1/2" - 3" CAL.	B&B, HT. 40', W 20'
ARr	3	Acer rubrum 'Redpointe'	Redpointe Red Maple	2 1/2" - 3" CAL.	B&B, HT. 40', W 30'
NSW	6	Nyssa sylvatica 'Wildfire'	Wildfire Black Tupelo	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
QRxB	3	Quercus bicolor 'Bonnie and Mike'	Beacon Oak	2 1/2" - 3" CAL.	B&B, HT. 40', W 15'
<b>EVERGREEN TREES</b>					
PO	4	Picea omorika	Serbian Spruce	6-8' Tall	B&B, HT. 40', W 15'
PN	6	Pinus nigra	Austrian Pine	6-8' Tall	B&B, HT. 35', W 15'
PA	4	Picea abies 'Hillside upright'	Upright Norway Spruce	6-8' Tall	B&B, HT. 40', W 8'
JV	10	Juniperus virginiana 'Emerald Sentinel'	Eastern Red Cedar	6-8' Tall	B&B, HT. 20', W 6'
JS	1	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6-8' Tall	B&B, HT. 16', W 4'
PFv	2	Pinus flexilis 'Vanderwolfs'	Blue Limber Pine	6-8' Tall	B&B, HT. 25', W 12'
CJbd	2	Cryptomeria Japonica 'Black Dragon'	Black Dragon Japanese cedar	6-8' Tall	B&B, HT. 8', W 4'
PMF	4	Pinus mugo 'fastigiata'	Upright Mugo Pine	6-8' Tall	B&B, HT. 8', W 4'
<b>SMALL / ORNAMENTAL TREES</b>					
CK	1	Cornus kousa	Kousa Dogwood	1 1/2" x 2 1/2" CAL.	B&B, HT. 20', W 20'
SO	10	Amelanchier 'Standing Ovation'	Standing Ovation Serviceberry	1 1/2" x 2 1/2" CAL.	B&B, HT. 15', W 5'

Overall Plant Schedule cont.

SHRUBS / PERENNIALS / GRASSES					
RAgl	13	Rhus aromatica 'Gro-low'	Fragrant Sumac	18-24" Tall	Cont. #3, HT. 2-3, W 6'
AFR	5	Cornus stolonifera 'Farrow'	Arctic Fire Red Twig Dogwood	24-36" Tall	B&B, HT. 4', W 4'
IGc	8	Ilex glabra compacta	Inkberry Holly - Compact	24-36" Tall	B&B, HT. 4', W 4'
VxB	12	Viburnum x burkwoodii	Burkwood Viburnum	24-36" Tall	B&B, HT. 5', W 4'
RO	17	Andropogon gerardii 'Red October'	Red October Big Bluestem	24-36" Tall	B&B, HT. 5', W 4'
CrC	5	Cotoneaster apiculatus	Cranberry Cotoneaster	24-36" Tall	B&B, HT. 3', W 6'
Csd	25	Cornus sericea	Red Twig/Osier Dogwood	24-36" Tall	B&B, HT. 5', W 6'
SC	10	Sambucus canadensis	Eldeberry bush	24-36" Tall	B&B, HT. 5', W 6'

Note: Plant schedule reflects the total plant count for Phases 1-5 - ref. Landscape Plans on L-100 and L-102

**ADDITIONAL PLANTING NOTES(TOWN OF CLARENCE):**

ALL PLANTS INSTALLED SHALL HAVE THE NURSERY TAG(SHOWING PLANT TYPE & SPECIES) TO ENABLE IDENTIFICATION AND CONFIRMATION OF PLANT AT TIME OF LANDSCAPE INSPECTION

ALL LANDSCAPING TO BE MAINTAINED IN PERPETUITY, AND ANY LANDSCAPING TO BE REPLACED IN KIND UPON DEATH OR DISEASE

IN THE EVENT THAT A SPECIFIED PLANT IS NOT AVAILABLE AND AN ALTERNATIVE PLANT HAS BEEN CHOSEN, TOWN MUST BE NOTIFIED OF SUBSTITUTION AND SUBSEQUENT APPROVAL BY TOWN MUST BE GRANTED BEFORE INSTALLATION.

ANY CHANGE IN THE APPROVED PLANTING PLAN LAYOUT WILL BE SUBMITTED TO TOWN FOR REVIEW AND APPROVAL.

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**Proposed Warehouses**  
9717 County Road  
Clarence, NY

REVISIONS:	No.	Description	Date
1	1	Rev. per Town comments	2/25/25
2	2	Rev. per Town comments	3/15/25
3	3	Rev. per Town comments	10/24/25



**DRAWING NAME:**  
Landscape Plan  
Plant Schedule  
Planting Notes

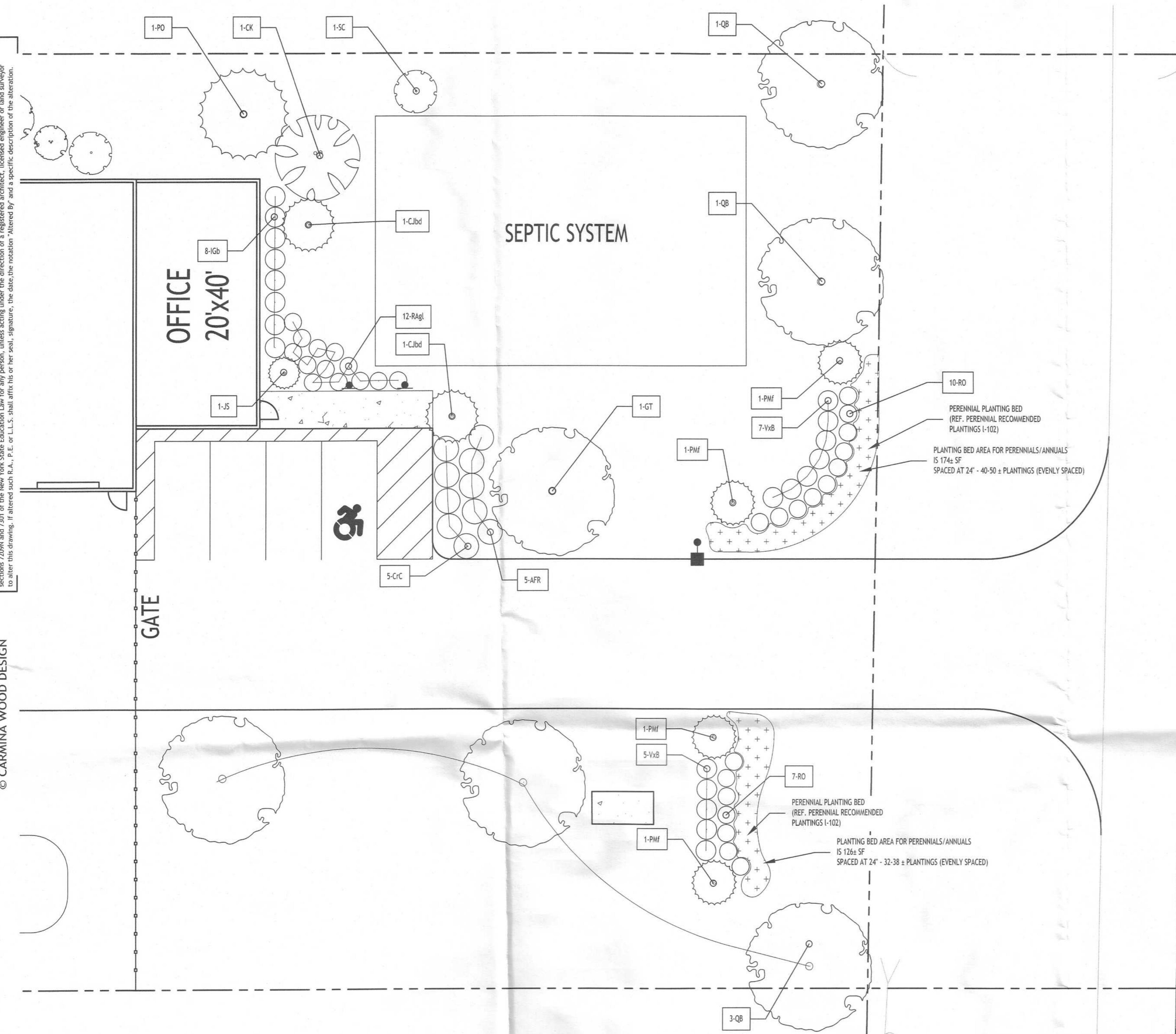
Date: 1/31/25  
Drawn By: C. Wood  
Scale: As Noted

CONDITIONALLY APPROVED BY TOWN OF CLARENCE LANDSCAPE COMMITTEE  
DATE: 1/18/25  
BY: [Signature]  
**RECEIVED**  
OCT 29 2025  
ZONING OFFICE

**L-100**  
Project No: 24-4125

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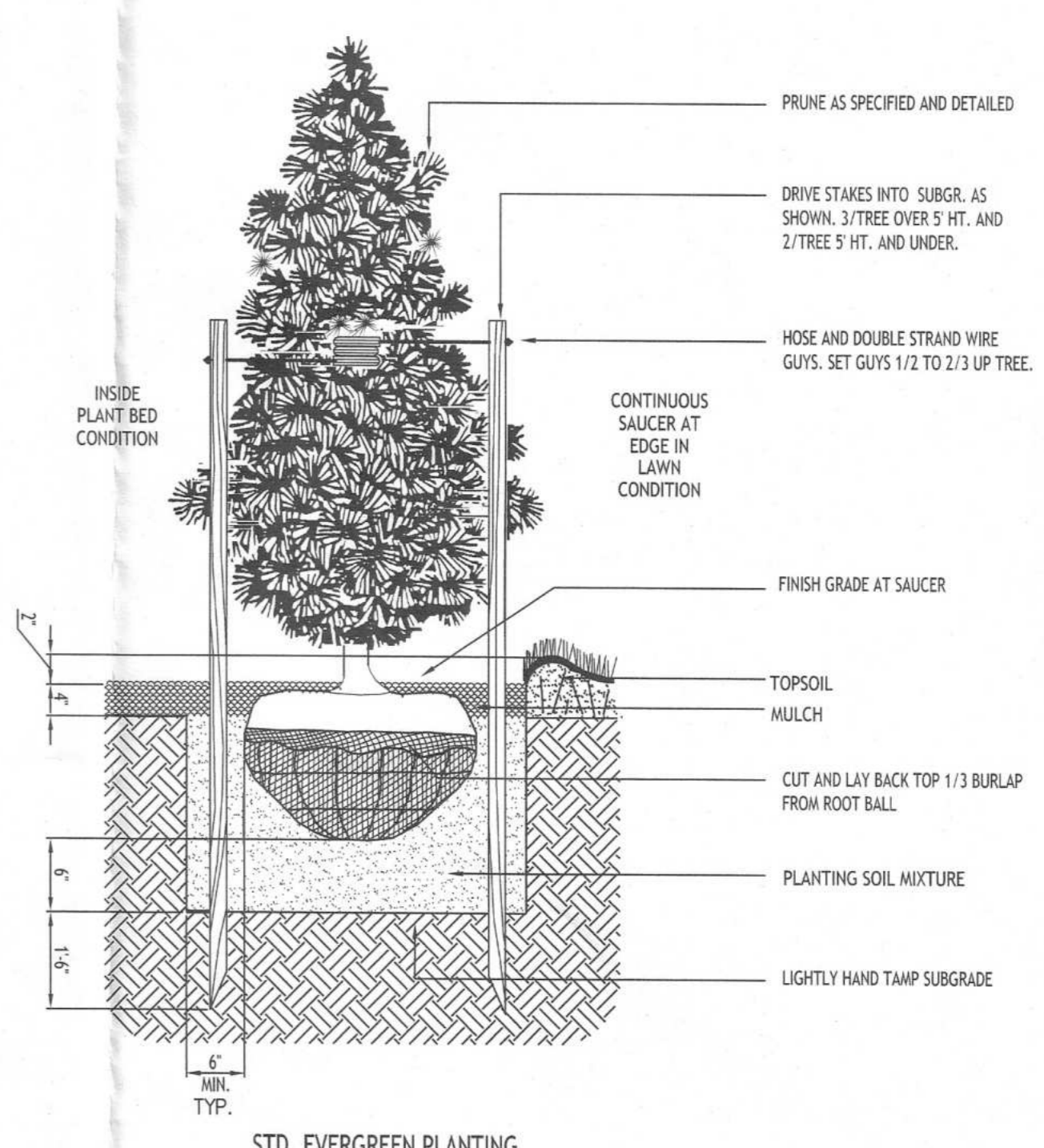
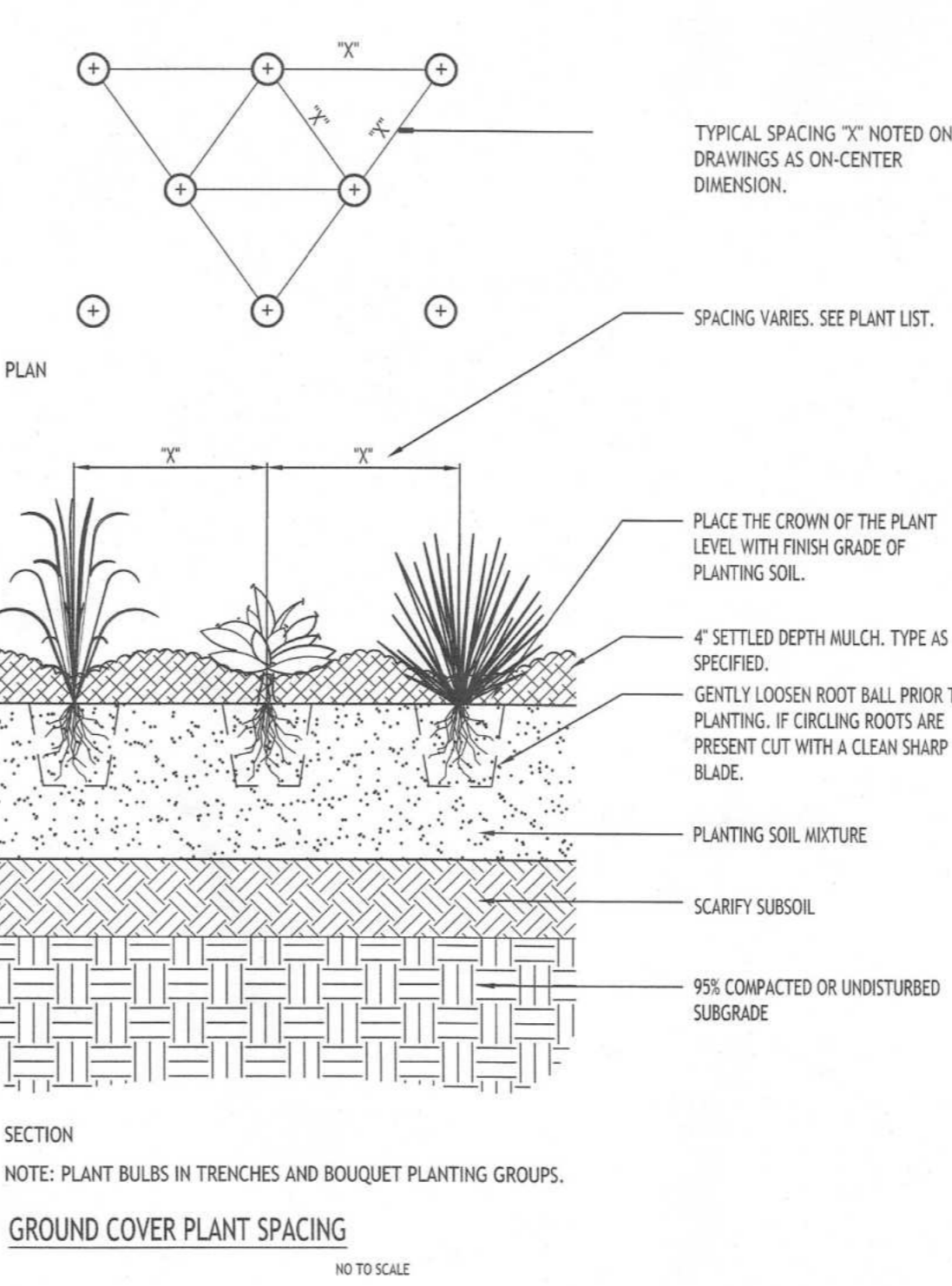
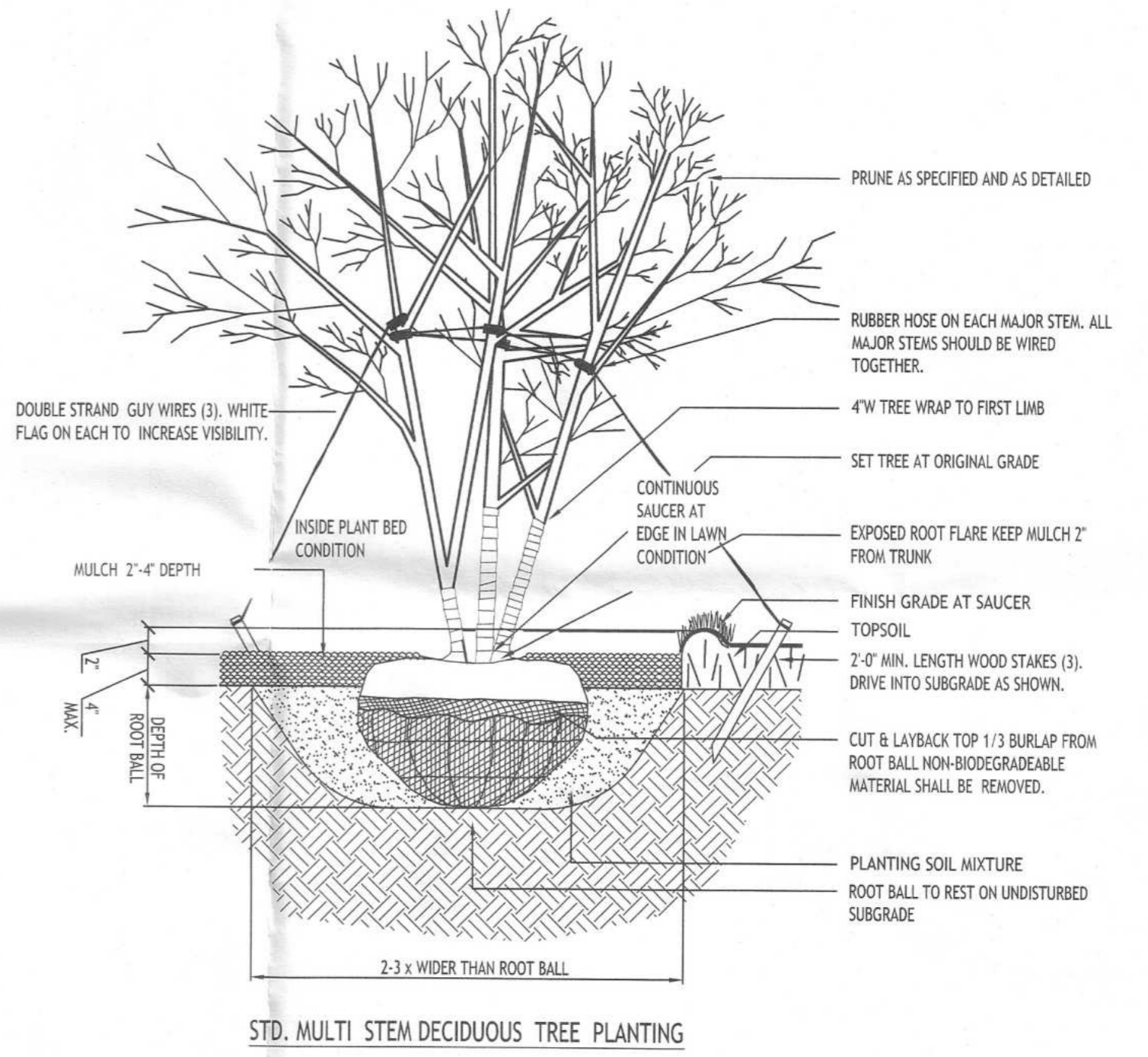
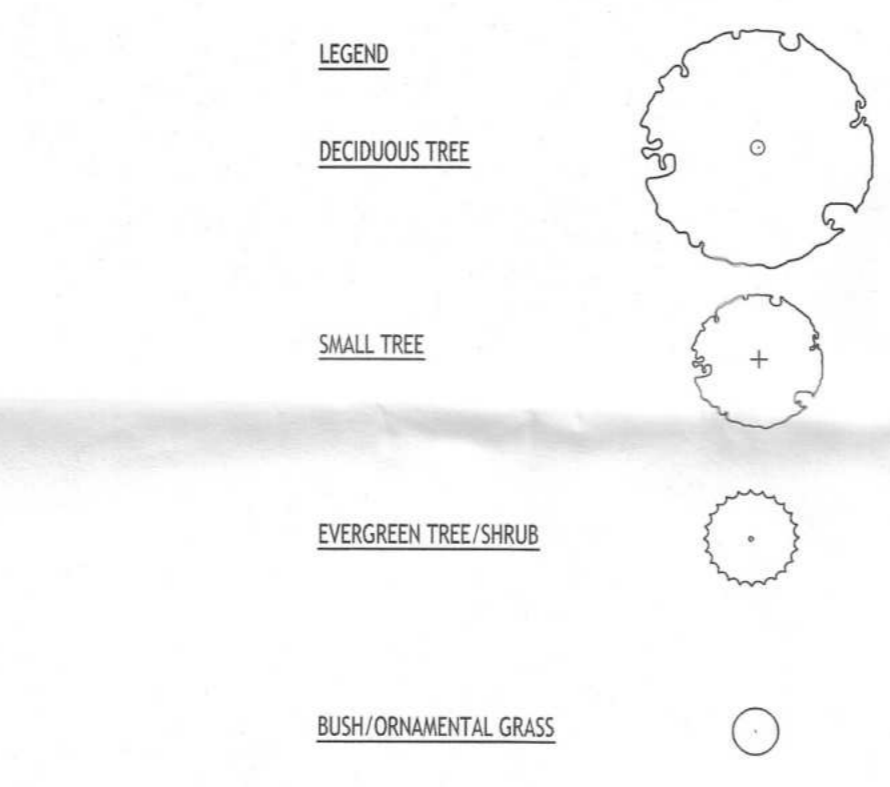
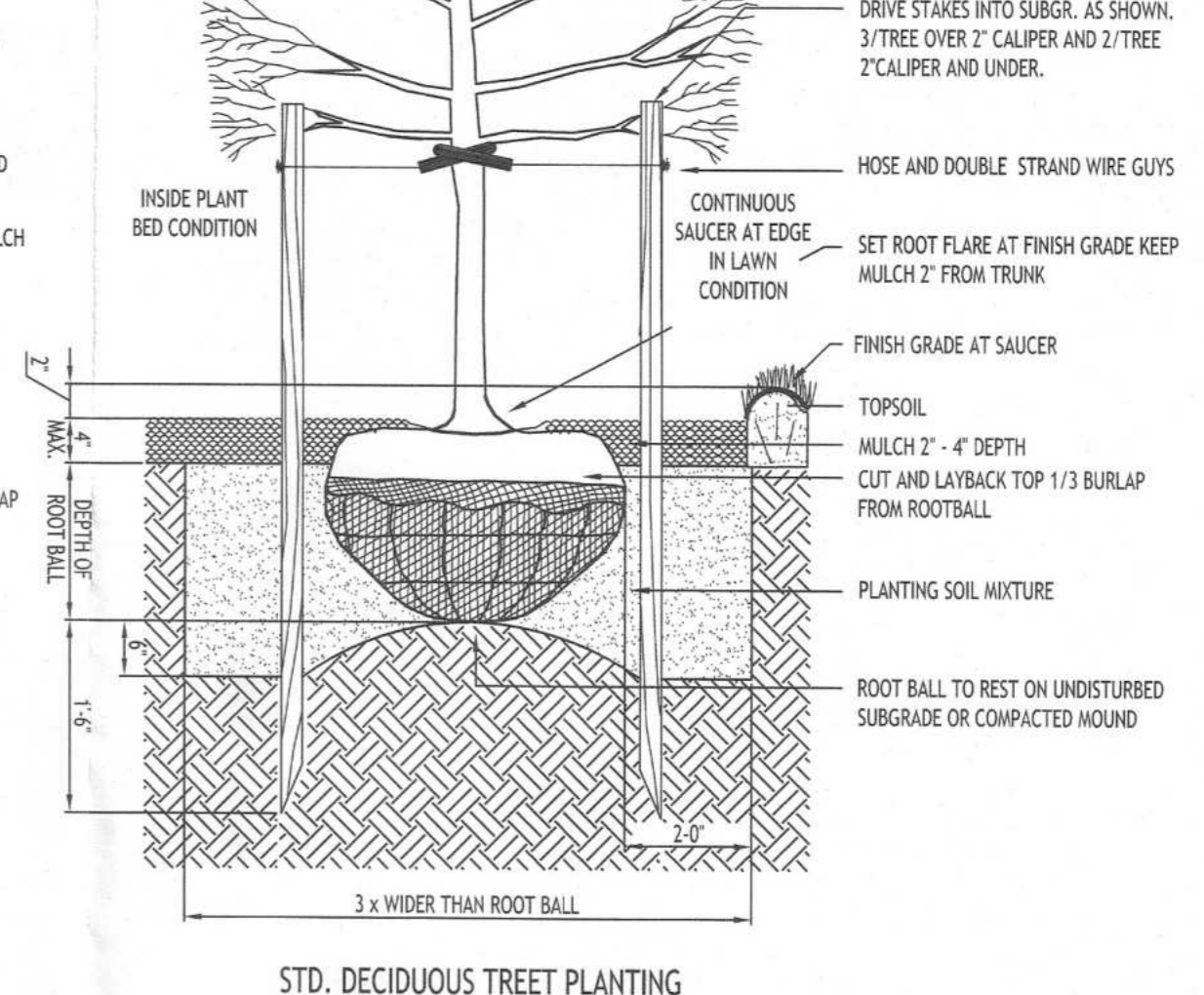
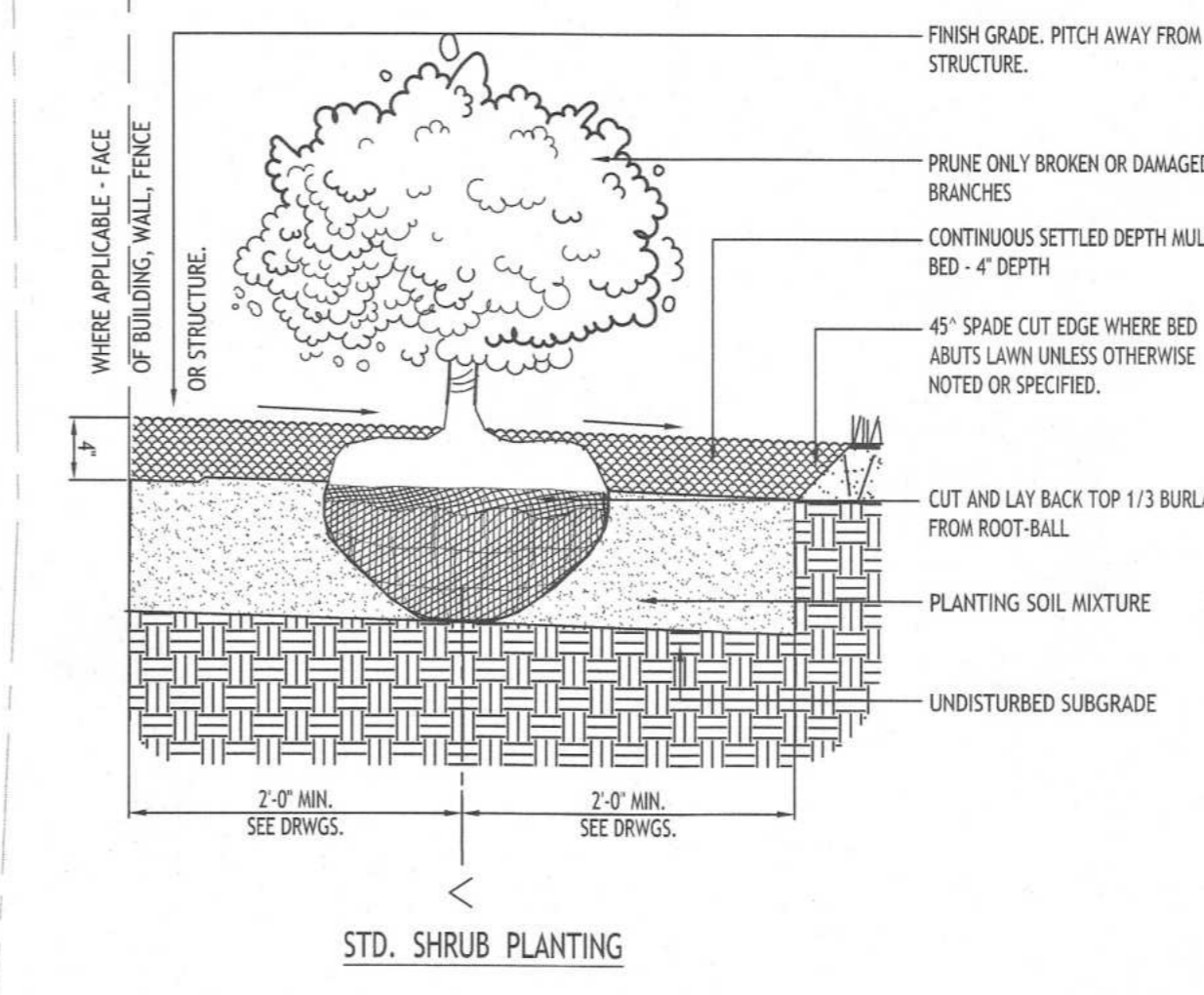
**Enlarged Landscape Plan @ Front Entry**  
SCALE: 1"=10'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**Plant Palette - Recommended Perennial(s) @ Entrance Islands - Ref. Enlarged Landscape Plan - L-102**

PERENNIALS				
NxF	NA	Nepeta x faassenii 'Walker's Low Catmint'	Walker's Low Catmint	18-24" Tall Cont. #3, HT. 18" W 2'
EP	NA	Echinacea purpurea	Purple Cone Flower	18-24" Tall Cont. #3, HT. 2' W 2'
Rh	NA	Rudbeckia hirta	Black Eyed Susan	18-24" Tall Cont. #3, HT. 2' W 2'
RS	NA	Perovskia atriplicifolia	Russain Sage	18-24" Tall Cont. #3, HT. 3' W 2'
AxC	NA	Achillea x coronation	Coronation Gold Yarrow	18-24" Tall Cont. #3, HT. 3' W 2'
SdO	NA	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	18-24" Tall Cont. #3, HT. 2' W 2'

Note: Plant schedule is a suggested list of perennials that would be well suited to the two entrance islands, actual number and type of perennials to be determined by owner/owner representative. The resulting perennial mixture to offer seasonal interest and an array of colors when in bloom



REVISIONS:

No.	Description	Date
1	Rev. per Town comments	2/25/25
2	Rev. per Town comments	3/5/25
3	Rev. per Town comments	10/24/25



DRAWING NAME:  
**Landscape Plan Details Plant Schedule**

Date: 1/31/25  
Drawn By: C. Wood  
Scale: As Noted

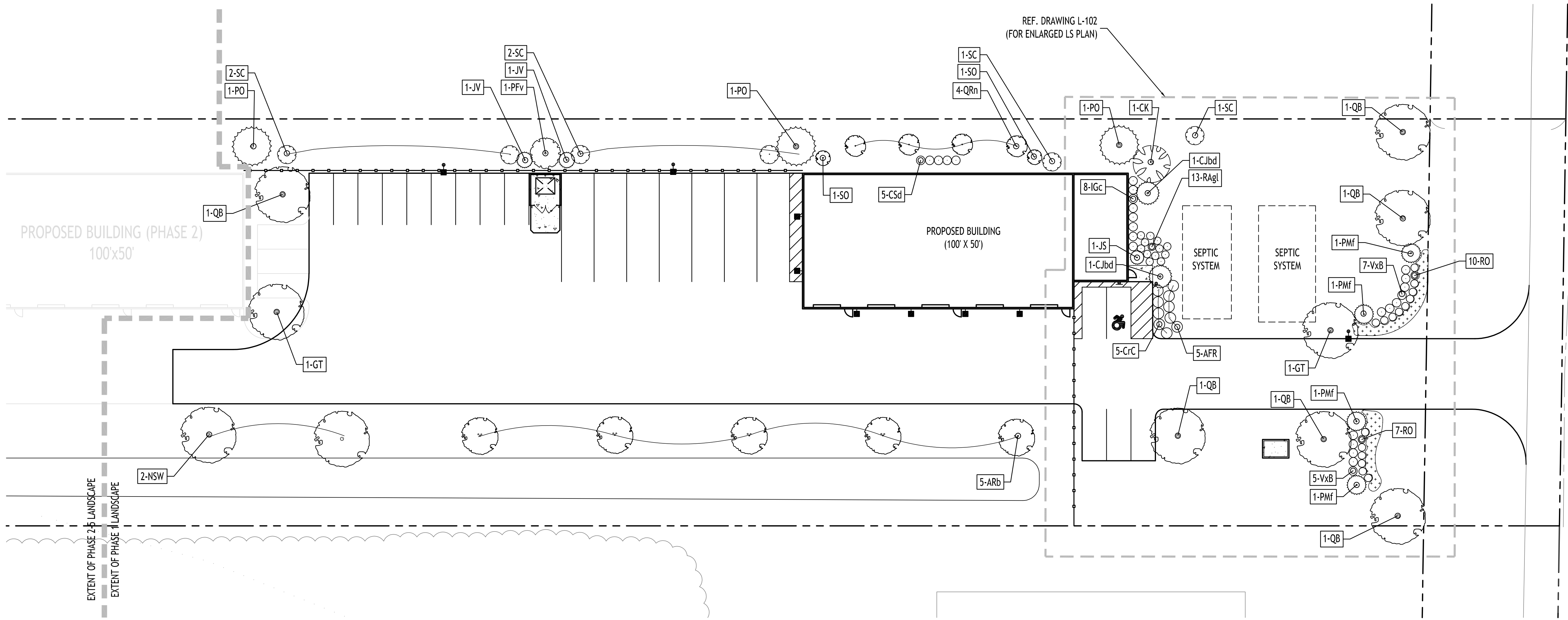
DRAWING NO.:  
**L-102**  
Project No: 24-4125





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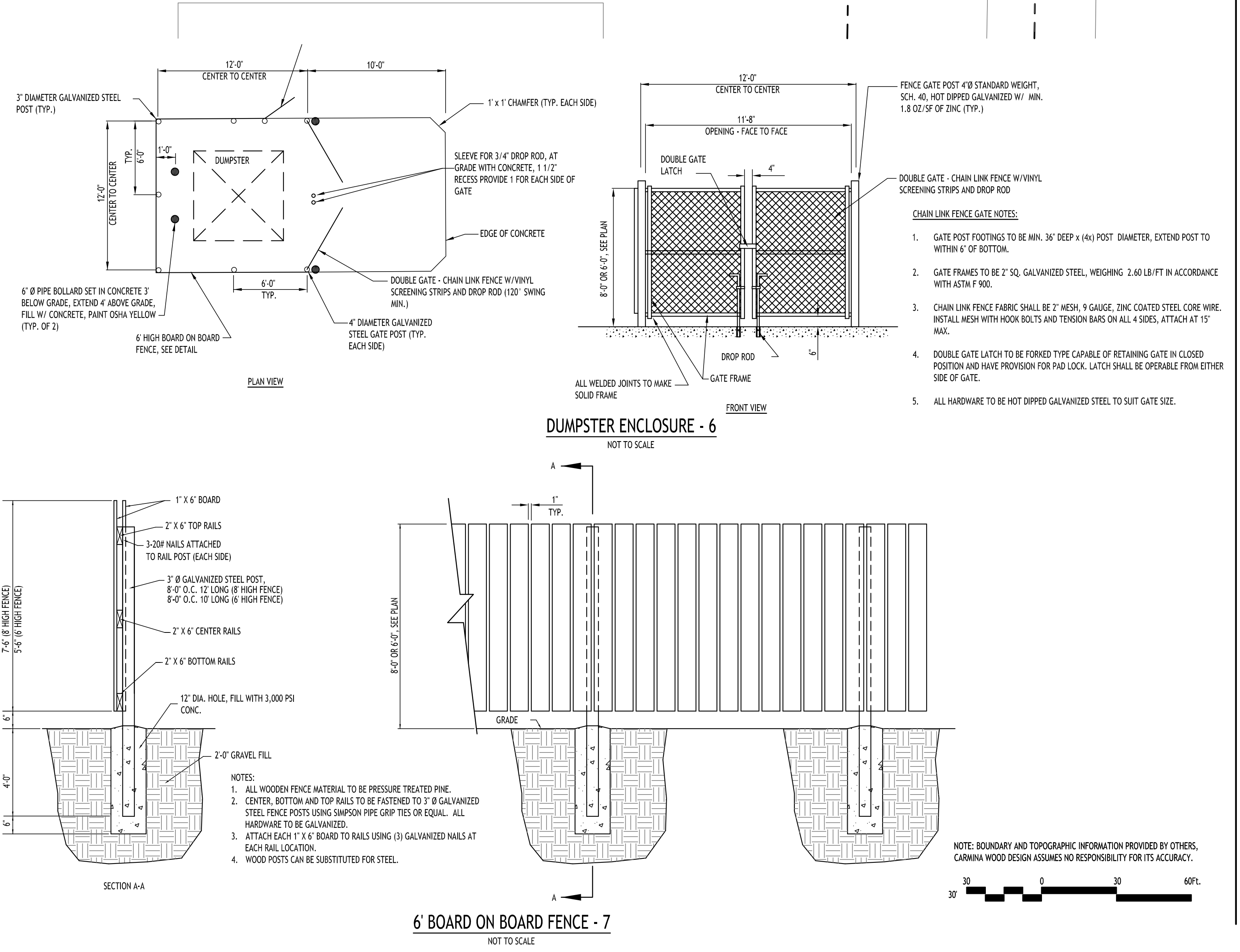


**Landscape Plan (Phase 1)**  
SCALE: 1"=20'

Phase 1 Plant Schedule -9717 County Road-Clarence, New York (Ref. Landscape Plan on L-101 & L-102)

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
QB	6	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" - 3" CAL.	B&B, HT. 60', W 40'
QRn	4	<i>Quercus robur x bicolor 'Nadler'</i>	Kindred Spirit Oak	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
GT	2	<i>Gleditsia triacanthos f. inermis 'Skycole'</i>	Honey locust - Skyline	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
ARb	5	<i>Acer rubrum 'Bowhall'</i>	Bowhall Red Maple	2 1/2" - 3" CAL.	B&B, HT. 40', W 20'
NSW	2	<i>Nyssa sylvatica 'Wildfire'</i>	Wildfire Black Tupelo	2 1/2" - 3" CAL.	B&B, HT. 40', W 35'
<b>EVERGREEN TREES</b>					
PO	3	<i>Picea omorika</i>	Serbian Spruce	6-8' Tall	B&B, HT. 40', W 15'
JV	2	<i>Juniperus virginiana 'Emerald Sentinel'</i>	Eastern Red Cedar	6-8' Tall	B&B, HT. 20', W 8'
JS	1	<i>Juniperus scopulorum 'Skyrocket'</i>	Skyrocket Juniper	6-8' Tall	B&B, HT. 16', W 4'
PFv	1	<i>Pinus flexilis 'Vanderwolf's'</i>	Blue Limber Pine	6-8' Tall	B&B, HT. 25', W 12'
CJbd	2	<i>Cryptomeria Japonica 'Black Dragon'</i>	Black Dragon Japanese cedar	6-8' Tall	B&B, HT. 8', W 4'
PMf	4	<i>Pinus mugo 'fastigiata'</i>	Upright Mugo Pine	6-8' Tall	B&B, HT. 8', W 4'
<b>SMALL / ORNAMENTAL TREES</b>					
CK	1	<i>Cornus kousa</i>	Kousa Dogwood	1 1/2" x 2 1/2" CAL.	B&B, HT. 20', W 20'
SO	2	<i>Amelanchier 'Standing Ovation'</i>	Standing Ovation Serviceberry	1 1/2" x 2 1/2" CAL.	B&B, HT. 15', W 5'
<b>SHRUBS / PERENNIALS / GRASSES</b>					
RAgl	13	<i>Rhus aromatica 'Gro-low'</i>	Fragrant Sumac	18-24" Tall	Cont. #3, HT. 2-3, W 6'
AFR	5	<i>Cornus stolonifera 'Farrow'</i>	Arctic Fire Red Twig Dogwood	24-36" Tall	B&B, HT. 4', W 4'
IGc	8	<i>Ilex glabra compacta</i>	Inkberry Holly - Compact	24-36" Tall	B&B, HT. 4', W 4'
VxB	12	<i>Viburnum x burkwoodii</i>	Burkwood Viburnum	24-36" Tall	B&B, HT. 5', W 4'
RO	17	<i>Andropogon gerardii 'Red October'</i>	Red October Big Bluestem	24-36" Tall	B&B, HT. 5', W 4'
CrC	8	<i>Cotoneaster apiculatis</i>	Cranberry Cotoneaster	24-36" Tall	B&B, HT. 3', W 6'
CSd	5	<i>Cornus sericea</i>	Red Twig/Osier Dogwood	24-36" Tall	B&B, HT. 5', W 6'
SC	6	<i>Sambucus canadensis</i>	Elderberry bush	24-36" Tall	B&B, HT. 5', W 6'

Note: Plant schedule reflects the plant count for Phase 1 - Landscape Plans on L-101 and L-102



REVISIONS:

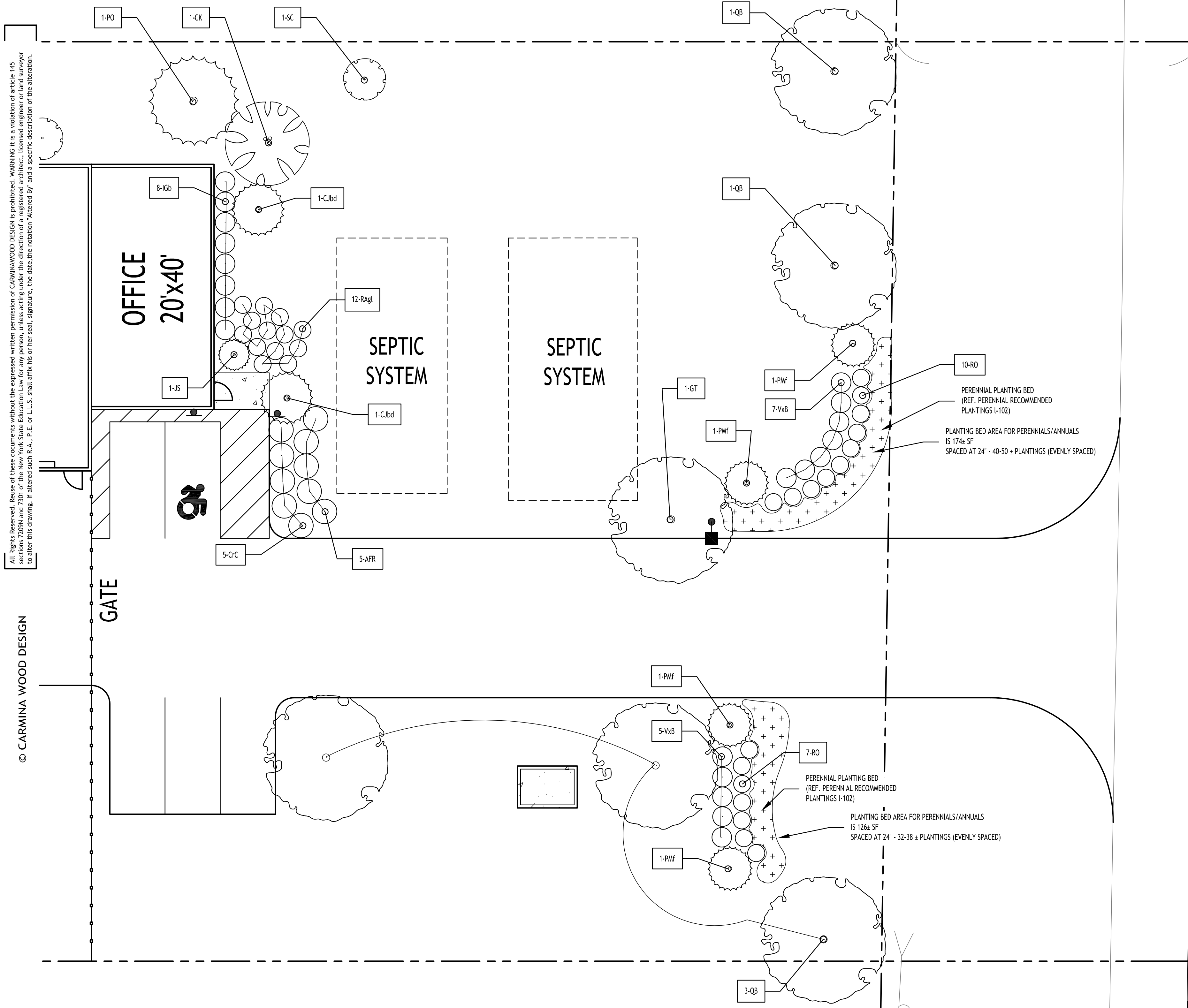
No.	Description	Date
1	Rev. per Town comments	2/25/25
2	Rev. per Town comments	3/15/25
3	Rev. per Town comments	10/24/25
4	Rev. per site changes	1/26/26

DRAWING NAME:  
**Landscape Plan  
Plant Schedule  
Site Details**

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**L-101**  
Project No: 24-4125

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**Enlarged Landscape Plan @ Front Entry**  
SCALE: 1"=10'

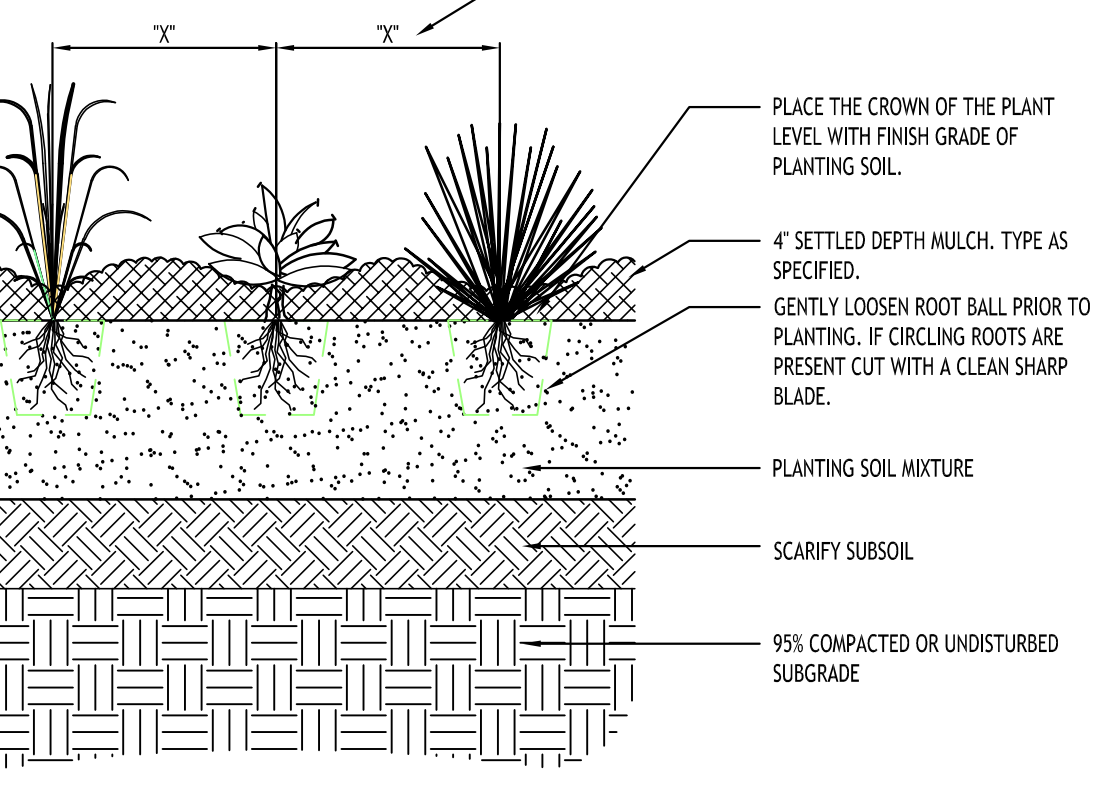
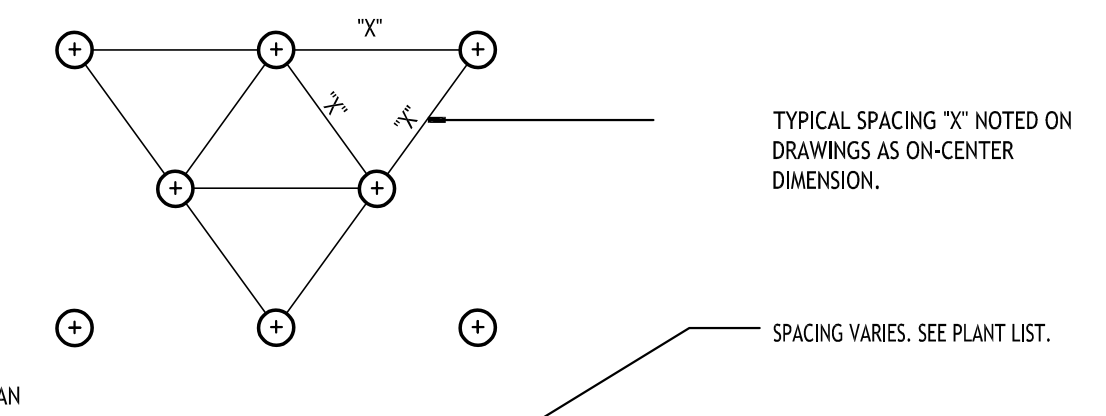
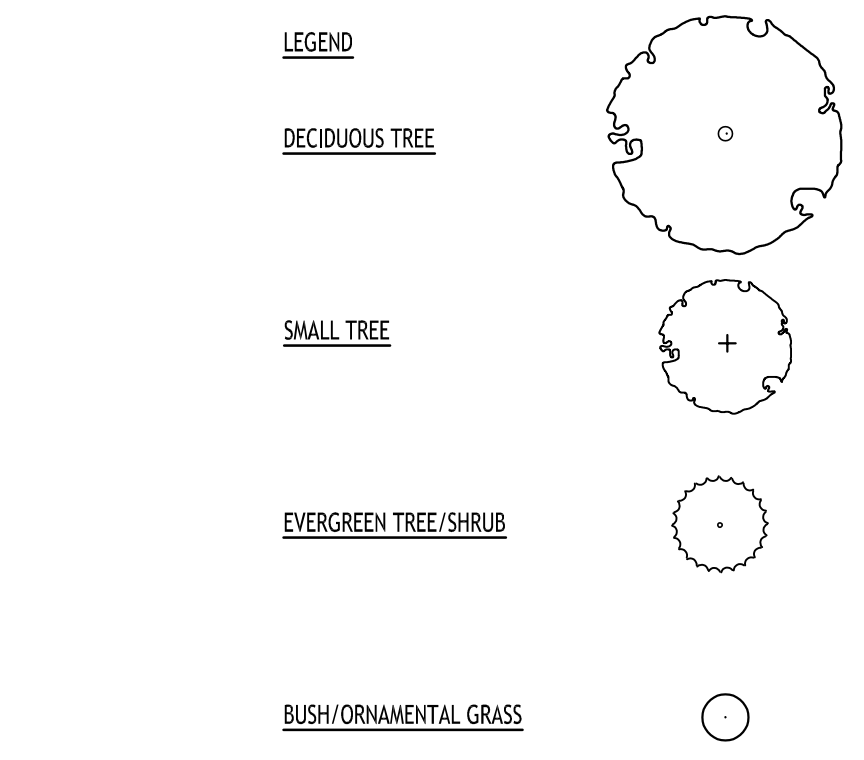
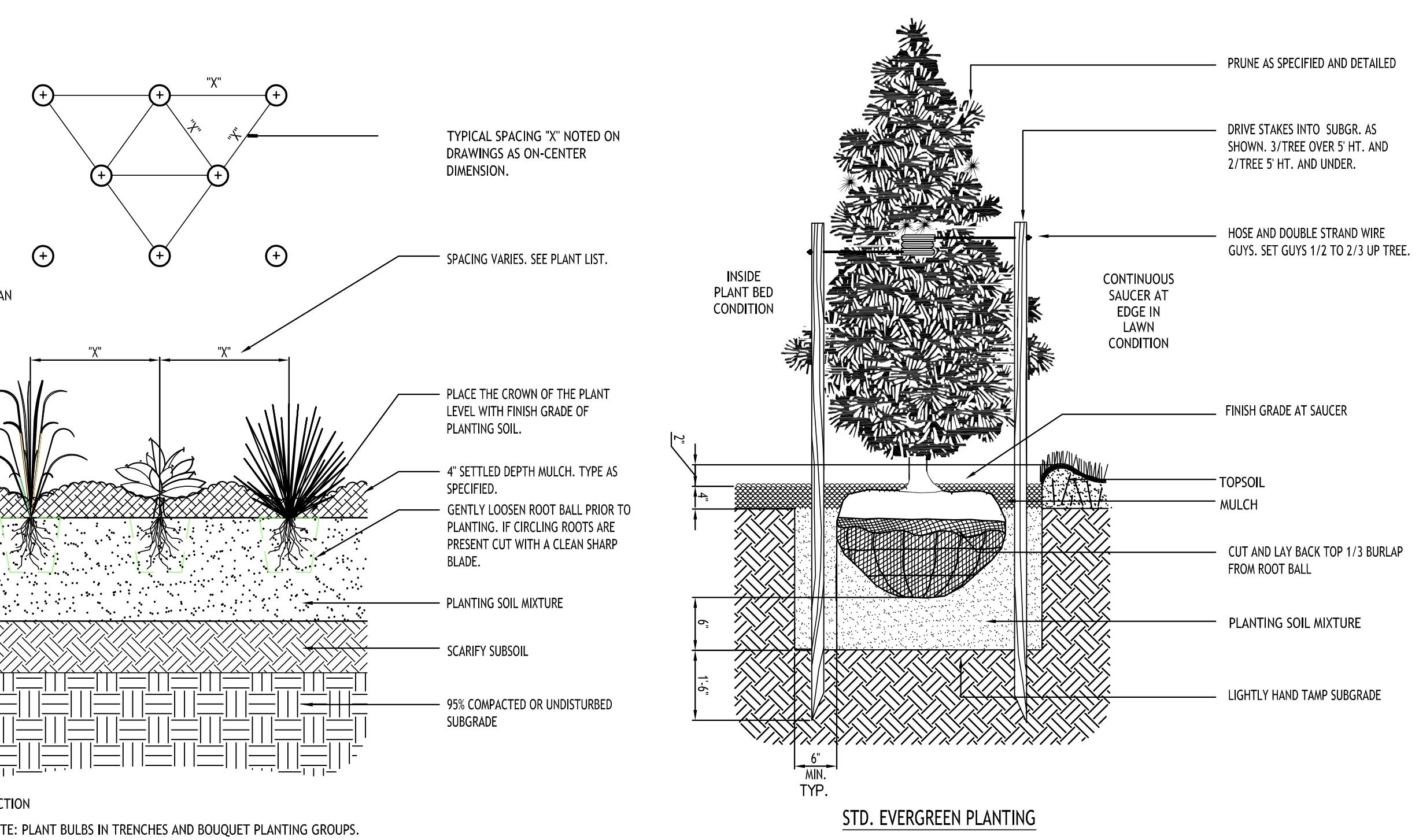
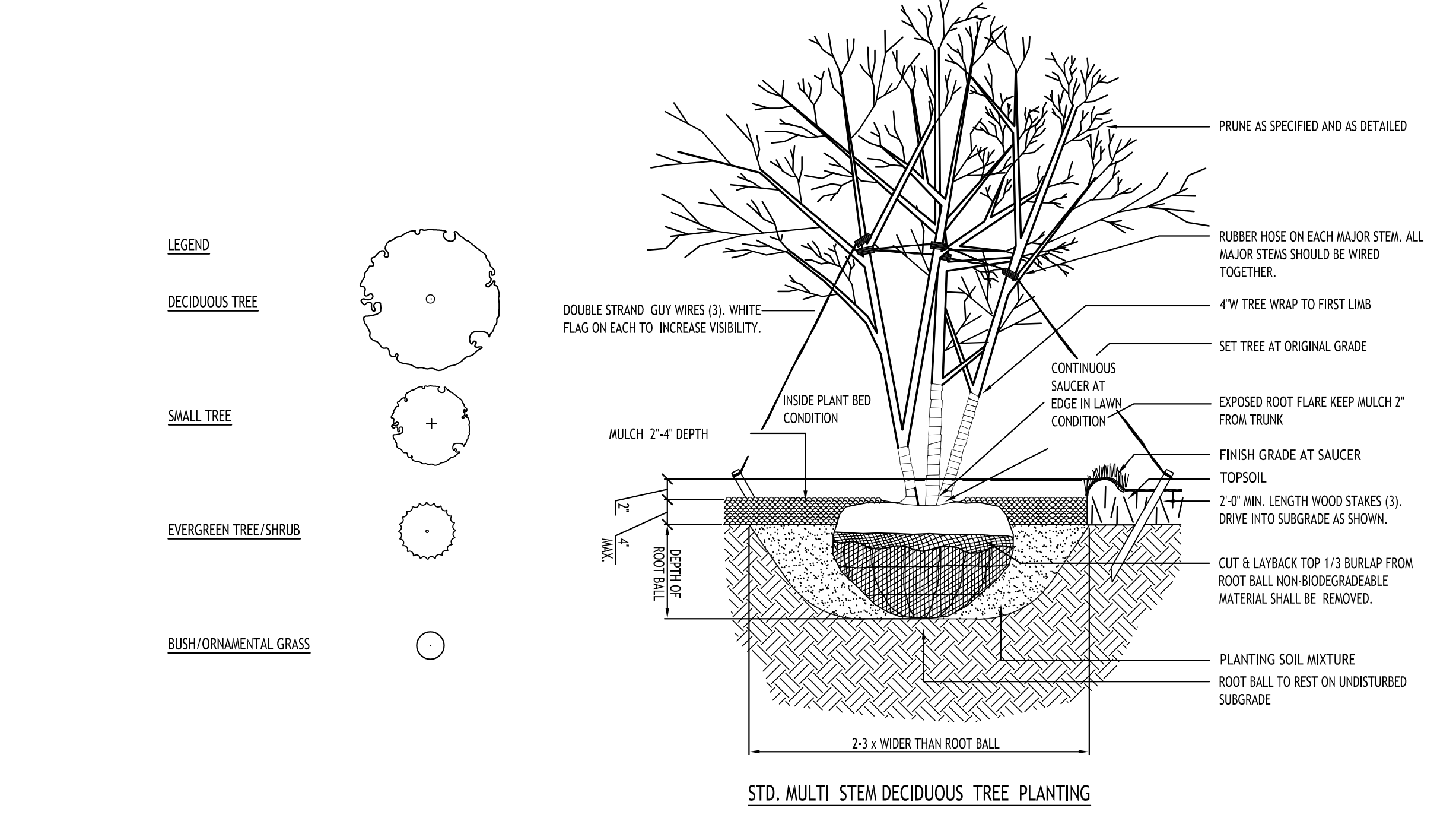
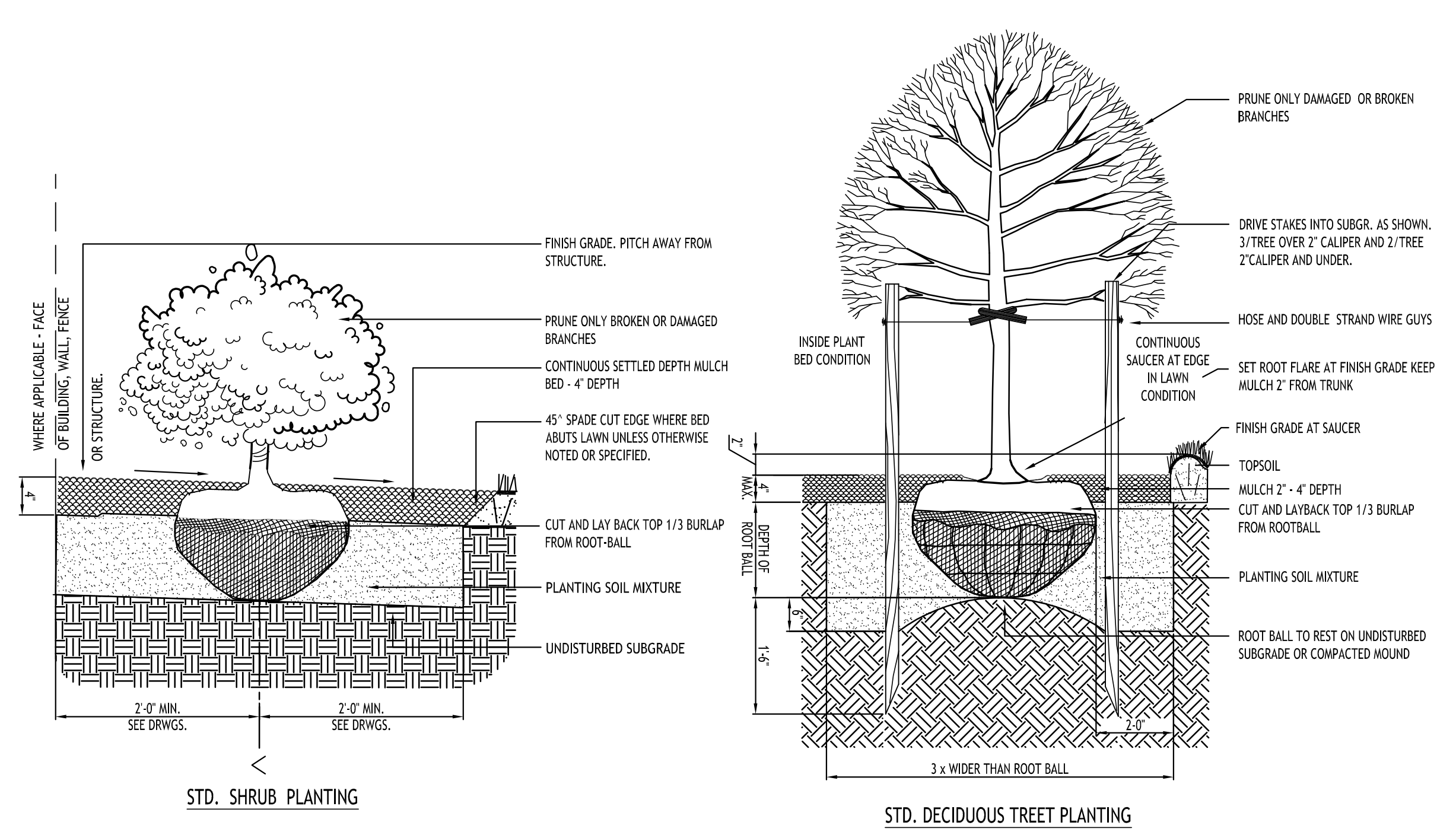
NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Plant Palette - Recommended Perennial(s) @ Entrance Islands - Ref. Enlarged Landscape Plan - L-102

PERENNIALS					
NxF	NA	Nepeta x faassenii 'Walker's Low Catmint'	Walker's Low Catmint	18-24" Tall	Cont. #3, HT. 18" W 2'
EP	NA	Echinacea purpurea	Purple Cone Flower	18-24" Tall	Cont. #3, HT. 2' W 2'
Rh	NA	Rudbeckia hirta	Black Eyed Susan	18-24" Tall	Cont. #3, HT. 2' W 2'
RS	NA	Perovskia atriplicifolia	Russain Sage	18-24" Tall	Cont. #3, HT. 3' W 2'
AxC	NA	Achillea x coronation	Coronation Gold Yarrow	18-24" Tall	Cont. #3, HT. 3' W 2'
SdO	NA	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	18-24" Tall	Cont. #3, HT. 2' W 2'

Note: Plant schedule is a suggested list of perennials that would be well suited to the two entrance islands, actual number and type of perennials to be determined by owner/owner representative. The resulting perennial mixture to offer seasonal interest and an array of colors when in bloom

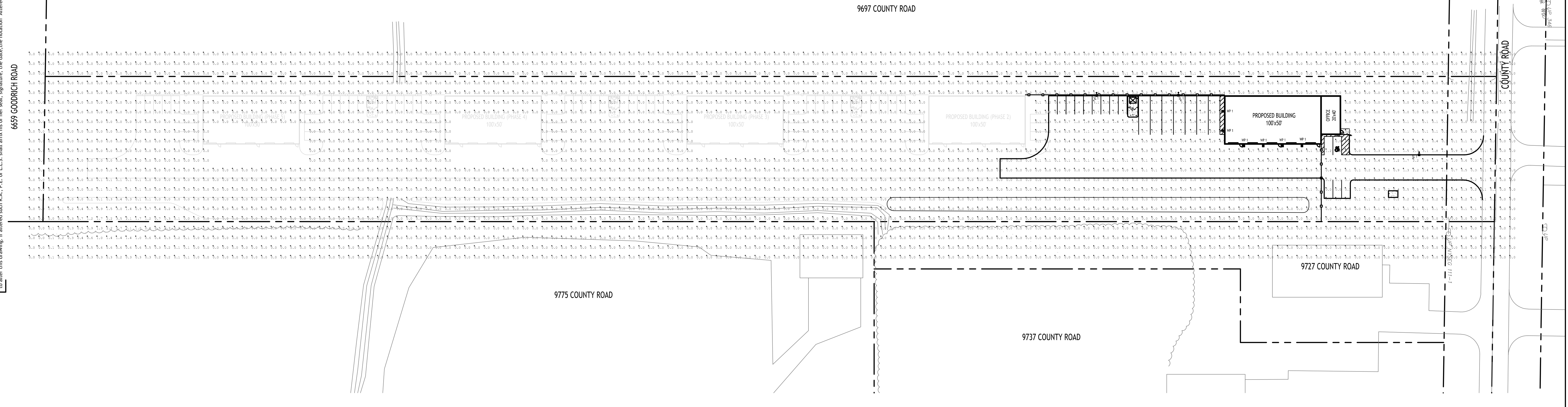


REVISIONS:

No.	Description	Date
1	Rev. per Town comments	2/25/25
2	Rev. per Town comments	3/15/25
3	Rev. per Town comments	10/24/25
4	Rev. per site changes	1/26/26

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**N Lighting Plan**  
SCALE: 1"=50'

- LIGHTING NOTES:**
- ALL LIGHTING SHALL BE DARK SKY COMPLIANT AND SHIELDED TO PREVENT SPILLAGE ONTO ADJOINING PROPERTIES, ALL FIXTURES TO BE DIRECTED DOWN.
  - ALL LIGHTING SHALL BE TURNED OFF NO LATER THAN ONE HOUR AFTER NORMAL BUSINESS HOURS EXCEPT FOR NECESSARY SECURITY LIGHTING.

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**CARMINA WOOD**  
**DESIGN**  
Buffalo | Utica | Greensboro

**Proposed Warehouses**  
9717 County Road  
Clarence, NY

REVISIONS:	No.	Description	Date



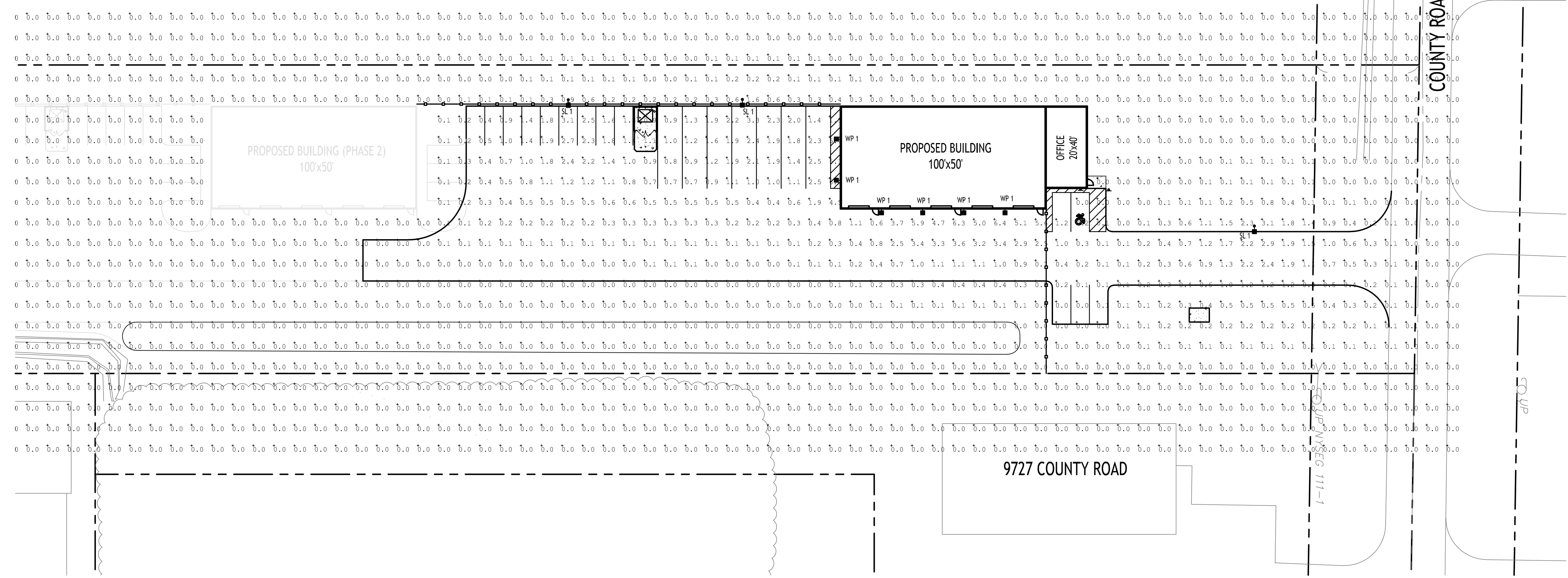
**DRAWING NAME:**  
**Lighting Plan**  
**Overall**

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**  
**LP-100**  
Project No: 24-4125

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9697 COUNTY ROAD



**N Lighting Plan**  
SCALE: 1"=30'

Lighting Calculations Prepared by Quality Lighting Systems  
For pricing please contact Paul Speicher at ppspeicher@qlsny.com

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height	BUG Rating
■	6	WP1	Single	AXCS2A	0.900	2561	20.7	124.2	12	B1-U0-G0
●	3	SL1	Single	PRV-P-PA1B-740-U-T4W	0.900	7106	52.8	211.2	15	B2-U0-G2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object 2 Planar	Illuminance	Fc	0.07	6.4	0.0	N.A.	N.A.
PARKING LOT SURFACE	Illuminance	Fc	0.31	6.4	0.0	N.A.	N.A.
PARKING LOT SURFACE PHASE 1	Illuminance	Fc	0.94	6.4	0.0	N.A.	N.A.

- LIGHTING NOTES:**
- ALL LIGHTING SHALL BE DARK SKY COMPLIANT AND SHIELDED TO PREVENT SPILLAGE ONTO ADJOINING PROPERTIES, ALL FIXTURES TO BE DIRECTED DOWN.
  - ALL LIGHTING SHALL BE TURNED OFF NO LATER THAN ONE HOUR AFTER NORMAL BUSINESS HOURS EXCEPT FOR NECESSARY SECURITY LIGHTING.

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**Proposed Warehouses**  
9717 County Road  
Clarence, NY

REVISIONS:	Date
No. Description	

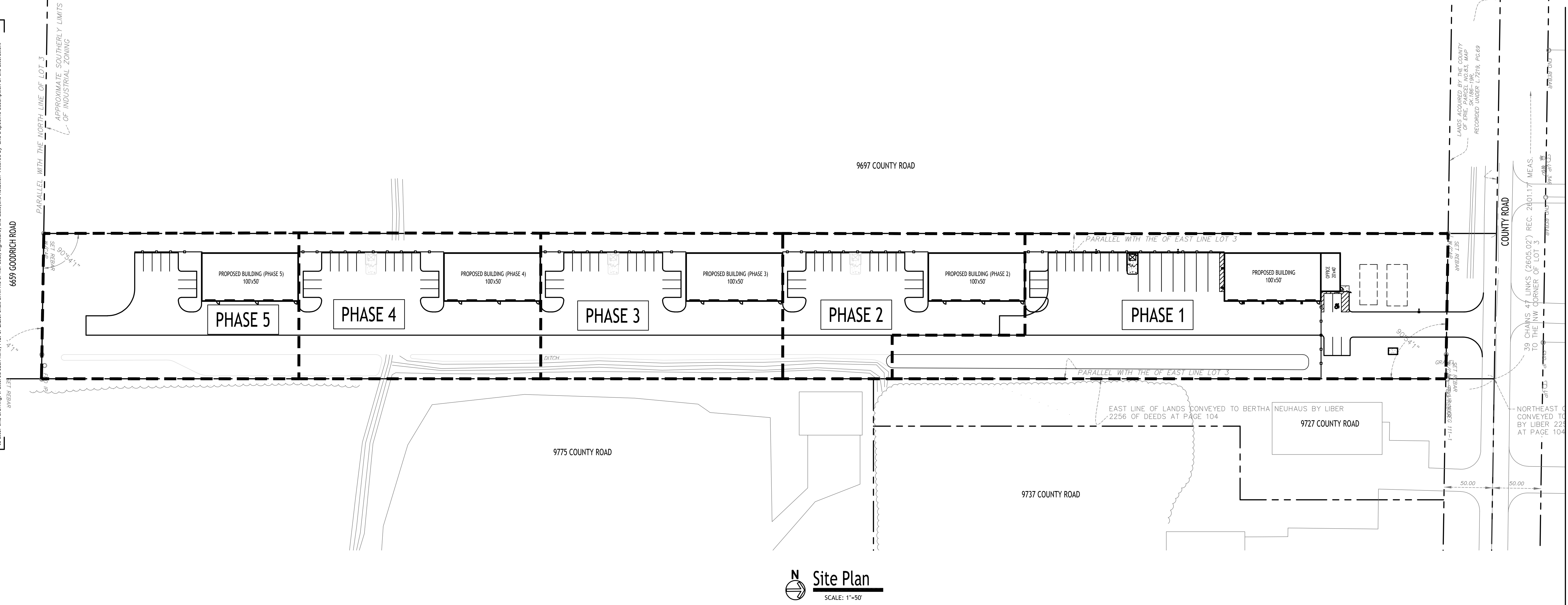


**DRAWING NAME:**  
Lighting Plan  
Phase 1

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**  
**LP-101**  
Project No: 24-4125

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N Site Plan  
SCALE: 1"=50'

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



REVISIONS:	Date
No. Description	



DRAWING NAME:  
Phasing Plan

Date: 10/29/25  
Drawn By: C. Wood  
Scale: As Noted

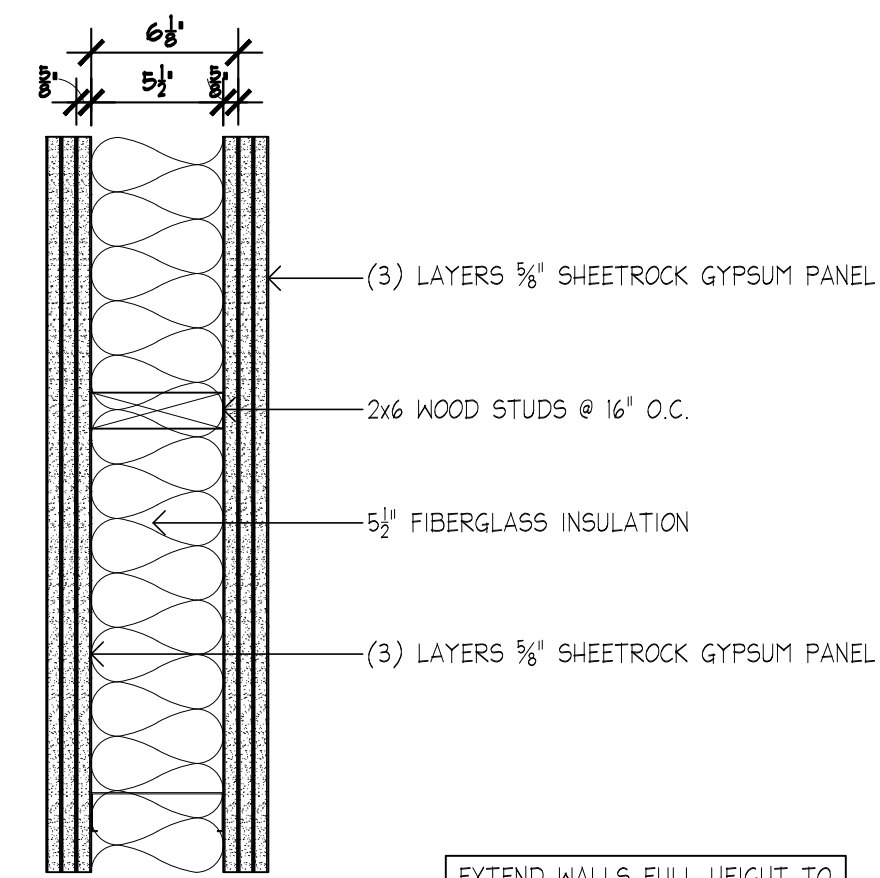
DRAWING NO.  
**CP-100**  
Project No: 24-4125

Proposed Warehouses  
9717 County Road  
Clarence, NY

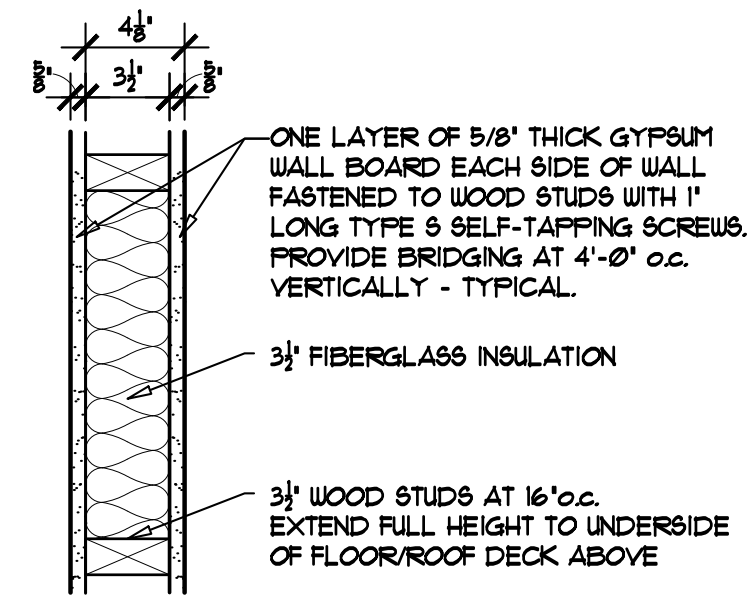
**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

WALL TYPE	SPAN	HEADER SIZE (2x4 WALL)	HEADER SIZE (2x6 WALL)
EXTERIOR	0'-0" - 3'-0"	(2) 2x6's	(3) 2x6's
EXTERIOR	3'-0" - 6'-0"	(2) 2x10's	(3) 2x10's
EXTERIOR	6'-0" - 8'-0"	(2) 2x12's	(3) 2x12's
INT. NON-BEARING	UP TO 6'-0"	(2) 2x6's	(3) 2x6's

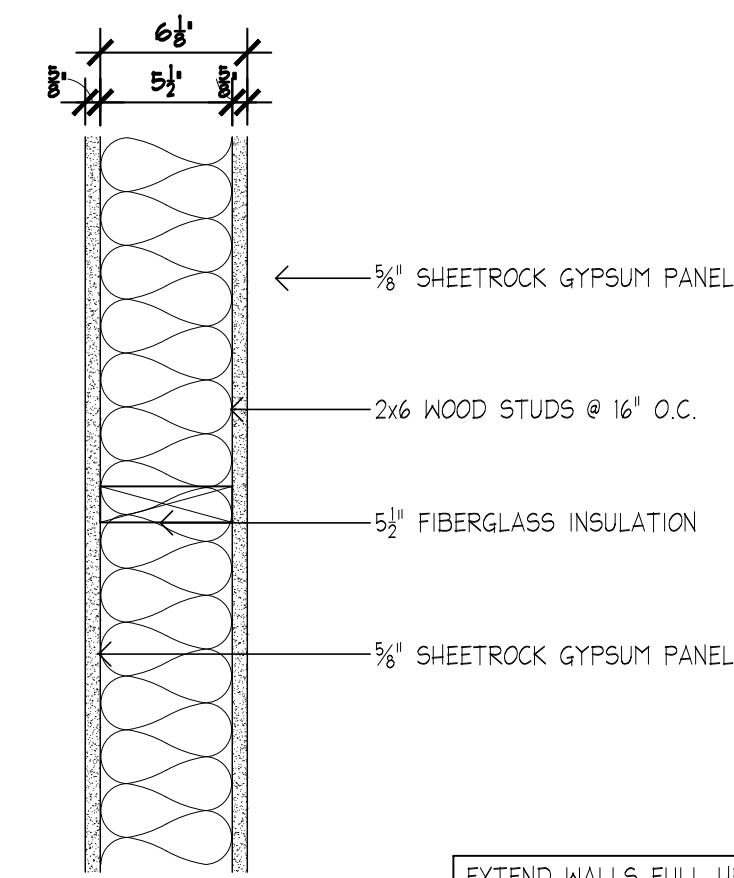
1. FOLLOW TYPICAL HEADER SCHEDULE, UNLESS OTHERWISE INDICATED ON PLANS.  
 2. INSTALL 1/2" PLYWOOD SPACERS, GLUE & NAIL ALL HEADERS.  
 3. LARGER HEADERS THAN INDICATED MAY BE USED.  
 4. VERIFY HEADER SIZE W/ TRANSOM WINDOW HT.



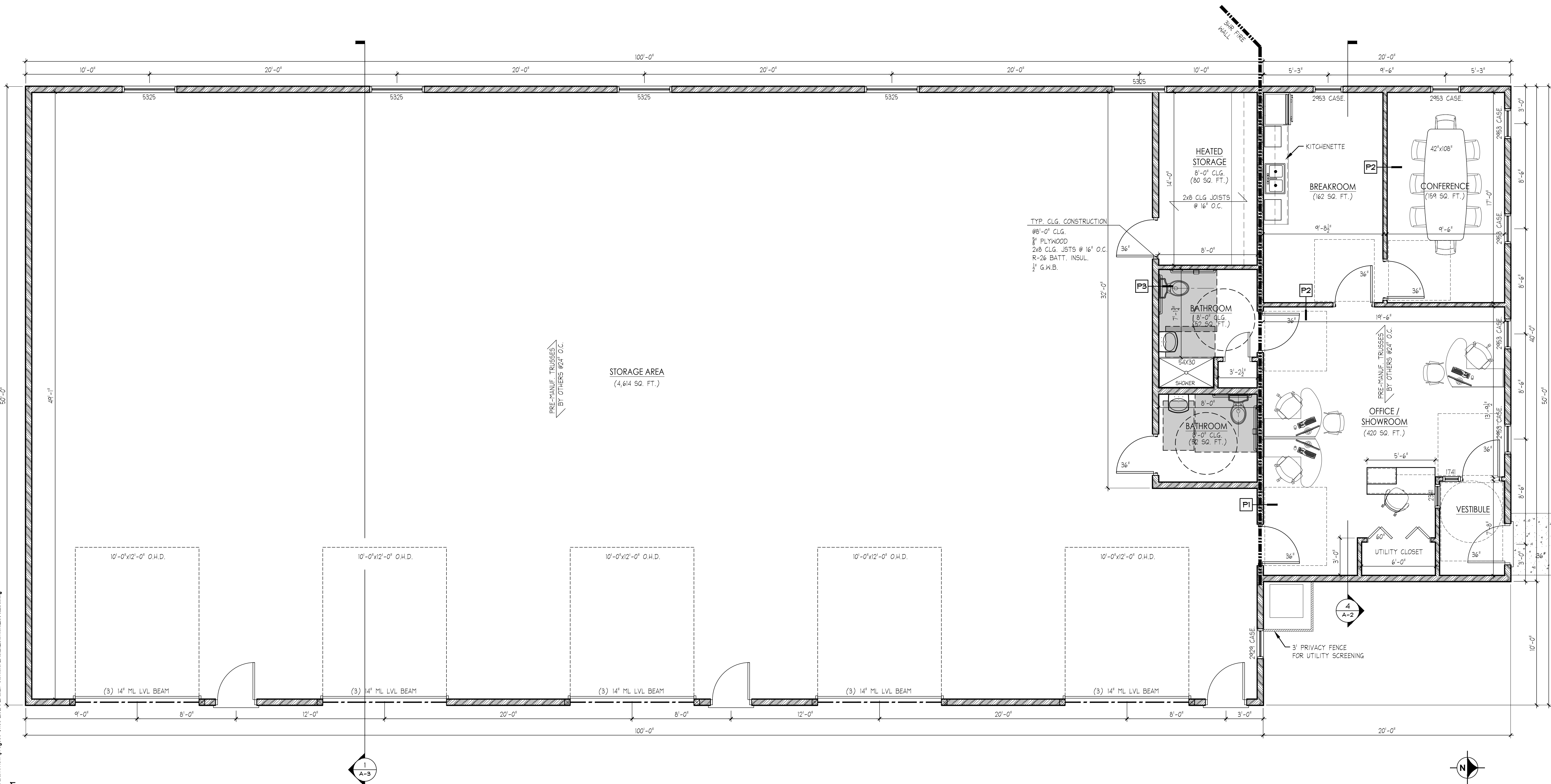
P1 3HR FIRE WALL & BARRIER ASSEMBLY  
UL 1419 - 3HR RATED, 52 STC



P2 INTERIOR PARTITION  
(NON RATED)



P3 PARTITION 1  
INSULATED 2x6 WALL



1 FLOOR PLAN - PHASE I  
1/4" = 1'-0"

**DOCUMENT STATUS**

- NOT FOR CONSTRUCTION
- PROGRESS PRINT
- PRELIMINARY (APPROVAL)
- FINAL (APPROVAL)
- FINAL DISTRIBUTION

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SEAL:

NEW BUILDING FOR:  
**SWITALA**  
 9717 COUNTY ROAD  
 CLARENCE, NY, 14032


ISSUE	
ISSUE DATE:	3/6/2026
PROJECT NUMBER:	24.121
SCALE:	AS NOTED
DRAWN BY:	JT
CHECKED BY:	ALL

SHEET TITLE:  
**FLOOR PLAN  
 PHASE I**

DRAWING NO:

**A-1**

\\nyclouds2\it\ba\Bammel\proj\proj\_2024\24.121\_switala\04.01\_autiltbl\_3\_4\_26.dwg  
 3/6/2026 8:16 AM

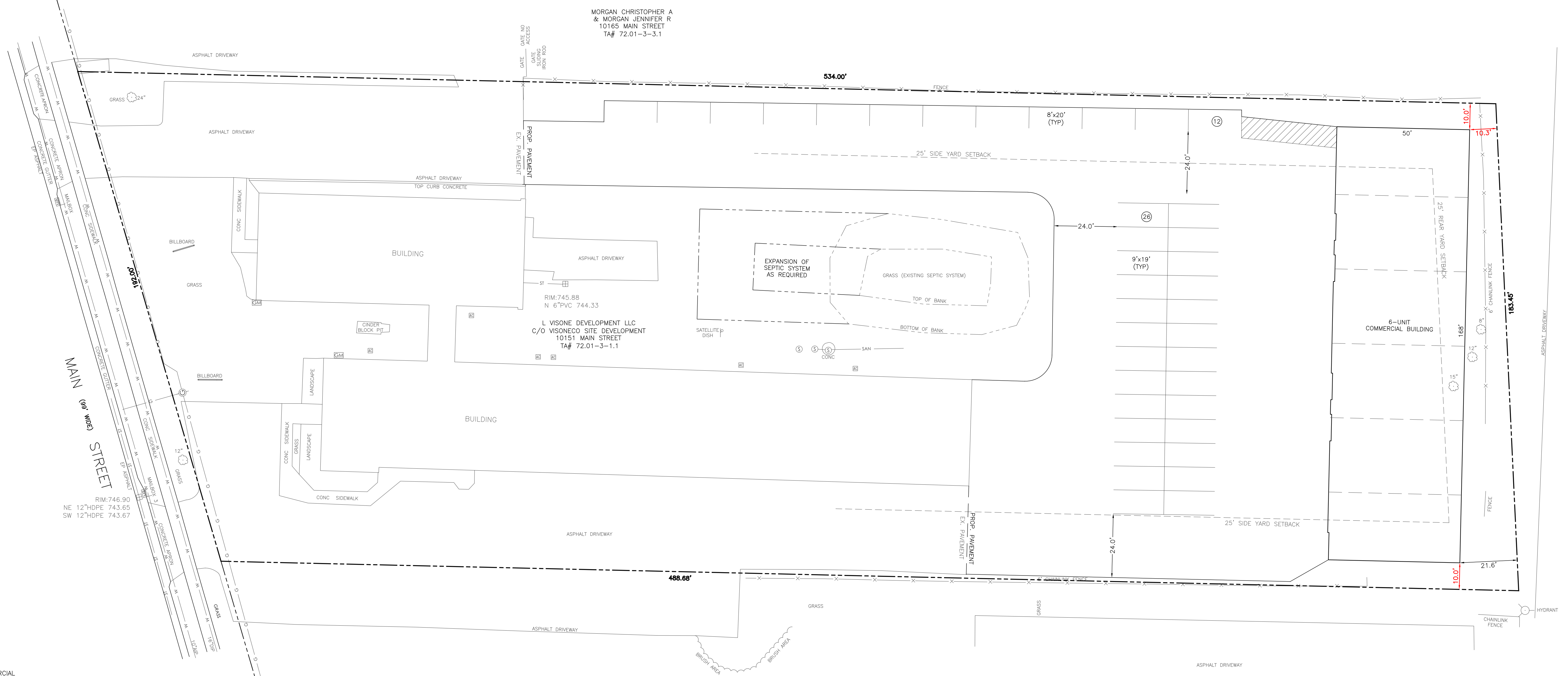
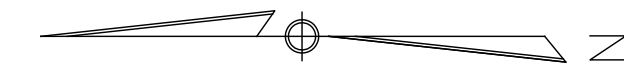












MORGAN CHRISTOPHER A  
& MORGAN JENNIFER R  
10165 MAIN STREET  
TA# 72.01-3-3.1

L VISIONE DEVELOPMENT LLC  
C/O VISIONECO SITE DEVELOPMENT  
10151 MAIN STREET  
TA# 72.01-3-1.1

10123 MAIN STREET INC  
10123 MAIN STREET  
TA# 72.00-2-1.11

**SITE DATA TABLE**

ZONING:	COMMERCIAL
AREA:	2.15 ACRES
MINIMUM LOT WIDTH REQUIRED:	100.00'
LOT WIDTH PROVIDED:	192.00'
MINIMUM LOT DEPTH REQUIRED:	120.00'
LOT DEPTH PROVIDED:	488.68'
MAX BUILDING HEIGHT ALLOWED:	45.0'
BUILDING HEIGHT PROVIDED:	< 45.0'
MAXIMUM LOT COVERAGE ALLOWED:	70.0%
LOT COVERAGE PROVIDED:	61.9%
<b>SETRUCKS:</b>	
FRONT ALLOWED:	10.0' MIN TO 80.0' MAX
FRONT PROVIDED:	45.5' (EXISTING)
SIDE ALLOWED:	25.0'
SIDE PROVIDED:	10.0'
REAR ALLOWED:	25.0'
REAR PROVIDED:	10.3'
<b>TOTAL PARKING:</b>	
COMMERCIAL SPACE =	8,300± SF (TOTAL)
PARKING REQUIRED FOR COMMERCIAL =	1 SPACE / 200 SF
PARKING FOR COMMERCIAL PROVIDED =	42 SPACES
TOTAL SPACES PROVIDED =	38 SPACES*
* VARIANCE REQUIRED	

NOTES:  
BOUNDARY SURVEY AND TOPOGRAPHY  
SURVEY COMPLETED BY KHEOPS  
DATED DECEMBER 1, 2021. THIS IS  
NOT A PROPERTY SURVEY

DESIGNED BY: JCM  
DRAWN BY: JCM  
CHECKED BY: MJM  
CAD FILE: M 2304

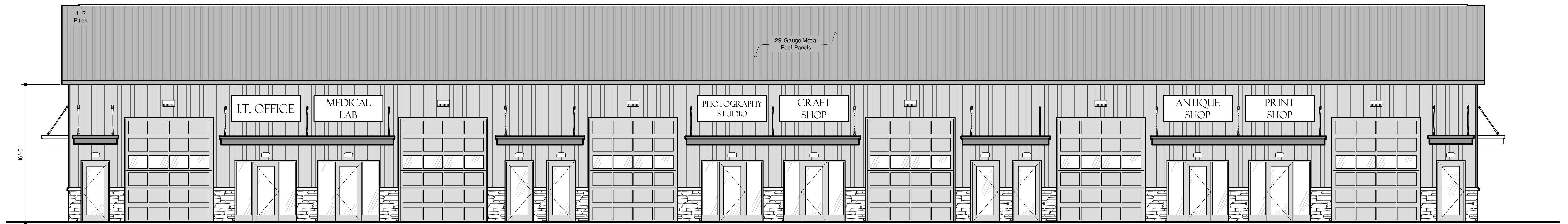
**MCE METZGER CIVIL ENGINEERING, PLLC**

8245 SHERIDAN DRIVE  
WILLIAMSVILLE, NY 14221  
PH: 716-633-2601  
FAX: 716-633-2704

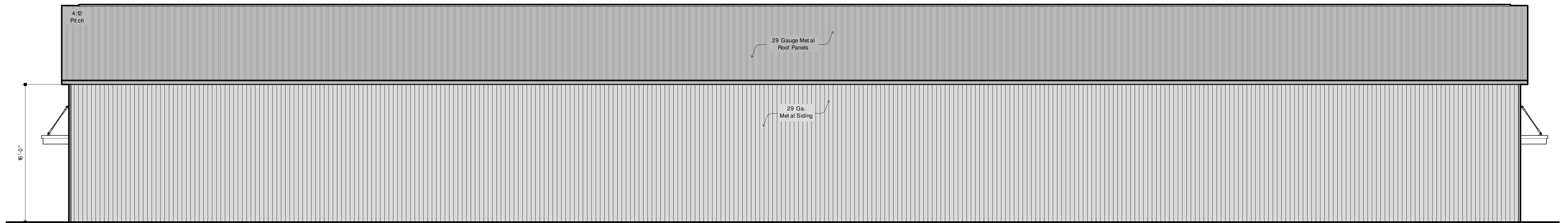
CIVIL ENGINEERING  
LAND PLANNING  
SITE DESIGN  
MUNICIPAL ENGINEERING

COMMERCIAL "FLEX UNIT" BUILDING  
10151 MAIN STREET  
TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

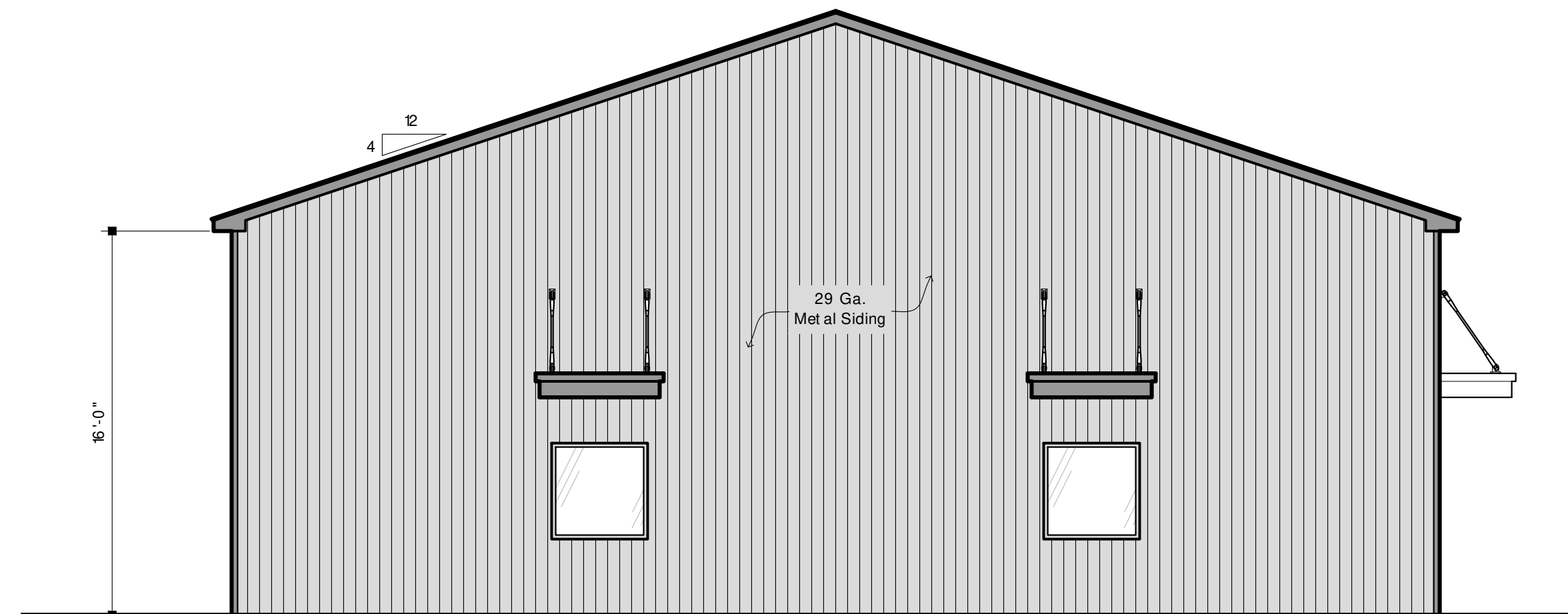
SCALE: 1"=20'  
DATE: JULY 31, 2024  
JOB NO: M-2304  
SHEET NO: CP-1



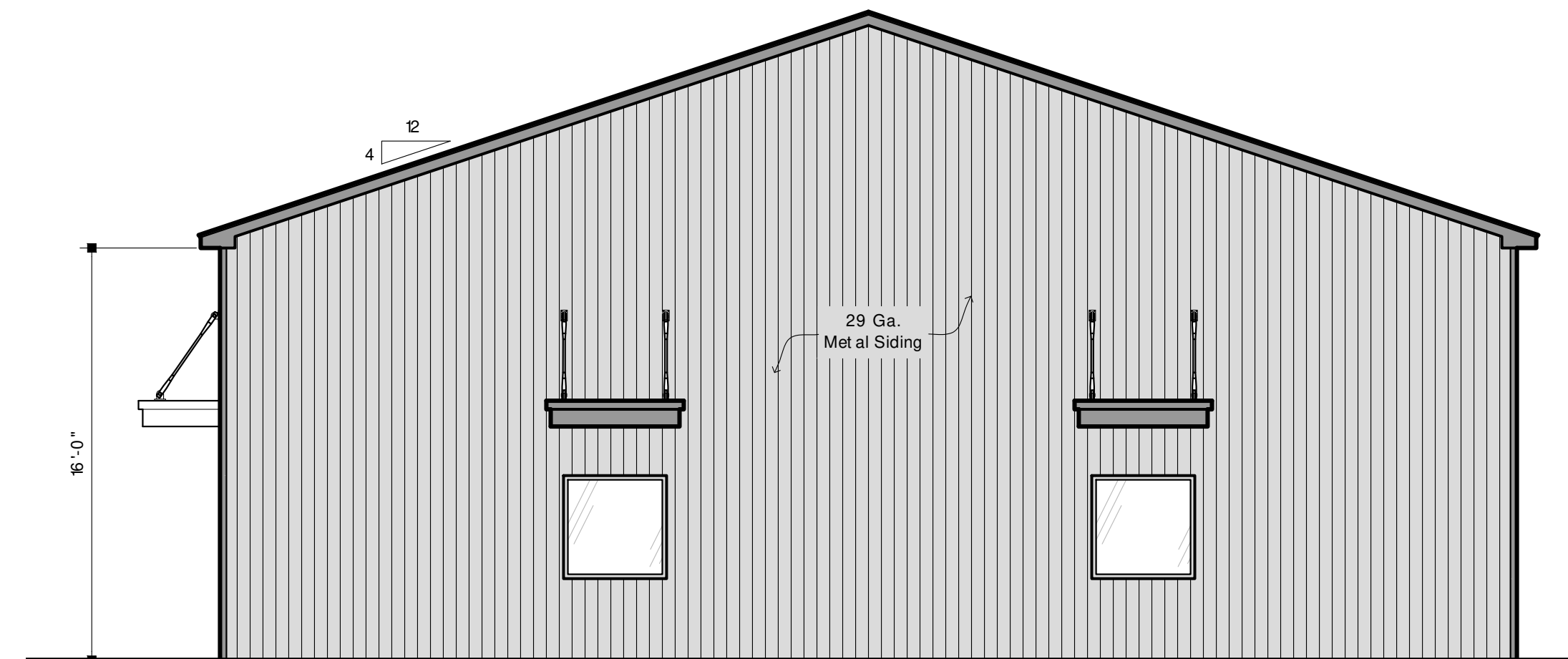
**1 FRONT ELEVATION**  
3/16"=1'-0"



**2 REAR ELEVATION**  
3/16"=1'-0"

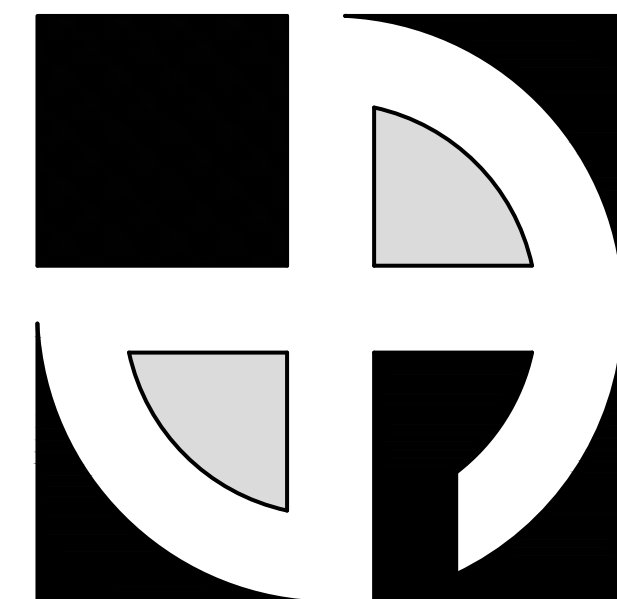


**3 LEFT ELEVATION**  
3/16"=1'-0"



**4 RIGHT ELEVATION**  
3/16"=1'-0"

**NOTE:**  
Tenant Signage Shown are  
Examples of Permitted Uses and  
Does Not Reflect Actual Tenants



**D · E · A · N**  
**ARCHITECTS**  
www.deanarchitects.com  
3284 WALDEN AVENUE  
DEPEW, NEW YORK 14043  
PHONE: (716) 651-0381  
FAX: (716) 651-0382

Project For:  
*Visone Co.*  
*Commercial Spaces*  
10151 Main St.  
Clarence, NY

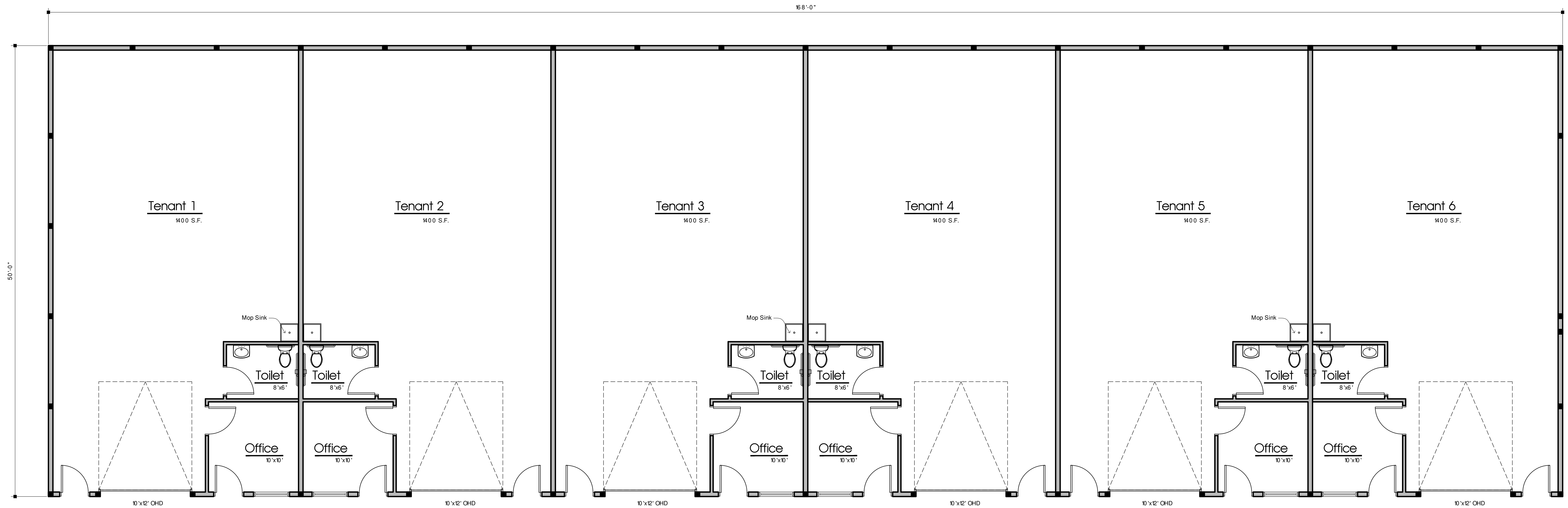
No.	Description	Date	By

DATE: 11-10-25  
DRAWN BY: D. Wzientek  
CHECKED BY: M. Dean  
SCALE: 3/16"=1'-0"

**23-327**

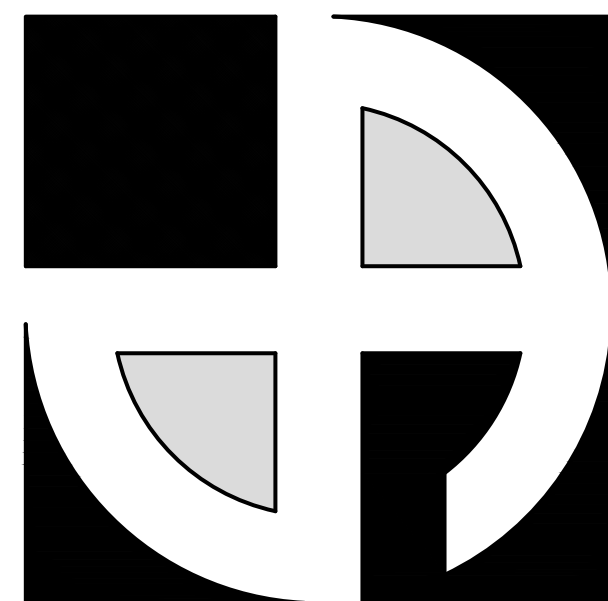
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PRELIMINARY  
ELEVATIONS  
**A2**



**1 PRELIMINARY FLOOR PLAN**  
3/16"=1'-0"

Building Type VB  
Occupancy Classification = B  
Total Building Area = 8,400 S.F.



**D · E · A · N**  
**ARCHITECTS**  
www.deanarchitects.com  
3284 WALDEN AVENUE  
DEPEW, NEW YORK 14043  
PHONE: (716) 651-0381  
FAX: (716) 651-0382

Project For:  
*Visone Co.*  
*Commercial Spaces*  
10151 Main St.  
Clarence, NY

No.	Description	Date	By

DATE: 2-20-25  
DRAWN BY: D. Wzientek  
CHECKED BY: M. Dean  
SCALE: 3/16"=1'-0"

**23-327**

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PRELIMINARY  
FLOOR PLAN  
**A1**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: 6-Unit Commercial Building		
Project Location (describe, and attach a general location map): 10151 Main Street - Clarence, NY 14031		
Brief Description of Proposed Action (include purpose or need): Proposed action includes the construction of a 6-unit commercial building to be utilized by small business tenants. Additional improvements includes asphalt pavement as well as utilities (water, gas, electric, telecommunications, etc.) to serve the building. The existing on-site wastewater treatment system will be expanded to accommodate the additional flow.		
Name of Applicant/Sponsor: Metzger Civil Engineering PLLC on behalf of L. Visone Development, LLC		Telephone: 716-633-2601 E-Mail: meteng@roadrunner.com
Address: 8245 Sheridan Drive		
City/PO: Williamsville	State: NY	Zip Code: 14075
Project Contact (if not same as sponsor; give name and title/role): SAME		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): L Visone Development, LLC		Telephone: 716-759-1715 E-Mail: tom@visoneco.com
Address: 9829 Main Street		
City/PO: Clarence	State: NY	Zip Code: 14031

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Development Plan Approval	February 2025
c. City, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	Town ZBA Area Variance	February 2025
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ECHD Septic Approval	February 2025
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): NYS Heritage Areas: West Erie Canal Corridor	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the **proposed** action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Commercial

b. Is the use **permitted** or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning **change requested** as part of the proposed action?  Yes  No  
If Yes,  
i. What is the **proposed new zoning for the site?** \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Clarence Central School District

b. What police or other public protection forces serve the project site?  
Erie County Sheriff & NYS Trooper

c. Which fire protection and emergency medical services serve the project site?  
Clarence Fire Company

d. What parks serve the project site?  
Clarence Town Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 2.1 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.95 acres  
c. Total acreage (project site and any contiguous properties) **owned** or controlled by the applicant or project sponsor? \_\_\_\_\_ 2.1 acres

c. Is the **proposed** action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the **proposed** action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase I (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 1  
 ii. Dimensions (in feet) of largest proposed structure: 20± height; 50 width; and 168 length  
 iii. Approximate extent of building space to be heated or cooled: 8,400 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in **disturbance to bottom sediments**?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the **destruction** or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- **if chemical/herbicide treatment will be used, specify product(s):** \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 840 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Erie County Water Authority
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will **line extension within an existing district be necessary to supply the project**?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to **provide** water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is **the maximum pumping capacity**: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 840 gallons/day

ii. **Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):** \_\_\_\_\_

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No

• Do existing sewer lines serve the project site?  
 • Will a line extension within an existing district be necessary to serve the project?  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
An existing on-site wastewater treatment and disposal (septic) system is in place. An expansion of the existing system will be completed to treat and dispose of the additional sanitary wastewater from the proposed commercial building.

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
N/A

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 189 megawatt-hours (Mhr)

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
 Via grid / local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

**I. Hours of operation. Answer all items which apply.**

i. During Construction:		ii. During Operations:	
• Monday - Friday:	7:00 am - 6:00 pm	• Monday - Friday:	8:00 am - 6:00 pm
• Saturday:	7:00 am - 6:00 pm	• Saturday:	8:00 am - 4:00 pm
• Sunday:	7:00 am - 6:00 pm	• Sunday:	N/A
• Holidays:	7:00 am - 6:00 pm	• Holidays:	N/A

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 Typical **construction** vehicles \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Low level, dark sky compliant lighting will be placed on the building at doorways for security measures \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ 2 tons per \_\_\_\_\_ week (unit of time)  
 • Operation : \_\_\_\_\_ 1 tons per \_\_\_\_\_ month (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: Typical construction recycling practices (i.e. designated dumpsters) will be utilized. \_\_\_\_\_  
 • Operation: Typical recycling practices will be utilized by each tenant for disposal by the local recycling provider. \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: Typical disposal methods (i.e. refuse dumpsters) will be collected weekly by the local refuse hauler. \_\_\_\_\_  
 • Operation: Typical disposal of refuse material will be completed by each tenant. \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertsypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.05	1.54	+0.49
• Forested	-	-	-
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	-	-	-
• Agricultural (includes active orchards, field, greenhouse etc.)	-	-	-
• Surface water features (lakes, ponds, streams, rivers, etc.)	-	-	-
• Wetlands (freshwater or tidal)	-	-	-
• Non-vegetated (bare rock, earth or fill)	0.34	0.00	-0.34
• Other Describe: <u>lawn / landscaping</u>	0.71	0.56	-0.15

c. Is the project site presently used by members of the community for public recreation?  Yes  No

i. If Yes: explain: \_\_\_\_\_

d. Are there **any** facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No

If Yes,  
i. Identify Facilities:  
David DeMarie dance studio  
\_\_\_\_\_  
\_\_\_\_\_

e. Does the **project** site contain an existing dam?  Yes  No

If Yes:  
i. Dimensions of the dam and **impoundment**:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing **hazard** classification: \_\_\_\_\_  
iii. Provide date and **summarize** results of last inspection:  
\_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No

If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of **the** project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have **hazardous** wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of **hazardous** waste?  Yes  No

If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. **Potential contamination history.** Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No

If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of **RCRA** corrective activities, describe control **measures**: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No

If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe **any** use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project **affect** the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ <5 feet

b. Are there bedrock **outcroppings** on the project site?  Yes  No  
 If Yes, what **proportion** of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Benson very channery loam (BfA) 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >5 feet

e. Drainage status of project site **soils**:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained: 100 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there **any** unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, **continue**. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by **any** federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 rodents \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site **contain** a designated significant natural **community**?  Yes  No  
 If Yes:  
*i. Describe the habitat/community (composition, function, and basis for designation):* \_\_\_\_\_  
 \_\_\_\_\_  
*ii. Source(s) of description or evaluation:* \_\_\_\_\_  
*iii. Extent of community/habitat:*  
 • Currently: \_\_\_\_\_ acres  
 • Following **completion** of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site **contain** any species of plant or animal that is listed by the **federal government** or NYS as **endangered** or **threatened**, or does it contain any areas identified as habitat for an endangered or **threatened** species?  Yes  No  
 If Yes:  
*i. Species and listing (endangered or threatened):* \_\_\_\_\_  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
*i. Species and listing:* \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, **trapping**, fishing or shell fishing?  Yes  No  
 If yes, give a brief **description** of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to **Agriculture and Markets Law, Article 25-AA, Section 303 and 304**?  Yes  No  
 If Yes, provide **county** plus district name/number: \_\_\_\_\_

b. Are **agricultural** lands consisting of highly productive soils present?  Yes  No  
*i. If Yes: acreage(s) on project site?* \_\_\_\_\_  
*ii. Source(s) of soil rating(s):* \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially **contiguous** to, a registered National **Natural Landmark**?  Yes  No  
 If Yes:  
*i. Nature of the natural landmark:*  Biological Community  Geological Feature  
*ii. Provide brief description of landmark, including values behind designation and **approximate** size/extent:* \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed **Critical Environmental Area**?  Yes  No  
 If Yes:  
*i. CEA name:* \_\_\_\_\_  
*ii. Basis for designation:* \_\_\_\_\_  
*iii. Designating agency and date:* \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6 NYCRR Part 666?  Yes  No

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jacob Metzger, PE Date February 14, 2025

Signature  Title Engineering Consultant



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Project: 6-Unit Commercial Building

Date: 03-18-2026

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

After a thorough review with involved and interested agencies, it has been determined that the Proposed Project will not have significant adverse impacts to the environment. See attached EAF Part 3b for the "Reasons Supporting this Determination."

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Town of Clarence Planning Board

03-18-2026

Name of Lead Agency

Date

Robert Sackett

Town of Clarence Planning Board Chair

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

## FEAF Part 3b Reasons Supporting this Determination:

**Project Name:** 6-Unit Commercial Building

**Project Location:** 10151 Main Street - SBL: 72.01-3-1.1

**Date:** 03-18-2026

The "Project Site" is located at 10151 Main Street (SBL: 72.01-3-1.1), consists of +/- 2.10 acres of land. The Project Site currently contains a primary commercial building, which houses a dance studio and pool installation business, and several commercial accessory structures. The Project Site is zoned as Commercial ("C") pursuant to the Town of Clarence Zoning Map. The "Proposed Project" involves the construction of an approximately 8,400 sq.ft. commercial structure to the rear of property. The proposed structure would have 6 units and is intended to house tenants such as small commercial ventures. After a thorough review with involved and interested agencies, it has been determined that the Proposed Project will not have any potentially significant adverse impacts to the environment. The Proposed Project is not in sharp contrast to nearby land use patterns, which include commercial uses, industrial warehousing, and retail shops. The Project Site is not located within or adjacent to a critical environmental area, and the Proposed Project would not create a hazard to environmental resources or human health.

The Proposed Project will not result in disturbance of more than one acre of land; therefore, a Stormwater Pollution Prevention Plan ("SWPPP") is not required. The Proposed Project will result in physical ground disturbance; however, this potential impact represents a small impact since construction activities will need to comply with required applicable erosion and sediment control measures. Such erosion and sediment control measures will be specified in the engineered plans to be prepared by a licensed engineering firm. The proposed erosion control measures will be reviewed by the Engineering Department during the site plan review process. The Proposed Project will not have any potentially significant adverse impacts to wetlands as the area for the Proposed Project is primarily paved.

The Project Site does fall within an area designated as sensitive by the New York State Historic Preservation Office ("SHPO") archaeological site inventory; however, the area for the Proposed Project has previously been disturbed. There was no documented presence of protected, threatened or endangered species on the Project Site. The Project Sponsor shall obtain all appropriate permits and approvals from the ECWA for connection to existing water supply, and from the Erie County Health Department ("ECHD") and/or New York State Department of Environmental Conservation ("NYSDEC") for any proposed on-site sanitary septic system modifications.

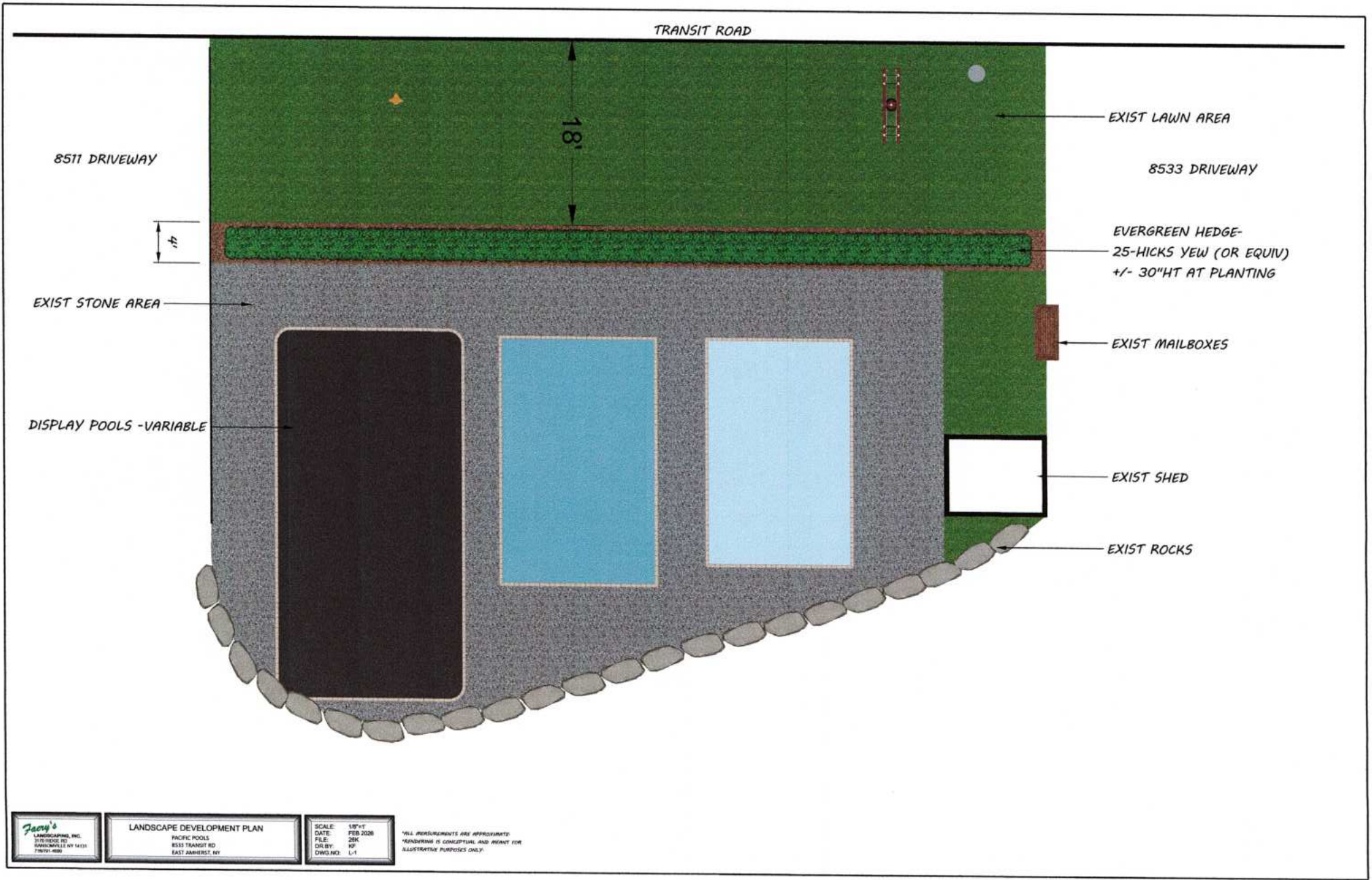
Although it has not been submitted as part of this Proposed Project, the Project Sponsor shall obtain all appropriate permits from the New York State Department of Transportation ("NYSDOT") for any curb cut modifications to Main Street. Using the NYS SEQRA EAF Workbook as a guiding document, the Proposed Project will not result in a significant increase in traffic. The Proposed Project will cause an increase in the use of energy; however, the overall use of power will not exceed the amount of power currently available at the site. As part of the site plan review process, the Project Sponsor shall coordinate with the appropriate utilities to obtain all appropriate permits as required. The Proposed Project will require the creation of a landscape plan. Said landscape plan will require review and approval by the Town of Clarence Landscape Review Committee. As part of the Development Plan Application review process,

all proposed lighting shall be dark sky compliant and shielded to ensure no light pollution or spillage will occur off site.

DRAFT







**Jacoby's**  
LANDSCAPE INC.  
2100 HICKS RD  
DANVILLE KY 40401  
(606) 459-4500

**LANDSCAPE DEVELOPMENT PLAN**  
PACIFIC POOLS  
8533 TRANSIT RD  
EAST ZANESVILLE, KY

SCALE: 1/8"=1'  
DATE: FEB 2026  
FILE: 20K  
DIB BY: KF  
DWG NO: L-1

ALL MEASUREMENTS ARE APPROXIMATE.  
RENDERING IS CONCEPTUAL AND INTENT FOR  
ILLUSTRATIVE PURPOSES ONLY.



8511

35.00 ft  
178.8 ft

70.83 ft

123.66 ft  
89.5 ft

7090.26 ft\*

100.10 ft  
100.10 ft

100.10 ft

70.83 ft

474.15 ft  
89.6 ft

Mon Apr 14 2025  
Imagery © 2026 Nearmap, HERE

10 ft

Nearmap



4922

8533

8511

8485

Transit Road & Millersport Highway

7090.26 ft<sup>2</sup>

35.00 ft  
178.8° →

70.83 ft

123.66 ft

89.5° →

100.10 ft  
119.91 ft

100.10 ft

70.83 ft

474.15 ft

89.6° →

Mon Apr 14 2025

8485 © 2025 Nearmap, HERE




Nearmap



RECEIVED

MAY 6 2024

ZONING OFFICE

	<b>Niagara Metal Works, LLC Quotation Package</b>	Construction <b>Maestro</b> <sup>®</sup> <small>Estimating Software Pole Barns, Garages &amp; Decks</small>
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**QUOTATION FOR:**

Pacific Pools 4/12 Pitch Roof  
8511 S. Transit Rd  
Lockport, NY 14094  
Customer Phone Not Provided

**CONTACT:**

Harry Illenz  
2040 Military Rd  
Tonawanda, NY 14150  
716-253-6736

**CONSTRUCTION:  
DIMENSIONS:**

Post Frame  
30' X 60' X 14'

**SPECIFICATIONS FOR 30' X 60' X 14' POST FRAME PACKAGE:**

• **MATERIAL PACKAGE**

- Pre-Engineered Wood Trusses (4/12 Pitch, 4' O/C)
- 4.5 x 5.5 NMW 3 Ply Eave Posts (8' O/C)
- 4.5 x 5.5 NMW 3 Ply Gable Posts (10' O/C)
- 2 x 8 Treated Skirt Boards (1 Row)
- 2 x 4 Wall Girts (24" O/C) and Roof Purlins (24" O/C)
- 2 x 12 Double Top Girt Truss Carrier
- Ash Gray Best Rib 29 Ga. Steel Siding
- Charcoal Steel Wainscot on All Four Sides
- Charcoal Best Rib 29 Ga. Steel Roof
- Painted Steel Liner Panel On Walls/Ceiling
- 5 Bags of Concrete Mix per Post Hole

• **DOORS & WINDOWS**

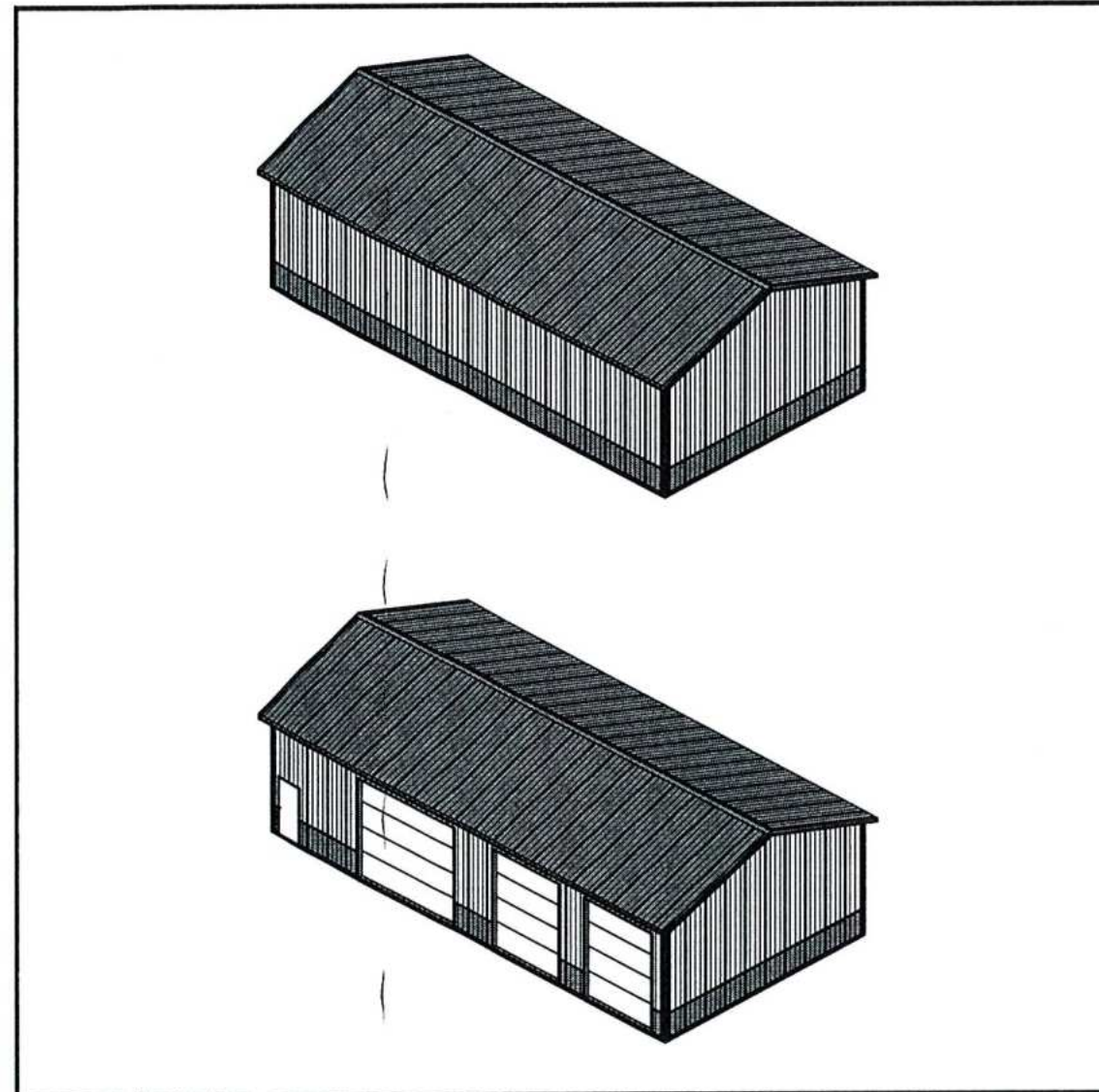
- One 14 X 12 Com.Ohd Ins. Std. Trk. w/o Opener
- Two 3251 10X12 Com.Ohd Ins. Std. Trk. w/o Openers
- One 3' Flush Entry Door

• **12" OVERHANG ON ALL SIDES W/ VENTED VINYL SOFFIT**

• **FASTENERS**

- 1 In. Metal to Wood Screws for Steel Wall, Roof Panels
- Senco/Paslode 3 1/4 In. Clip Head for Truss Carrier
- Paslode 3 In. Framing Galv. for Skirt Board
- Galvanized Steel Framing Nails

• **DETAILED BUILDING PLANS**




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Subtotal  
Tax  
**GRAND TOTAL**

QUOTATION DATE: 5/1/2024

ESTIMATE NUMBER: 763

Prices are good for 30 days, until 5/31/2024



### GABLE1 CROSS SECTION

ROOF LAYER 1: CHARCOAL BEST RIB 29 GA. STEEL PANEL

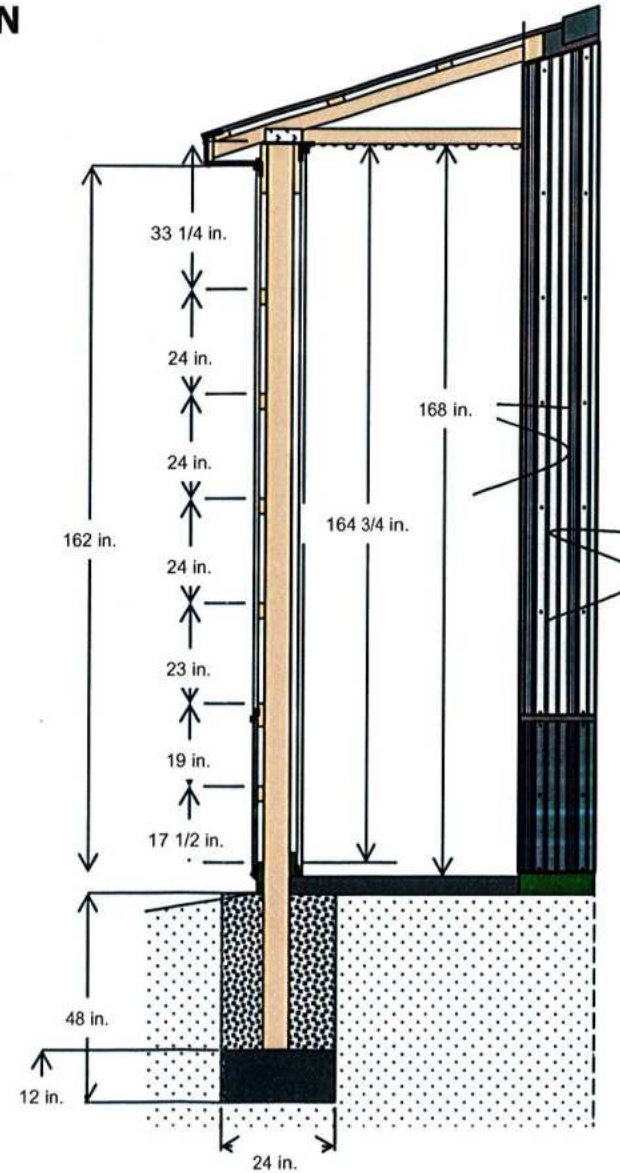
PURLINS: 2 X 4 CONSTRUCTION GRADE FASTENED LAYING FLAT  
SUB FACIA: 2 X 6 CONSTRUCTION GRADE  
FACIA COVERING: CHARCOAL STEEL 5.5 IN. FASCIA 5.5 IN X 10 FT 3 IN  
UNDEREAVE: CRANE PLASTICS GREYSTONE VINYL SOFFIT 12 IN X 12 FT

CORNER POSTS: NMW 3 PLY 4.5 X 5.5  
INTERMEDIATE POSTS: NMW 3 PLY 4.5 X 5.5 SPACING 8 FT O.C.  
EXTERIOR CARRIER: CONSTRUCTION GRADE 2 X 12  
INTERIOR CARRIER: CONSTRUCTION GRADE 2 X 12  
EXTERIOR WALL GIRTS: CONSTRUCTION GRADE 2 X 4  
WALL LAYER 1: ASH GRAY BEST RIB 29 GA. STEEL PANEL

EXTERIOR SKIRT BOARD: TREATED 2 X 8

SIDING BEGINS 2 1/4 IN. BELOW THE TOP OF SKIRT BOARD

EARTH GRADE BEGINS 7 IN. BELOW THE TOP OF SKIRT BOARD

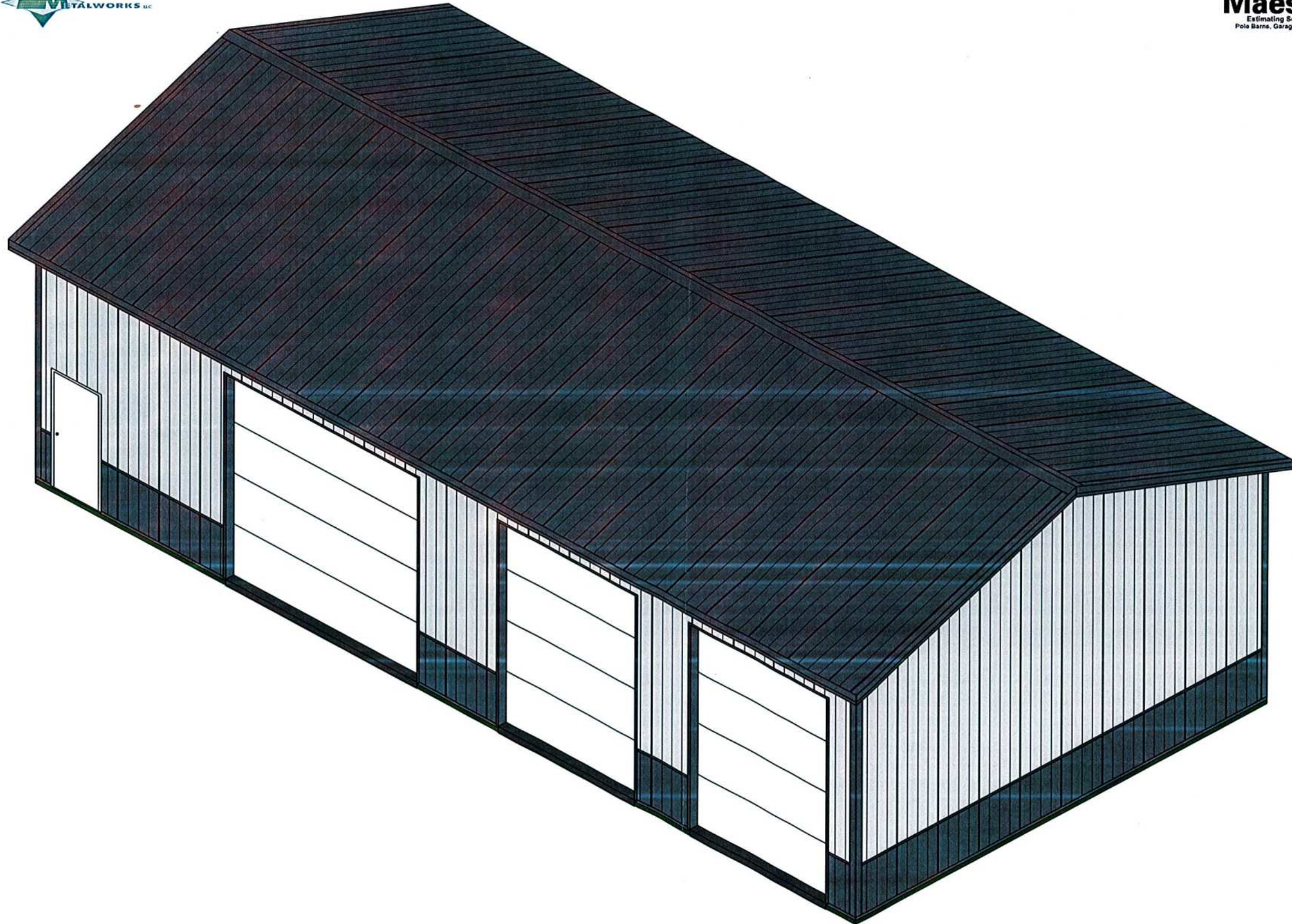


4/12 PITCH TRUSS SYSTEM WITH A STANDARD HEEL (HEEL HEIGHT: 0-3-15 OR 4 IN.)  
TRUSS SPACING: 48 IN. O.C.  
TRUSS LOADING INFORMATION:  
TCLL/TCDL/BCLL/BCDL 38.4-10-0-10  
TOTAL TRUSS LOADING = 58.4 P.S.F.  
BRACE PER TRUSS MANUFACTURER'S RECOMMENDATIONS

INTERIOR FINISHED FLOOR HT. WILL BE 3 1/4 IN. BELOW THE TOP OF THE SKIRT BOARD  
4 IN. CONCRETE FLOOR W/STRUCTURAL STRENGTH - 3500 P.S.I.  
UNDISTURBED SOIL OR COMPACTED SAND FILL BACKFILL 24 IN. HOLE WITH SAND/GRAVEL FILL & COMPACT  
24 IN. WIDE X 12 IN. THICK PIER FOOTING USING REDI-MIX CONCRETE WITH MINIMUM STRENGTH/2500 P.S.I.



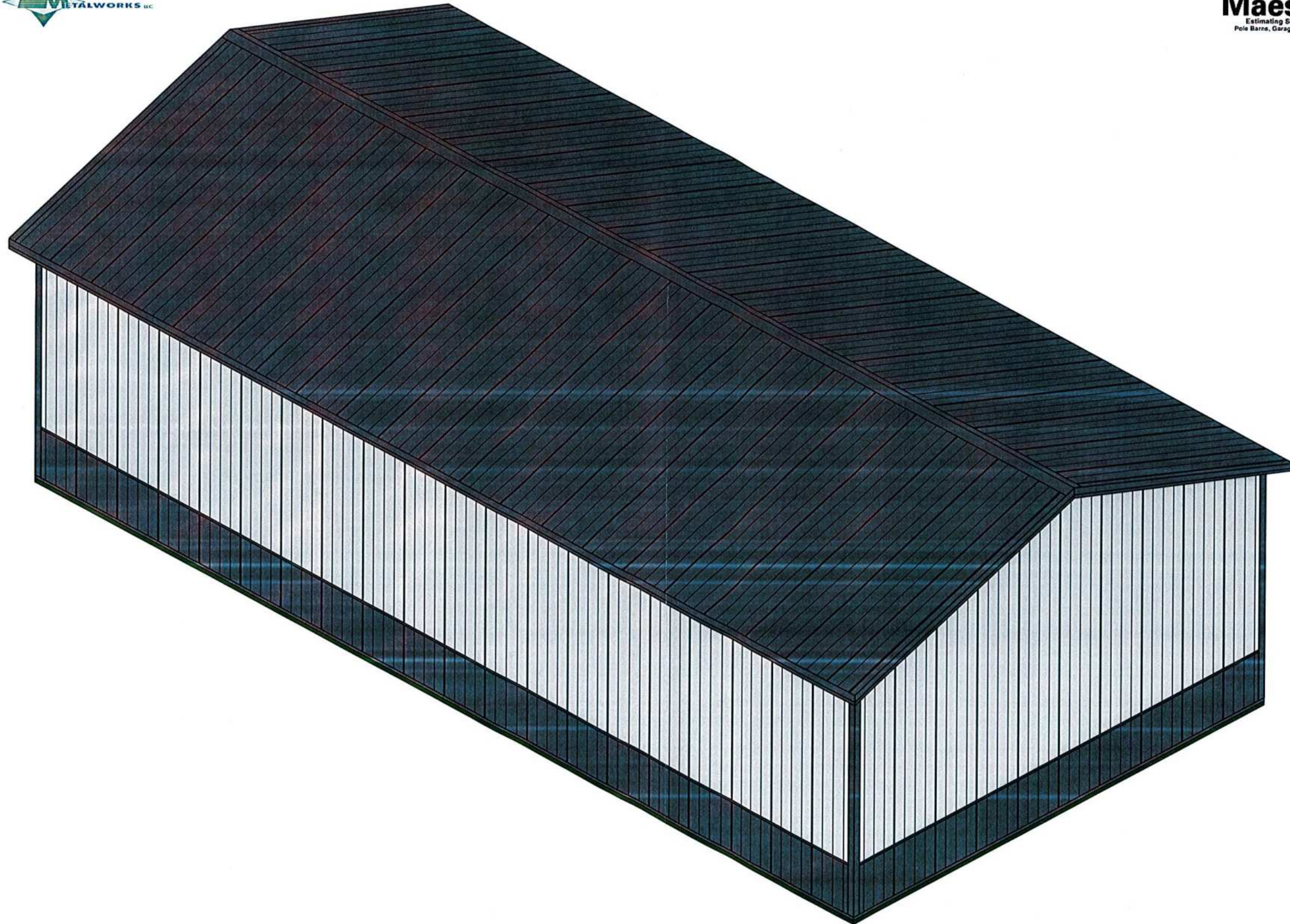
Construction  
**Maestro**<sup>®</sup>  
Estimating Software  
Pole Barns, Garages & Decks



"Pacific Pools 4/12 Pitch Roof  
Estimate Number: 763  
5/1/2024"



Construction  
**Maestro**<sup>®</sup>  
Estimating Software  
Pole Barns, Garages & Decks



"Pacific Pools 4/12 Pitch Roof  
Estimate Number: 763  
5/1/2024"

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Pacific Pools - Accessory Building			
Project Location (describe, and attach a location map): 8511 Transit Road (SBL: 5.00-2-12) & 8533 Transit Road (SBL: 5.00-2-11)			
Brief Description of Proposed Action: Construction of a +/- 7,000 sq.ft. commercial storage building to house pool installation equipment for existing business on site.			
Name of Applicant or Sponsor: Joseph Bowden		Telephone: (716) 609-1558 E-Mail: Joe@716pools.com	
Address: 8533 Transit Road			
City/PO: East Amherst		State: New York	Zip Code: 14051
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Clarence Site Plan Review		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		+/- 3.0 acres	
b. Total acreage to be physically disturbed?		+/- 0.16 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		+/- 3.0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	





Project: Pacific Pools - Accessory Building

Date: 03-18-2026

**Short Environmental Assessment Form**  
**Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

After a thorough review with involved and interested agencies, it has been determined that the Proposed Project will not have significant adverse impacts to the environment. See attached EAF Part 3b for the "Reasons Supporting this Determination."

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Town of Clarence Planning Board

03-18-2026

Name of Lead Agency

Date

Robert Sackett

Town of Clarence Planning Board Chair

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

## FEAF Part 3b Reasons Supporting this Determination:

**Project Name:** Pacific Pools - Accessory Building

**Project Location:** 8511 Transit Road (SBL: 5.00-2-12) & 8533 Transit Road (SBL: 5.00-2-11)

**Date:** 03-18-2026

The "Project Site" is located at 8511 Transit Road (SBL: 5.00-2-12) & 8533 Transit Road (SBL: 5.00-2-11), consists of +/- 3.00 acres of land. The Project Site currently contains a primary commercial building, which houses a pool installation business, a commercial accessory structure, and a residence with detached garage. The Project Site is zoned as Major Arterial ("MA") pursuant to the Town of Clarence Zoning Map. The "Proposed Project" involves the construction of an approximately 7,000 sq.ft. commercial accessory structure, which would primarily house pool installation equipment. After a thorough review with involved and interested agencies, it has been determined that the Proposed Project will not have any potentially significant adverse impacts to the environment. The Proposed Project is not in sharp contrast to nearby land use patterns, which include commercial uses, a produce market, and personal services. The Project Site is not located within or adjacent to a critical environmental area, and the Proposed Project would not create a hazard to environmental resources or human health.

The Proposed Project will not result in disturbance of more than one acre of land; therefore, a Stormwater Pollution Prevention Plan ("SWPPP") is not required. The Proposed Project will result in physical ground disturbance; however, this potential impact represents a small impact since construction activities will need to comply with required applicable erosion and sediment control measures. Such erosion and sediment control measures will be specified in the engineered plans to be prepared by a licensed engineering firm. The proposed erosion control measures will be reviewed by the Engineering Department during the site plan review process. The Proposed Project will not have any potentially significant adverse impacts to wetlands as the area for the Proposed Project is compacted gravel.

The Project Site does fall within an area designated as sensitive by the New York State Historic Preservation Office ("SHPO") archaeological site inventory; however, the area for the Proposed Project has previously been disturbed. There was no documented presence of protected, threatened or endangered species on the Project Site. The Project Sponsor shall obtain all appropriate permits and approvals from the ECWA for connection to existing water supply, and from the Erie County Health Department ("ECHD") and/or New York State Department of Environmental Conservation ("NYSDEC") for any proposed on-site sanitary septic system modifications.

Although it has not been submitted as part of this Proposed Project, the Project Sponsor shall obtain all appropriate permits from the New York State Department of Transportation ("NYSDOT") for any curb cut modifications to Transit Road. Using the NYS SEQRA EAF Workbook as a guiding document, the Proposed Project will not result in a significant increase in traffic. The Proposed Project will cause an increase in the use of energy; however, the overall use of power will not exceed the amount of power currently available at the site. As part of the site plan review process, the Project Sponsor shall coordinate with the appropriate utilities to obtain all appropriate permits as required. As part of the Development Plan Application review process, all proposed lighting shall be dark sky compliant and shielded to ensure no light pollution or spillage will occur off site.