

#### **Request for Action**

Town of Clarence | Office of Planning & Zoning (716)741-8933 | 1 Town Place, Clarence, NY 14031

#### **Town Use Only**

Date: July 22, 2025

Received By: Planning & Zoning Office

Project Address: 8560 - 8574 Main Street

**SBL** #: 70.19-3-1.221 | 70.19-3-2 | 70.19-3-3 | 70.19-3-4 | 70.19-3-5 | 70.19-3-6

#### **Action Desired:**

Applicant requests a variance of 5'8" to allow for two 45'8" tall mixed-use buildings located at 8560 - 8574 Main Street in the Traditional Neighborhood District and Residential Single-Family zones.

Reason:

APPLICANT REQUEST:

Town Code Reference: §229-65(A)(1)

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Name / Business: VISONEC	Co Site Development,	LLC.
E-Mail:		
Phone #:	ONFILE	
Address:	Ομ,	
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PROJECT		
	SPONSOR INFO (If Different Than A	
PROJECT S	SPONSOR INFO (If Different Than A	
PROJECT S  Name / Business:  E-Mail:		

#### CORRESPONDENCE

Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action.

Please select only one.

	T TOUGH GOING STRIP STRIP
<b>\</b>	Applicant
	Project Sponsor

#### **SIGNATURE**

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

signed: Signature On File

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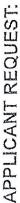
\*\*\*note the parcel lines displayed are approximate\*\*\*

8560 - 8574 Main Street



The maximum allowable height in the Traditional Neighborhood District zone is 40'. Two (2) proposed mixed-use buildings both with a total height of 45'8".

A 5'8" variance is requested.



Action:



Request for Action
Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

Project Address: 8560-8574 Main Street

Date:

Fee:

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APPLICANT R	Town, 1	he original proposed buildings the proposed plans were revis sulting in a ridgeline heights	ed to include a gable	e roof desig	gn in place of a flat	
		APPLICANT INFO			SIGNATURE	
	Name / Business:	/isoneCo Site Develo	pment LLC		Request for Action shall be filled	l out completely
	E-Mail:				in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.  Signed:  CORRESPONDENCE  Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.	
::	Phone #:					
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	Town:					
IA	PF	ROJECT SPONSOR INFO (If Diffe	rent Than Applicant)			
CONTACTINFO	Name / Business:					
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SBL #: 70.19-3-3, 70.19-3-4, 70.19-3-1.221, 70.19-3-2,70.19-3-5, 70.19-3-6

Action Desired: Applicant requests variances to allow for the construction of two (2) mixed-use buildings at 8560 and 8568 Main St in the TND Zone over the allowable height.

#### Area Variances

The granting of the requested area variances will result in a benefit to the Applicant including the ability to proceed in the development process with the proposed mixed-use project. The granting of the requested area variances will not result in any detriment to the health, safety and welfare of the community. In applying the statutorily mandated balancing test, as set forth in New York State Town Law § 267-b(3)(b), the Zoning Board of Appeals (ZBA) is required to consider the five criteria described below:

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variances;

The requested area variances will not result in an undesirable change to the character of the neighborhood. To the west of the property, the Church of the Nativity of the Blessed Virgin Mary stands taller than the proposed development, with a maximum height of 115 feet. Directly across Main Street at 8555 Main St., there is an existing building that rises to 2.5 stories. The surrounding area is predominantly commercial in nature. Additionally, the proposed buildings front Main Street and are located more than 600 feet from the nearest residential properties on Merrihurst Drive.

2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;

The alternative method of utilizing a flat roof to comply with the Town Code was not accepted by the Town. Other alternatives—such as reducing the building height by a story or decreasing the number of residential units—were also considered. However, these changes would significantly compromise the economic viability of the project, making it financially unfeasible to proceed while still meeting the intended goals for quality, design, and community benefit.

3. Whether the requested area variance is substantial.

The area variances being requested are not substantial. According to § 229-65 of the Town Code, the vertical distance from the mean elevation of the finished grade relative to the frontage street to the ridgeline of the structure is limited to 40 feet. The proposed structures have a maximum parapet elevation of 45'-8." The mean height of the roofs is 38'-21/4." Proposed concept plans attached in Exhibit A.

4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and

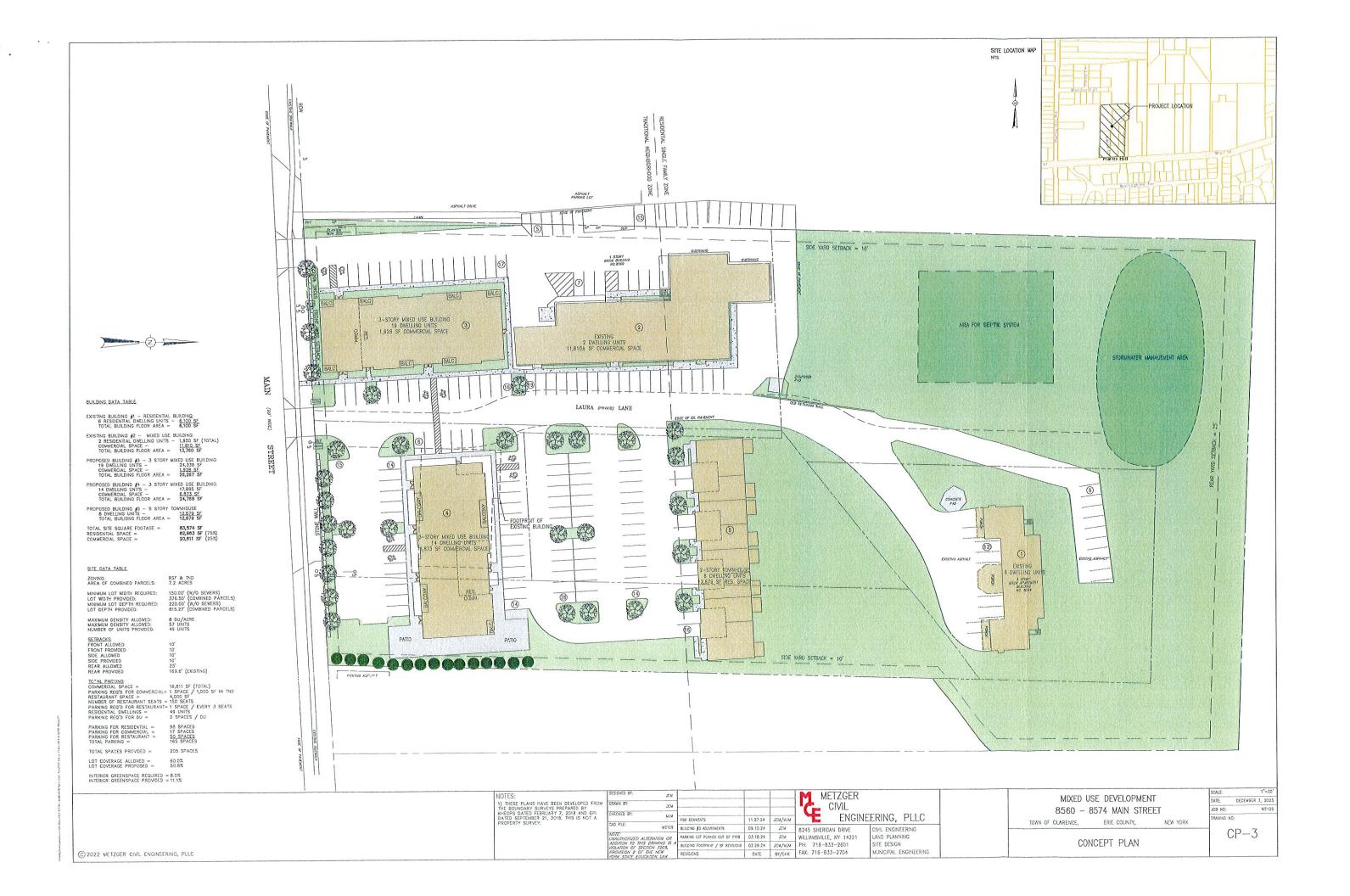
The granting of the requested area variances will not have adverse effects or impacts on the physical or environmental conditions in the neighborhood or district. The Planning Board conducted a coordinated environmental review of the Project (initiated in October 2024) pursuant to the State Environmental Quality Review Act ("SEQRA"). The Planning Board issued

a Negative Declaration pursuant to SEQRA on June 18, 2025 based on its determination that the Project will not result in any potentially significant adverse environmental impacts. The applicant will still need to return to the Planning Board for Concept approval.

5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.

The original building design featured flat roofs with a maximum parapet height of approximately 36' which is below the 40-foot height limit established by the Town Code. The original design is included in Exhibit B. The proposal was discussed during Town Board work sessions held on April 10, 2024, and July 10, 2024. At those meetings, the Board expressed concerns regarding the architectural style and overall massing of the buildings. In response, the applicant collaborated with the Planning Department and project architect to revise the design in alignment with the Town's guiding documents—*Clarence 2030* and *Vision Main*. The updated design features gable-pitched roofs and incorporates a variety of building materials and façade treatments to better reflect the Town's desired aesthetic. On September 11, 2024, the revised project was referred by the Town Board to the Planning Board.

# Exhibit A Proposed Site and Concept Plans











NOTICE

#### **TOWNHOMES** & APARTMENT **BUILDINGS**

8560-8568 MAIN STREET CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL PSilvistri \_\_ DRAFTER PROLARCH. INTERIORS \_ JOB CAPT. \_\_\_\_\_

TITLE:

PROPOSED **BUILDING 4** FLOOR PLANS

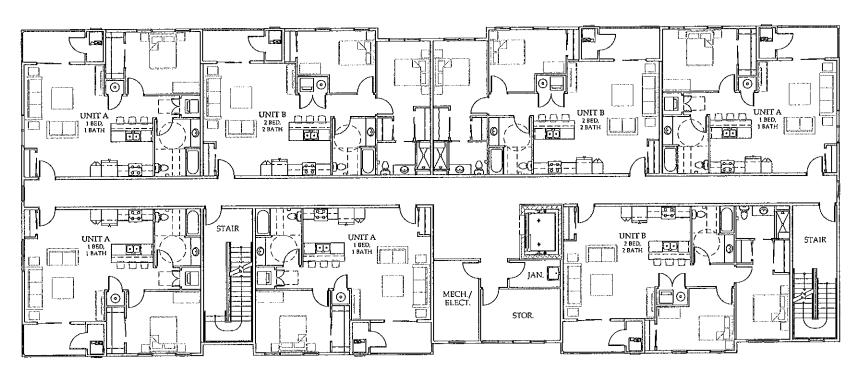


ARCHITECTS · PC

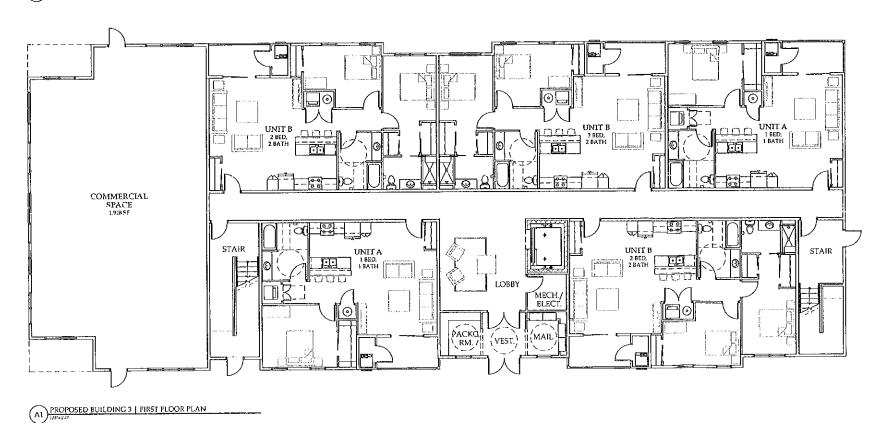
1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

23084.01

05-30-24 A-202



CI) PROPOSED BUILDING 3 | SECONDFLOOR PLAN



BUILDING DATA TABLE

EXISTING BUILDING 1 - RESIDENTIAL BUILDING 6 RESIDENTIAL DIVELLING UNITS TOTAL BUILDING FLOOR AREA

EXISTING BUILDING 2 - MIXED USEBUILDING 2 RESIDENTIAL DIVELLING UNITS COMMERCIAL SPACE TOTAL INITIDING FLOOR AREA 1.950 5 F 11.810 5 F 13,760 S F

PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING
19 DWELLING UNITS 24,239 SF
COMMERCIAL SPACE 1938 SF
TOTAL BUILDING FLOOR AREA 26267 SF

PROPOSED BUILDING 4-3 STORY MIXED USE BUILDING 11 DWELLING UNITS 17,895 SF COMMERCIAL SPACE 687 SF TOTAL BUILDING FLOOR AREA 27,76 SF

PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE 8 DWELLING UNITS TOTAL BUILDING FLOOR AREA 12,679 SF 12,679 SF

TOTAL SITE SQUARE FOOTA GE RESIDENTIAL SPACE COMMERCIAL SPACE

83,574 SF 62,963 SF (75%) 20,611 SF (25%)

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#### **TOWNHOMES** & APARTMENT BUILDINGS

8560-8568 MAIN STREET CLARENCE, NY

SA PROJECT TEAM: PRINCIPAL P.Silvestri

\_\_\_\_ DRAFTER

INTERIORS \_ JOB CAPT. SEAL:

TITLE:

ISSUE:

PROLARCH.

PROPOSED **BUILDING 3** FLOOR PLANS



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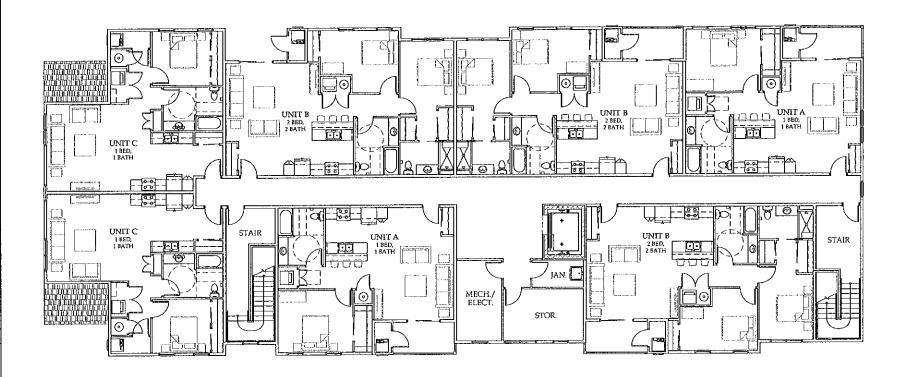
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A-101

BUILDING 3 - SUMMARY OF UNITS

20011771177		LEVEL			
ROOM TYPE	1st	2nd	3rd	TOTAL	
1 BEDROOM	2	4	4	10	
2 BEDROOM	3	3	3	9	
TOTAL	5	7	7	19	



C1 PROPOSED BUILDING 3 | THIRD FLOOR PLAN

BUILDING DATA TABLE

EXISTING BUILDING 1 - RESIDENTIAL BUILDING & RESIDENTIAL DIVELLING UNITS TOTAL BUILDING FLOOK AKEA

EXISTING BUILDING 2 - MIXED USE BUILDING 2 RESIDENTIAL DWELLING UNITS COMMERCIAL SPACE TOTAL BUILDING FLOOR AREA 1,950 SF 11,810 SF 13,760 SF

PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING 19 DWELLING UNITS 24,339 SF COMMERCIAL SPACE 1,928 SF (277AL BUILDING FLOOR AREA 26,267 SF

PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING
11 DWELLING UNITS
12 COMMERCIAL SPACE 6,873.5
1707AL BUILDING FLOUR AREA
2,748.5

PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE 8 DWELLING UNITS TOTAL BUILDING FLOOR AREA

POTAL SITE SQUARE FOOTA GE RESIDENTIAL SPACE COMMERCIAL SPACE

NOTICE

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**TOWNHOMES** & APARTMENT BUILDINGS

8560-8568 MAIN STREET CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. \_\_\_\_\_\_ DRAFTER \_ JOB CAPT. INTERIORS .

TITLE:

PROPOSED BUILDING 3 FLOOR PLANS



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23084.01

05-13-24

DRAWING #: A-101b

BUILDING 3 - SUMMARY OF UNITS LEVEL ROOM TYPE TOTAL 2nd 1st 3rd 1 BEDROOM 4 4 10 2 BEDROOM 3 3 9 3 7 5 7 19 TOTAL



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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. \_\_\_\_\_ DRAFTER IOB CAPT.

PROPOSED BUILDING 4 FLOOR PLANS



ARCHITECTS, PC

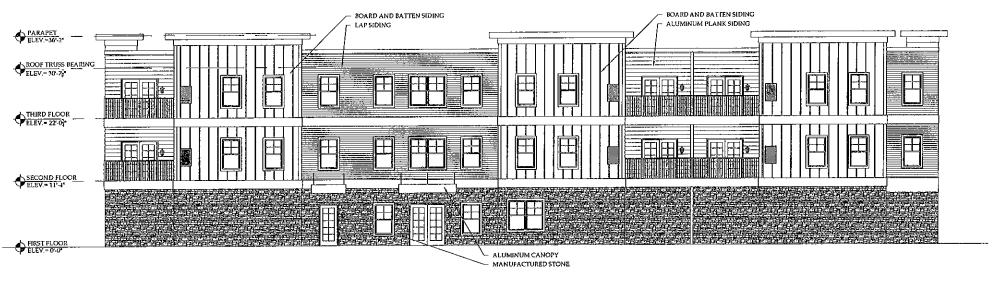
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SA JOB #: 23084.01

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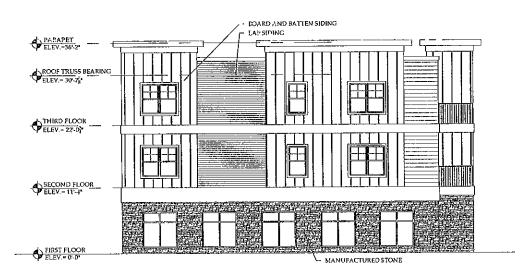
# Exhibit B Originally proposed elevations

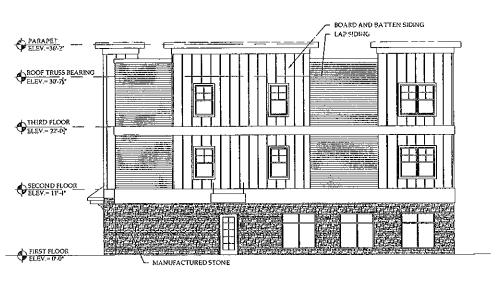


DI PROPOSED BUILDING 4 | NORTH ELEVATION



C1 PROPOSED BUILDING 4 | SOUTH ELEVATION





NOTICE

**TOWNHOMES** & APARTMENT BUILDINGS

8560-8568 MAIN STREET CLARENCE, NY

SA PROJECT TEAM: PRINCIPAL P.Silvesiri

PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_ INTERIORS JOB CAPT.

SEAL:

ISSUE:

TITLE:

PROPOSED **BUILDING 4** FLOOR PLANS

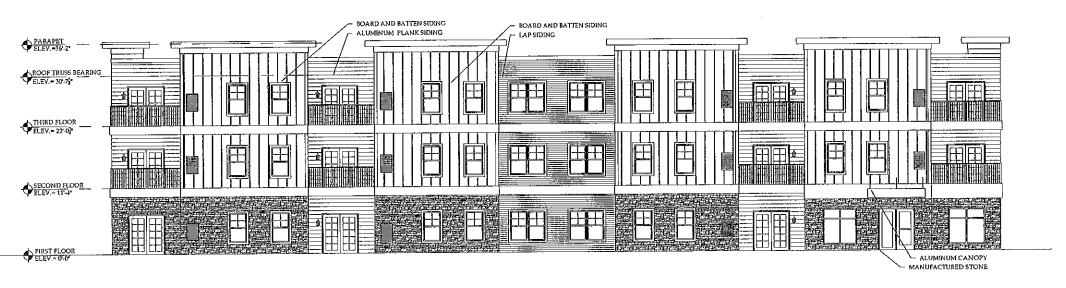


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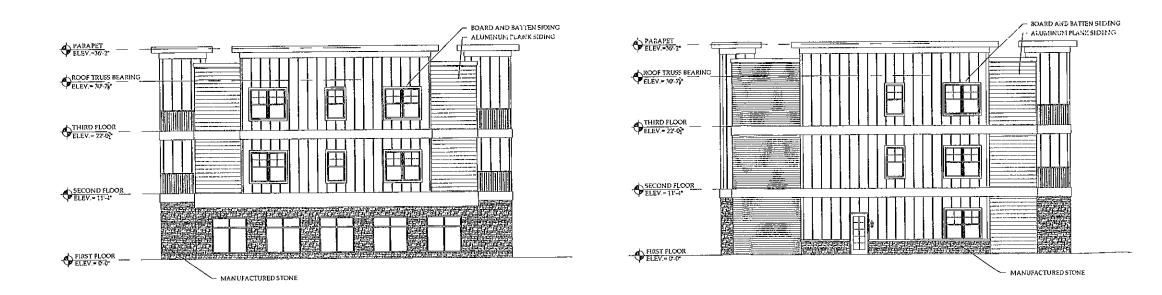




D1 PROPOSED BUILDING 3 | EAST ELEVATION



C1 PROPOSED BUILDING 3 | WEST ELEVATION



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#### **TOWNHOMES** & APARTMENT **BUILDINGS**

|8560-8568 MAIN STREET CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvesto. DRAFTER PROJ. ARCH. \_\_\_ JOB CAPT. \_\_\_ INTERIORS \_ SEAL:

TITLE:

**PROPOSED** BUILDING 3 FLOOR PLANS



1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773



Exhibit C

Google Map Images of Nativity Blessed Virgin Mary and 8555 Main St





#### Item 1

Visone Co. Site Development, LLC. Traditional Neighborhood District and Residential Single-Family

Requests preliminary Conceptual review of a proposed mixed-use project containing multiple-family housing and commercial space at 8560-8574 Main Street.

#### DISCUSSION:

Mr. Bleuer introduced this project at 8560-8574 Main Street, located on the north side Main Street, east of Harris Hill Road.

The site contains six existing parcels totaling approximately 7- acres, located in the Traditional Neighborhood District and Residential Single-Family zones.

The applicant is requesting preliminary Conceptual review of a proposed mixed-use project containing multiple-family housing and commercial space. Three new structures are proposed; two three-story mixed-use structures along Main Street, and one townhome structure at the middle of the site. Two existing structures are to remain, the rear apartment building and the rear portion of the western plaza building.

This would result in a total of 49 apartments, 41 newly proposed; and a total of 20,611 sq. ft. of commercial space, 8,801 sq. ft. newly proposed.

Finally, the applicant is requesting consideration for the rear of the property be rezoned to Traditional Neighborhood District from the current Residential Single-Family zone to accommodate this proposal.

This proposal was initially on Town Board work session agendas in April and July. Due to comments received, the applicant and project architect modified the architectural style of the proposed mixed-use buildings. The proposed buildings now feature gable pitched roofs, a mixture of high-quality building materials and façade elements.

The initiation of a coordinated review under the State Environmental Quality Review Act will allow for involved agency and interested party comment.

The proposal will require a height variance from the Zoning Board of Appeals, as the proposed mixeduse buildings are over the allowable 40' tall maximum height after the introduction of the pitched roof design per the recommendation of the Town Board.

Additionally, the proposal will require Special Exception Use Permits for multiple-family housing and structures containing over 10,000 sq. ft., after Public Hearings set and held by the Town Board.

Present to represent the project were Project Engineer Michael Metzger with Metzger Civil Engineering, and Brianne Frawley, Development Manager with Visone Co. Site Development, LLC.

Mr. Metzger stated that of the three existing buildings, the one closest to Main Street on the east would be completely demolished, then to the west, the front portion of 8560 Main St. would also be demolished. The third building all the way to the rear of the site is a 6-unit apartment building and would remain.

Mr. Metzger reviewed the proposed project to this point, adding that they will need to apply for 5 Special Exception Use Permits, 1 for multi-family housing, 1 for the proposed drive-thru, and 3 for each building over 10,000 sq. ft. in a Traditional Neighborhood District (TND).

Mr. Metzger continued to review the proposed project.

Mr. Lahti reviewed the intent of the TND per the Town of Clarence Code, noting that while that will not be reviewed tonight, it will be closely looked at as the proposed project continues through the process.

Noting that there are multiple buildings within this proposed project, Mr. Lahti stated that the Code for parking can be looked at in a number of ways and will also be reviewed throughout this process.

Mr. Lahti stated that the greenspace on the proposed site along Main Street could be increased, as Town Code requires less than 60% of impervious surface, and while it does appear that this proposed project meets that, that information should be added to the Data Table.

Referring to the parking spaces on the west side that appear to be on the adjoining property, Mr. Lahti asked for an explanation of that as well as the scale of the project.

Mr. Metzger stated that as far as the scale of the proposed project is concenred, there are several large buildings in the area including two churches, school, and an office building across the street on Main Street. They do feel that this proposed project and the buildings within it would be consistent with the area.

Regarding the parking on the west side, Mr. Metzger explained that they have an easement with the church and will provide documentation to the Planning Office.

Chairman Sackett added that while it is true that there are several large buildings in the area of this proposed project, the fact remains that a variance is needed for the height of the buildings. There have been other three-story buildings in the town that are not as high, because adjustments were made in order to reduce the height.

Chairman Sackett asked the applicant to be sure that a variance is needed, and be willing to discuss that in detail.

In regard to Public Participation, the following residents spoke:

- 1. Brian Panzer of 8545 Nottingham Terrace:
  - regarding the east exit on to Main Street, what is the proximity to the driveway across the street, and if it will cause issues during peak times
  - pleased to see an improved view and layouts of the existing site

Chairman Sackett stated that though there have not been any trip generators at this time, this is one of the reasons a Coordinated Review is done, and the Department of Transportation (DOT) is included.

- 2. Michele Panzer of 8545 Nottingham Terrace:
  - a drive-thru was mentioned, would like to have that addressed to provide more information

With no one else wishing to be heard, Public Participation was closed for this project at this time.

Chairman Sackett explained that trip generation also deals with alignment and left hand turns.

3 10-2-asay

Mr. Metzger explained that the existing driveway on the proposed site does not line up perfectly with the driveway across the street, and the existing entrance will remain and be used. With the alignment of the buildings as they are now, it makes sense for the driveway to remain as it is currently.

Mr. Metzger noted that what is shown with the two separate smaller entrances will be much more controlled and be a vast difference from what it is currently.

Regarding the proposed drive-thru, Mr. Metzger explained that this is the conceptual stage of the process, and they do not have any tenants lined up at this point. They want to make sure that they have availability for any potential drive-thru tenants that may present themselves. They will be happy to work with the Planning Board and the Planning Board Executive Committee on the mechanics of a potential drive-thru as the project progresses.

Regarding curb cuts, Chairman Sackett noted that the location of the proposed project fits when it concerns buildings, and asked Mr. Metzger if they have any idea of trip generation numbers. Chairman Sackett explained that trip generation will indicate whether the exit will produce a problem.

Mr. Metzger stated that they have not run any numbers yet, but he does believe that generally speaking, commercial projects are a much larger generator of traffic than residential. Although they are proposing more residential area than what is existing on the site, the commercial component will be reduced by 25%.

Mrs. Salvati asked for clarification that Mr. Metzger means a reduction of 25% over what is there currently.

Mr. Metzger responded yes; the site currently has just over 26,000 sq. ft. of Commercial space, and they are reducing it to just over 20,000 sq. ft. of Commercial space.

Chairman Sackett noted that these issues will be addressed in the Coordinated Review.

Mrs. Salvati pointed out that the height needs to be added to the Site Data Table.

Mrs. Salvati stated that this site is significantly overparked with a proposed 205 spaces. Reducing the parking would open the possibility for additional greenspace along Main Street.

Mr. Metzger explained that they will refine that as well, because there would be an expectation that a restaurant will be a potential tenant of the proposed project.

Mr. Metzger noted that the TND zone is geared more towards pedestrian traffic and on-street parking similar to The Hollow.

Mrs. Salvati stated that there will be businesses that are not open in the evening when a restaurant is, which would reduce the need for so much additional parking.

#### **ACTION:**

Motion by Jason Lahti, seconded by Wendy Salvati, that pursuant to Article 8 of the Environmental Conservation Law, to **accept** the Part 1 Environmental Assessment Form as submitted and to seek Lead Agency status and **commence a coordinated review** among involved and interested agencies on the Visone Co. Site Development, LLC. mixed-use project at 8560-8574 Main Street, in the Traditional Neighborhood District and Residential Single-Family zone. This Type I Action involves the rezoning of the rear of the property to Traditional Neighborhood District, and construction of 41 multiple-family residential units and approximately 8,801 sq. ft. of commercial space.

Daniel Tytka Aye Jason Lahti Aye Jason Geasling Aye Gregory Todaro Aye Wendy Salvati Aye Richard Bigler Aye Robert Sackett Aye

MOTION CARRIED

Visone Co. Site Development, LLC. (Jake Metzger, Metzger Civil Engineering & Brianne Frawley and Tom Celik of Visone Co.) at 8560-8574 Main Street. North side Main Street, east of Harris Hill Road. Six existing parcels totaling approximately 7- acres, located in the Traditional Neighborhood District and Residential Single-Family zones. The applicant is requesting preliminary Conceptual review of a proposed mixed-use project containing multiplefamily housing and commercial space. Three new structures are proposed; two three-story mixed-use structures along Main Street, and one townhome structure at the middle of the site. Two existing structures are to remain, the rear apartment building and the rear portion of the western plaza building. This would result in a total of 49 apartments, 41 newly proposed; and a total of 20,611 sqft of commercial space, 8,801 sqft newly proposed. This proposal was previously on the Town Board work session agenda of April 10th and July 10th. Due to comments received, the applicant and project architect met with the Planning Department and modified the architectural style of the proposed mixed-use buildings. The proposed buildings now feature gable pitched roofs, and a mixture of building materials and façade elements. Additionally, the existing site has received maintenance; including the removal of signage associated with previously closed businesses, lawn and vegetation control, and the reduction of duplicative real estate signage at the plaza. A referral to the Planning Board would allow for a thorough review of this proposal.

Jake Metzger, Metzger Civil Engineering & Brianne Frawley and Tom Celik of Visone Co were all available for questions.

Supervisor Casilio asked if the existing amounts of apartments come into play for the amount of green space or is it just the new ones.

Jonathan Bleuer stated no we look at the full build out including what exists.

Councilman DiCostanzo asked if there were eight apartments in the building in the back. Jake Metzger stated there are six existing units.

Brianne Frawley stated there are two in the one building and six in the back building.

Supervisor Casilio stated that this is just a motion to send this to the Planning Board, which is a vast improvement to the property. The whole down town Harris Hill area will benefit from this with the retail space you are bringing to the area. Many people were very upset when Paula's moved out.

Councilman DiCostanzo commented that they will need a few variances.

Jonathan Bleuer stated yes, they will which they will have to analyze that closely. Yes, there is a third story component above the multi-family housing. The addition of the gable pitched roof has added height to the structures so we definitely have to analyze those things. Whatever variances are required would be after a potential SEQRA determination by the Planning Board.

Councilman Altieri asked when the rear building would be demolished.

Jake Metzger stated after this project is complete, right now we have tenants living in that unit so that building will stay.

Councilman Shear asked if you are planning to build this in stages. Earlier we theoretically were led to believe it would be one stage.

Brianne Frawley stated that this building is not part of the project, that building will remain. It could be done in stages but that is not our intent at this time. Demo could be a different stage but the intent again is one stage.

Motion by Councilman Altieri, seconded by Councilman DiCostanzo to refer the request of the applicant, Visone Co. Site Development, LLC., at 8560-8574 Main Street, to the Planning Board for preliminary Conceptual review of a proposed mixed-use project containing multiple-family housing, and commercial space in the Traditional Neighborhood District.

Upon roll call - Ayes: All; Noes: None; Absent: Councilman Michnik: Motion carried.



**APPLICANT REQUEST:** 

# Request for Action Town of Clarence | Office of Planning & Zoning (716)741-8933 | 1 Town Place, Clarence, NY 14031

#### **Town Use Only**

Paid:

Paid:

Fee:

Date: July 25, 2025

Received By: Planning & Zoning Office

Project Address: 6204 Goodrich Road

**SBL #**: 44.14-2-65

#### **Action Desired:**

Applicant requests a variance of 19'7" to allow a 5'5" principal structure side yard setback located at 6204 Goodrich Road in the Commercial zone.

#### Reason:

Action:

Action:

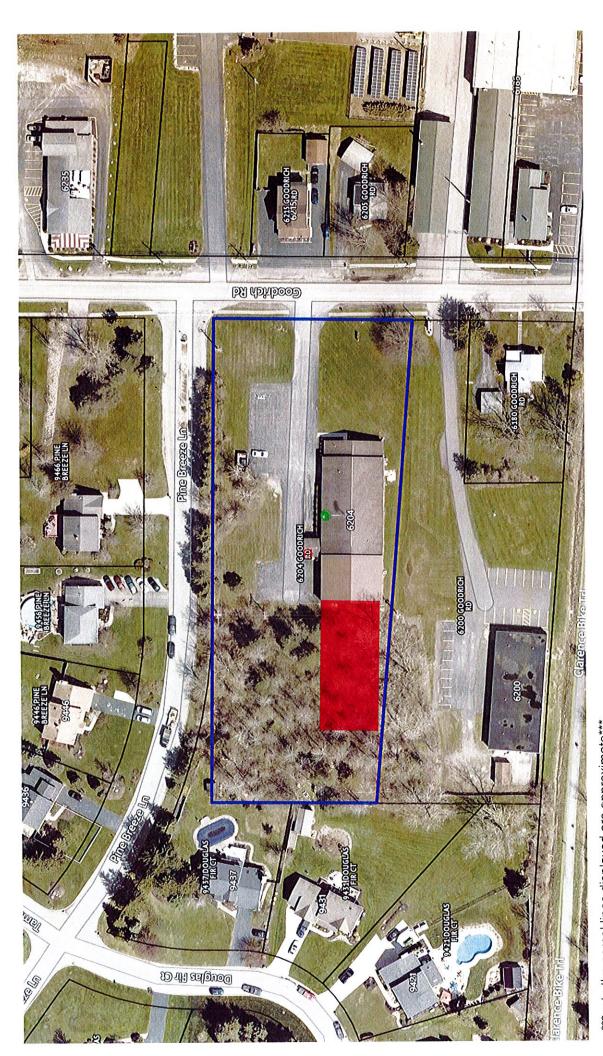
Town Code Reference: §229-87(C)(2)

L		<u></u>			
		APPLICANT INFO			
	Name / Business: Zang V	entures, Inc.		со	RRESPONDENCE
:	E-Mail:			receive the a	ate the preferred entity that shall appropriate correspondence and
	Phone #:	ONFILE		PI Applicant	ated with this Request for Action. ease select only one.
INFO:	Address:	Ομ.	.,-	Project Sp	
	Town:	State:	Zip:		
CONTACT	PROJECT	SPONSOR INFO (If Different T	han Applicant)		SIGNATURE
Ö	Name / Business:			Request for A	ction shall be filled out completely
	E-Mail:			for Action sh	provided. The complete Request hall be submitted to the Office of I Zoning along with all necessary
	Phone #:	ONFILE		plans, maps, a signing below	and supporting documentation. By I certify that I have the authority to guest for Action, and further certify
	Address:	OM,		its cont	ents to be true and correct.
	Town:	State:	Zip:	Signed: S	ignature On File
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\*\*\*note the parcel lines displayed are approximate\*\*\*

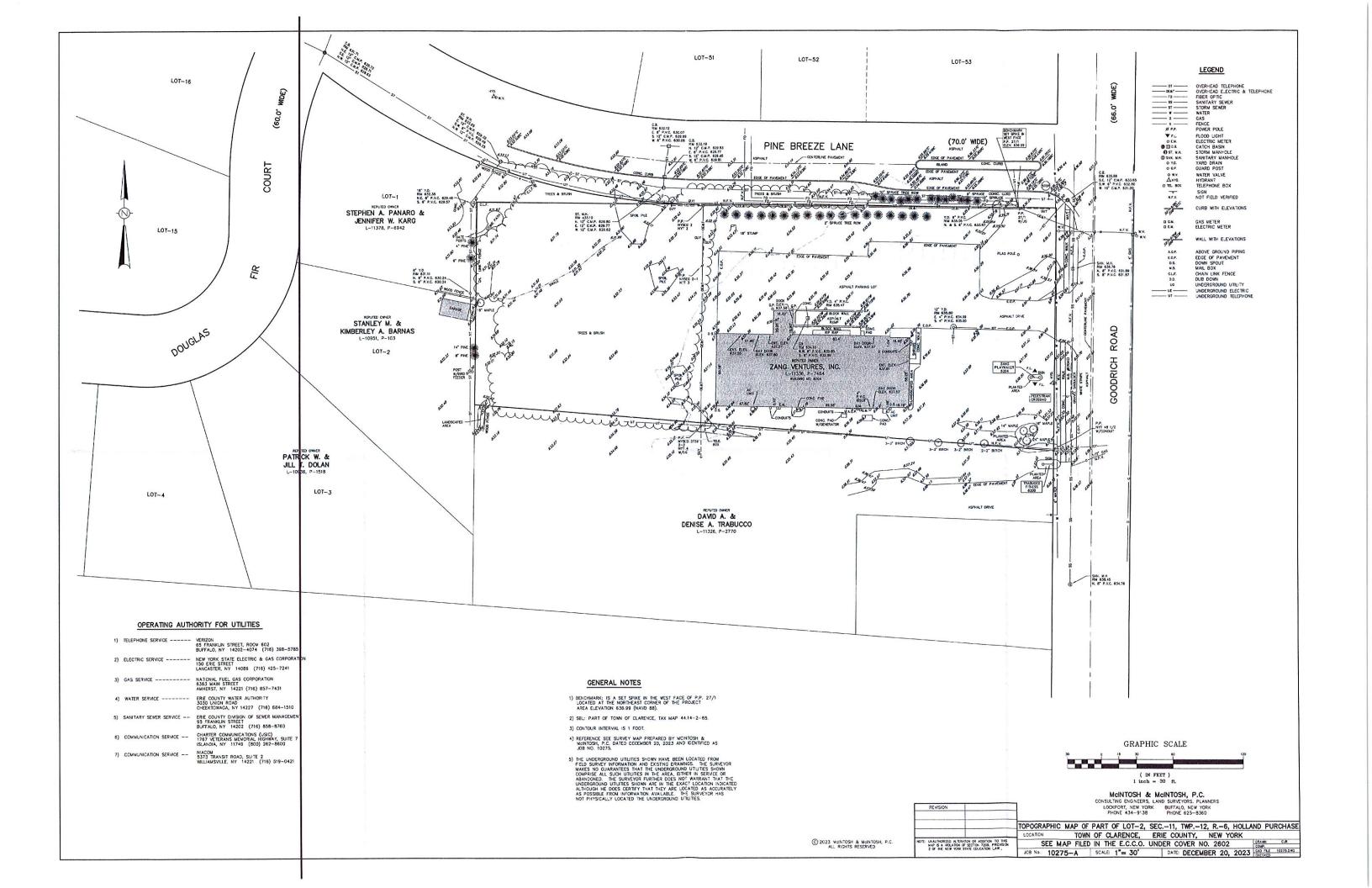
# 6204 Goodrich Road

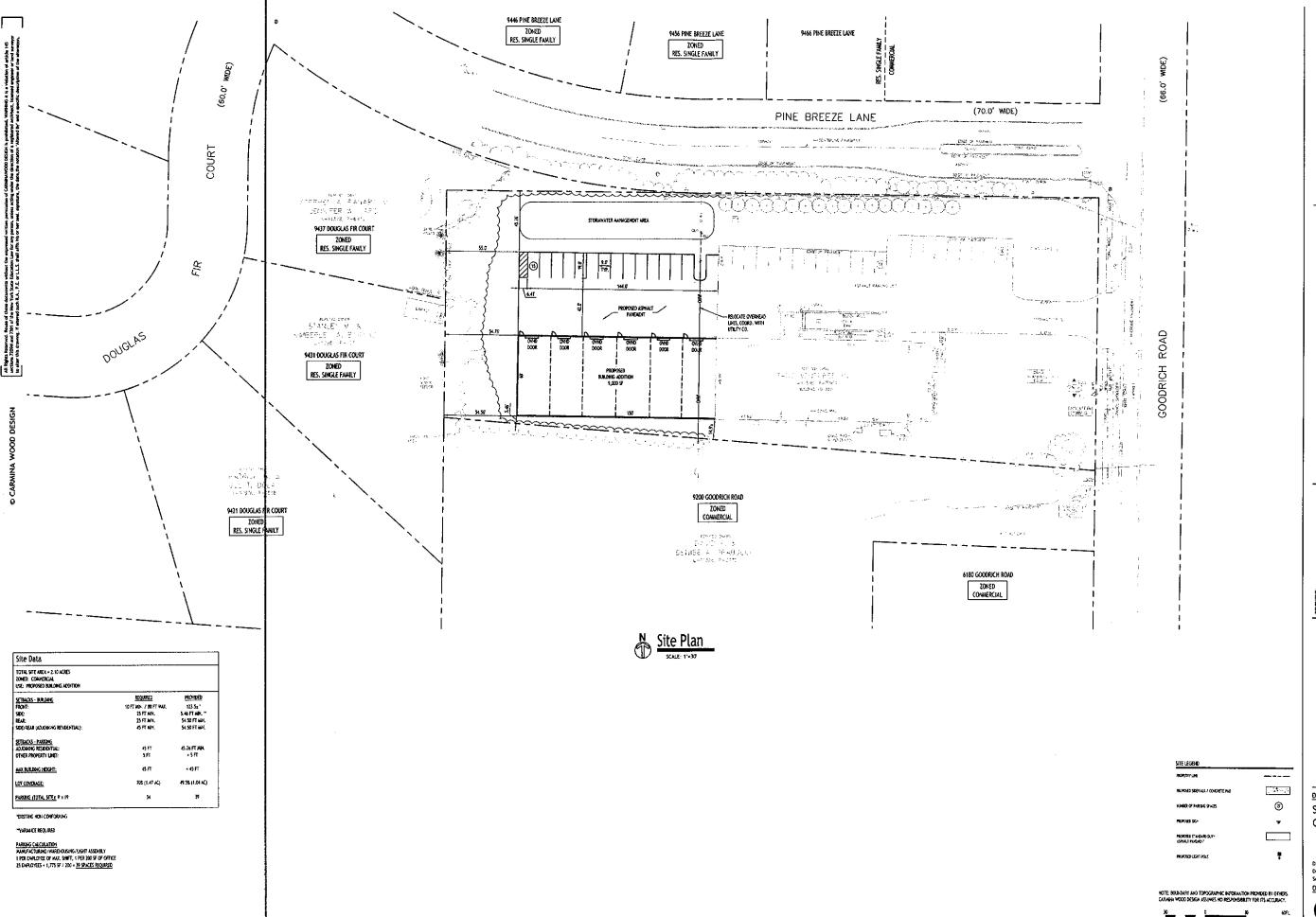


Proposed addition to the principal structure resulting in a 5'5" side yard setback.

The minimum principal structure side yard setback is 25'.

A 19'7" variance is requested.





CARMINAWOOD

DESIGN

Buffalo | Utica | Greensboro

Proposed Building Addition 6204 Goodrich Road Clarence, NY

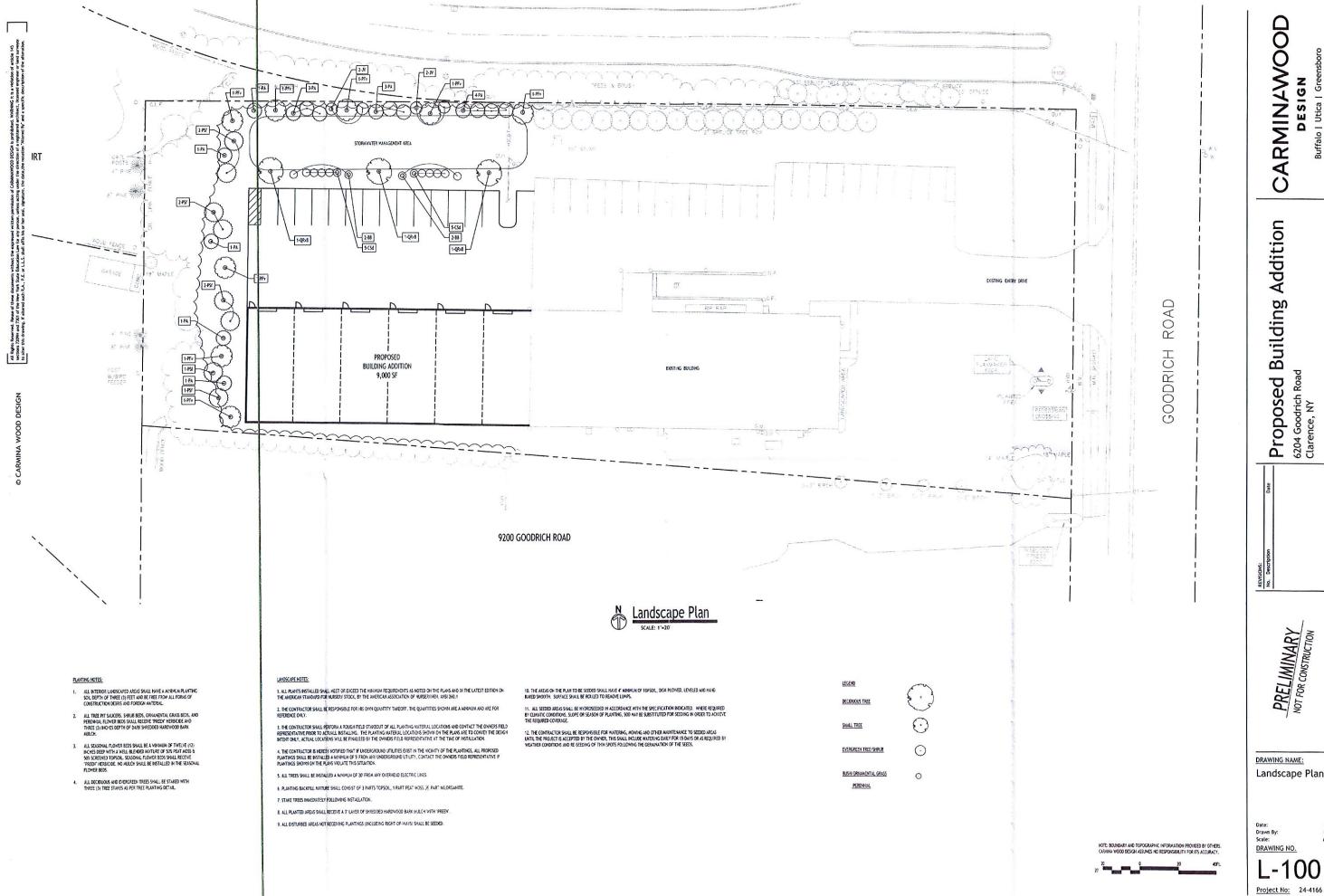
PRELIMINARY NOT FOR CONSTRUCTION

DRAWING NAME: Site Plan Concept

Date:
Drawn By:
Scate:
DRAWING NO.

1/24/2 C. Woo As Note

C-100
Project No: 24-4166



CARMINAWOOD DESIGN

PRELIMINARY NOT FOR CONSTRUCTION

Landscape Plan

1/24/25 C. Wood As Noted

L-100

#### Item 1

Zang Ventures, Inc. Commercial

Request Conceptual review of a proposed building addition to accommodate warehousing and complementary commercial uses at 6204 Goodrich Road.

#### **DISCUSSION:**

Mr. Schaefer introduced this project, 6204 Goodrich Road—southwest corner of Goodrich Road and Pine Breeze Lane.

The existing 2.1-acre parcel contains an existing business operation in the commercial zone.

The applicant is requesting a preliminary Conceptual review of a proposed 9,000 sqft warehouse addition to the rear of the existing building, with associated facilities. The space is proposed to be used for complementary business operations such as existing warehousing, athletic training, sales, and other complementary uses.

The Town Board referred the proposal to the Planning Board in March. The initiation of a coordinated review under the State Environmental Quality Review Act ("SEQRA") will allow for involved agencies and interested parties to comment.

Note: The applicant is requesting a side yard setback Variance for the proposed addition, which will be subject to review and approval by the Zoning Board of Appeals.

Deputy Town Attorney David Donohue recused himself from the Discussion.

Patrick Sheedy of Carmina Wood Design was present to represent the project.

Mr. Sheedy wanted to add to Mr. Schaefer's introduction of the project that they are adding 15 parking spaces on site to the additional parking spaces that are currently there.

Mr. Lahti inquired about the accuracy of the information provided in EAF part 1, which indicated that no permit approval or funding from any government agency was required.

Mr. Sheedy indicated that he did not anticipate requiring approval from external agencies, as all necessary procedures would be managed through the Town of Clarence.

Chairman Sackett asked Mr. Sheedy if there was a septic system.

Pat Sheedy responded that there is an existing septic system.

Chairman Sackett asked Mr. Sheedy if the Erie County Health Department needs to approve the septic system for the new building and its increased capacity.

Mr. Sheedy responded that they probably would.

Mr. Sackett repeated that there will be a need for another agency.

Mr. Sheedy said yes, and we can add this to the list.

Mr. Lahti asked Mr. Sheedy about their need for the requested variance, as the Town's recommended setback is 25 feet, and the project is showing the setback at 5 feet and 2 inches to the property line. Although it is not the Town's purview to approve or disapprove, the Town likes to stay consistent and consult the applicants of the requested setback of 25 feet.

Mr. Sheedy responded to Mr. Lahti's question and explained the need for the variance. The addition is going to face the southern façade of the building and subject to the existing angle of the property line to the south is where the variance is coming into play. They have to keep the angle of the building to the angle of the property line and it creates a pinch point there. They cannot meet the 25-foot setback. He also stated that the existing building is only 15 feet setback.

Mr. Lahti said they are starting a coordinated review but have not approved anything yet, and future plans must address lighting, buffers, maintenance, and impacts on nearby residential properties.

Chairman Sackett asked what the buffer would be, as currently, there is a substantial buffer of trees to the west.

Mr. Sheedy stated that their objective is to preserve as much of the existing vegetation as possible, and they are mandated by code to maintain a 45-foot greenbelt between the proposed site and the neighboring residents. He further stated that the approximate width would be within a 25-foot range of what could be preserved and what would be disturbed for construction. They would propose additional landscaping to re-establish that buffer.

Chairman Sackett wanted clarification on how he would obtain the required 45-foot buffer.

Mr. Sheedy clarified Chairman Sackett's question and said there would be 25 feet of existing vegetation, and the 45-foot requirement would be a combination of the existing and the new proposed landscaping and open grass area.

Chairman Sackett asked if the variance that they are seeking is part of the side yard setback.

Mr. Sheedy said they are requesting a variance for the south side of the property.

In regard to Public Participation, the following residents spoke:

Thomas Brown of 944 3D Heritage Path:

- He would like to know what the primary activity is going to be.
- Because the project referenced warehousing, he would like to know if they have an estimate of the traffic coming in and out.
- He also wanted clarification on what they mean by accommodating warehousing and complementary commercial uses.
- He inquired whether materials would be placed on pallets and not involve the dumping of products, dump trucks, or tailgates.

#### Pat Dolan of 9421 Douglas Fir:

- His biggest concern is the buffer and the impact that it is going to have on his yard from his previous experiences with other neighboring properties that have cleared land.
- He is also concerned about how close the proposed pond will be.

Chairman Sackett requested Mr. Sheedy back to the podium.

Chairman Sackett asked Mr. Sheedy to talk a little more about the primary activity, complimentary uses, lighting, and the pond, and who would regulate that.

Mr. Sheedy stated that the primary use of the building will continue to be by the Zangs' current business, as they own and operate an electrical equipment and distribution company. An additional use of the building is for soccer training. The intention for the proposed project is for the athletic facility, as they have gained a lot of interest in sports. He is unsure of the Truck traffic and would have to confirm with the client. He also explained they will be submitting the landscape plan to the Landscape Committee and will do their best to keep the existing vegetation. The pond located on the northern side of the proposed parking area will be designed as a dry pond to collect stormwater runoff from the new parking lot addition. This will be captured and then routed to a catch basin on Pine Breeze Lane. The dry pond will be about 2 feet deep, and there will be a planted buffer along the property line between the pond and the roadway, along with the existing vegetation.

Chairman Sackett said he was vague on the activity and asked if he would be more specific about the types of activity, the hours of activity, and note truck traffic versus pedestrian and car traffic during the coordinated review. He is also asking for a letter addressing the intent for lighting and the buffer zone.

Mr. Sheedy agreed to include the information requested.

#### **ACTION:**

Motion by Jason Lahti, seconded by Gregory Todaro, that pursuant to Article 8 of the Environmental Conservation Law, to accept the Part 1 Environmental Assessment Form as amended and to seek Lead Agency status and commence a coordinated review among involved and interested agencies on the Zang Ventures project at 6204 Goodrich Road. This Unlisted action involves a building addition to accommodate existing warehousing and complementary uses in the Commercial zone.

Daniel Tytka Aye Jason Lahti Aye Gregory Todaro Aye Wendy Salvati Aye Richard Bigler Aye Robert Sackett Aye

MOTION CARRIED

Zang Ventures, Inc. 6204 Goodrich Road. Southwest corner of Goodrich Road and Pine Breeze Lane. This is a 2.1-acre parcel containing an existing business operation in the Commercial zone. The applicant is requesting preliminary conceptual review of a proposed 9,000 sq ft warehouse addition to the rear of the existing building, with associated facilities. The space is proposed to be used for complimentary business operations such as warehousing, athletic training, and sales. A referral to the Planning Board would allow for a thorough review of this proposal. The applicant is requesting a side yard setback variance for the proposed addition, which will be subject to review and approval by the Zoning Board of Appeals.

Michael Zang was present to answer any questions.

Mr. Zang explained the plan would be to add a 9,000 sq ft addition onto the current space which is approximately 10,000 sq ft. The goal would be to make this congruent with the current

building from a setting stand point so it would be right in line and the same width of the current building and running from the east part of the building over west into the back acre of our property. The purpose of this is twofold. Currently our family business is stationed in the rear 4,000 sq ft of the current building. Our operations are such that we are in need of more space, primarily for inventory but also for some personnel. The plan would be to acquire a portion of that new space, approximately 3,000 sq ft. The remaining 6,000 sq ft would be dedicated to local business, similar to what is renting the front portion of our building. Currently we have a sports trainer who does small volume work.

Supervisor Casilio said the only thing he is concerned about with these types of set ups is all of a sudden we have outside parking for lawnmowers, trailers and things like that. That will be something that is discussed at the Planning Board level. I'm not saying it is impossible, but if that is something you need it would have to be fenced off with a privacy fence.

Mr. Zang said there is a forty-five-foot green space built around this space on the north and west side to protect the neighbors and with our family business residing there, the aesthetics are significant to us and we would be against anything being stored in that space. To that point, when the building was acquired in 2018, we also acquired the tenant that was there. That tenant was storing quite a bit in that parking lot, which was an eyesore. Our first step was to clean all that up and that has been our standard since we have been there.

Supervisor Casilio commented, since your ownership the site has improved. You have done a lot of work cleaning it up and making it better.

Councilman Shear agreed. You have done a nice job on that piece of property. When this goes to the Planning Board, they will have a discussion with you on the amount of metal proposed on the building. Just so you know that discussion is coming.

Motion by Councilman Shear, seconded by Councilman DiCostanzo to refer the request of the applicant Zang Ventures, Inc. at 6204 Goodrich Road, to the Planning Board for preliminary conceptual review of a proposed building addition to accommodate warehousing and complimentary commercial uses, in the Commercial zone.

Upon roll call – Ayes: All; Noes: None; Absent: Councilmen Altieri and Michnik; Motion carried.





### Request for Action Town of Clarence | Office of Planning & Zoning

(716)741-8933 | 1 Town Place, Clarence, NY 14031

**Town Use Only** 

Date: July 22, 2025

Received By: Planning & Zoning Office

Project Address: 8606 Clarence Center Road

SBL #: 43.15-5-20.21

#### **Action Desired:**

Applicant requests a variance of 4' to allow a 8' fence to be located within the front yard setback located at 8606 Clarence Center Road in the Residential Single-Family zone.

#### Reason:

Town Code Reference: §101-3(C)(2)

Note: A corner lot shall be considered to have two front yards from the public road right-of-way to the closest point of the principal structure.

### APPLICANT INFO Name / Business: Thomas & Wendy Lee E-Mail: Phone #: Address: State: Zip: PROJECT SPONSOR INFO (if Different Than Applicant) Name / Business:

#### CORRESPONDENCE

Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.

1	Applicant
	Project Sponsor

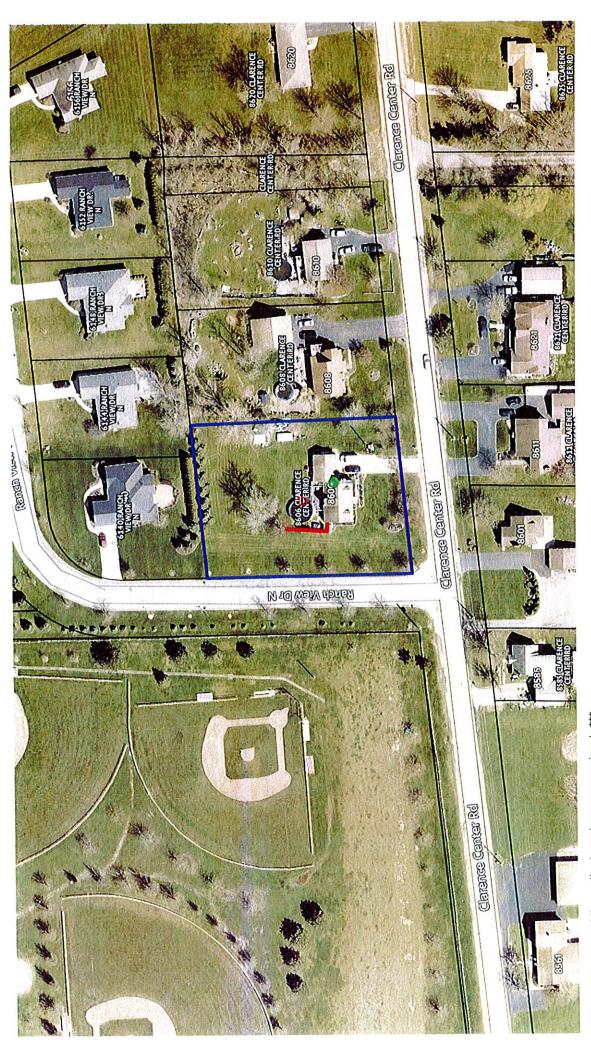
#### **SIGNATURE**

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

signed: Signature On File

# Town Use Only:

Action:	Ву:	On:	Fee:	Paid:	
Action:	Ву:	On:	Fee:	Paid:	
Action:	Ву:	On:	Fee:	Paid:	
Action:	Ву:	On:	Fee:	Paid:	
Action:	By:	On:	Fee:	Paid:	
Action:	Ву:	On:	Fee:	Paid:	



\*\*\*note the parcel lines displayed are approximate\*\*\*

# 8606 Clarence Center Road



Existing 8' fence located within front yard. The maximum allowed height for a fence extending into the front yard is 4'. A 4' variance is requested.

Note: A corner lot shall be considered to have two front yards from the public road right-ofway to the closest point of the principal structure.



\*\*\*note the parcel lines displayed are approximate\*\*\*

# 8606 Clarence Center Road



Note: A corner lot shall be considered to have two front yards from the public road right-ofway to the closest point of the principal structure.





Project Address:

SBL#:

Request for Action
Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

**Town Use Only** 

Date:

Received By:

Clarence Center

APPLICANT REQUEST:	Reason: Live next to Mendowsalles PARK (chaeum Mendowslakes)  BASE BALL GAMES ARE HEXT to My BACK  And pool. These is no privacy to my side  yand, My wife and Kids do not want to be exposed to the park next door. & Me Well						
	CONTRACTOR OF THE PROPERTY OF	APPLICANT INFO			SIGNATURE		
.:	Name / Business:  E-Mail:  Phone #:	Thoms & Wend	Lec	in th for Plan plans	uest for Action shall be filled out completely e spaces provided. The complete Request Action shall be submitted to the Office of nning and Zoning along with all necessary s, maps, and supporting documentation. By g below I certify that I have the authority to it this Request for Action, and further certify its contents to be true and correct.		
CT INFO	Address: Town:			Sig	ned:		
CONTACT	PR Name / Business:  E-Mail:  Phone #:  Address:  Town:	OJECT SPONSOR INFO (If Differen	Than Applicant)  — Ziρ:	rec	CORRESPONDENCE ase indicate the preferred entity that shall eive the appropriate correspondence and associated with this Request for Action. Please select only one.  Applicant Project Spensor		
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May William	A (1	D	0	Eco:	Paid:		

# Reasons we need an 8-foot fence:

When Tom and I put our pool in almost 20 years ago, we also built a fence along the outside edge of what was then considered our side yard. (We have just been told that we have 2 front yards, 1 side yard, and a back yard. We did not even know this was a thing.) Jill owned the strip next to us at the time. We ended up putting lattice across the top due to the fact that when standing on the deck, we could totally see the park, all the kids, and parents, and they could see us.

This fence stood for almost 20 years. It was painted twice, and it was repaired and reinforced numerous times. Because we live next to the park, there is no true wind barrier, and the fence took the brunt of full-on wind. Over the years, it leaned in; sometimes the boards became misshapened. We added support and replaced multiple boards. This summer, Tom said it was beyond repair. He said it was also bug-infested and that it needed to be replaced. We now knew that the supports needed to go down close to 4 feet as the winds are so strong. Also, we put the boards up back and front instead of all next to each other so that the wind could pass through better and not fight the boards, warping them. This fence is on our property only, as we purchased that side piece about 14 years ago from Jill. It doesn't come close to blocking any

view of the turn into or out of Ranchview onto Clarence Center Road. There are no houses in my neighborhood that can even see this fence from their houses, where it could obstruct their vision of anything but our pool and deck. It is just to give us privacy to swim and sit on our deck. It also protects the children from seeing us in our swimsuits.

It still needs about another 4 ft. section, which we hope to then angle down to 4 ft, to then go around the back of the property. This is because we can still see the entire back end of diamond 4. I can attest that for the week or two that the old fence was down, neither I nor my children were at all able to comfortably use our deck or pool. We completely felt like we were on display.

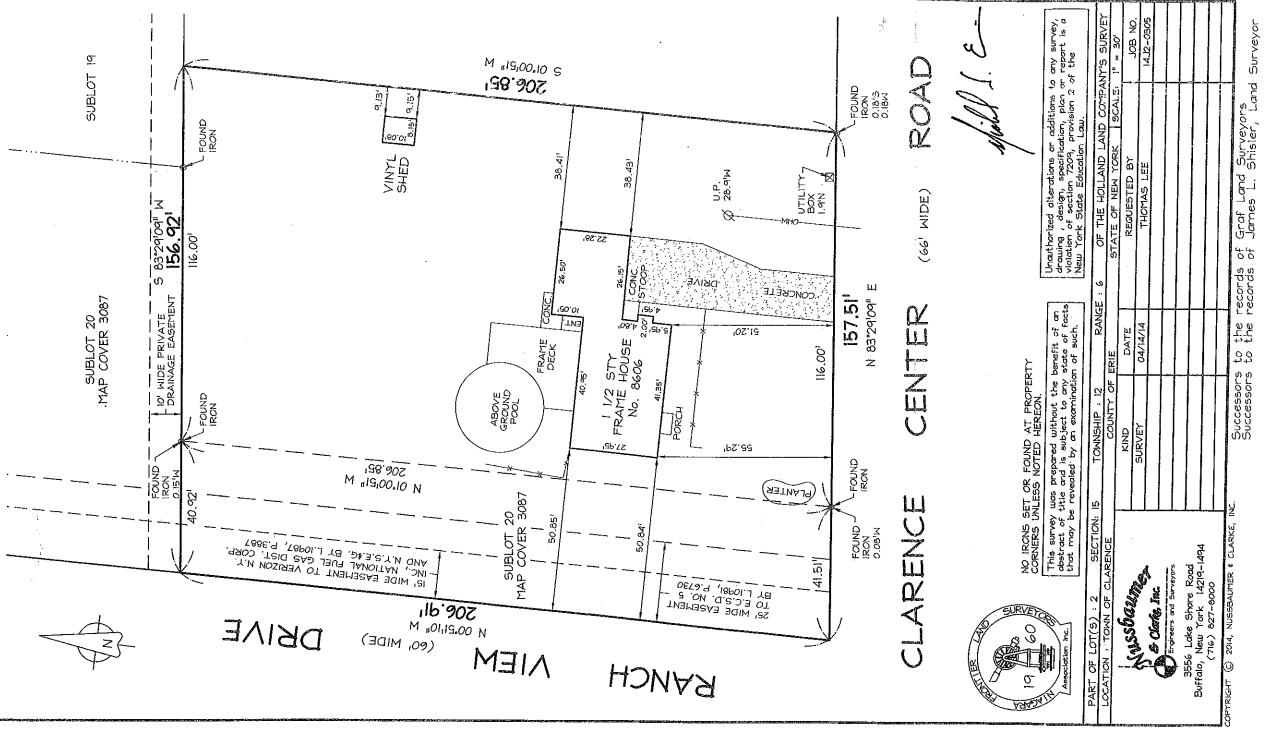
When we bought our house, we did not even know that Ranchview was going to be built. I grew up on this street and watched most of the changes. I got married and moved away, and 10 years later, we moved to our current home, completely unaware of the plans to build that development. It was 2 years of dirt and dust and trucks basically at my front door. The Boy Scouts planted tiny evergreens one year, and we thought eventually that would be a nice barrier. Most of what survived the wind is nice. The area that the wind ruined is across from my fence.

Our Deck comes off the back of the house and steps up to another deck that is at the pool. When we are standing on the pool deck, we are 5 feet off the ground. To have built this fence any shorter would have been a true waste of time and money, as there would be no privacy whatsoever. I truly do not intend to cause any trouble. I just want for myself, my family, and any friends who come over to be able to do so comfortably in our backyard and in our pool.

We plan to paint or stain this fence as soon as possible, as the wood needs to dry out. Then, as our budget allows, we would like to plant some shrubs and flowers. I do not feel that this fence is an eyesore in any way, and everyone who has stopped tells us how nice it looks. As you will be able to see from our photos, it's not a large fence; it currently just covers most of the deck and pool area.

Sincerely,

Thomas and Wendy Lee



Graf Land Surveyors James L. Shisler, Land records of records of 다. 라 후 Successors Photos Page 10+3



Photo 1: From Pack



Photo 3: Fence

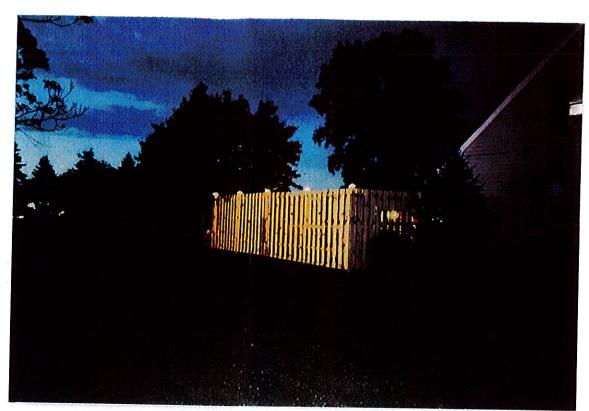


Photo 2: Lights

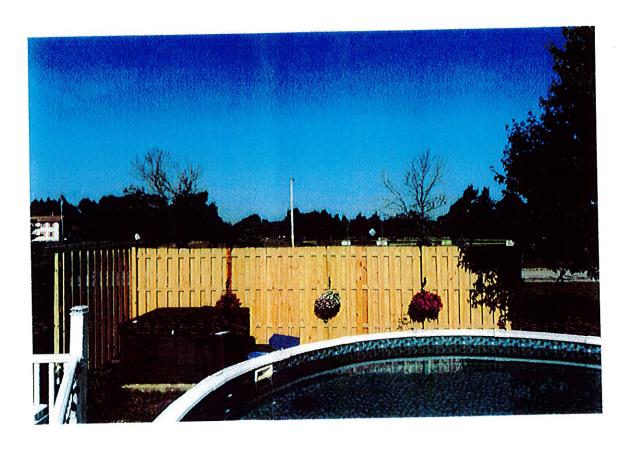


Photo H: Inside View



Photo 5: Old 8ft Fence



Photo 7: Fence and Pack



Photo 6: Hope to add 4 more feet to cover this area more in the Future.

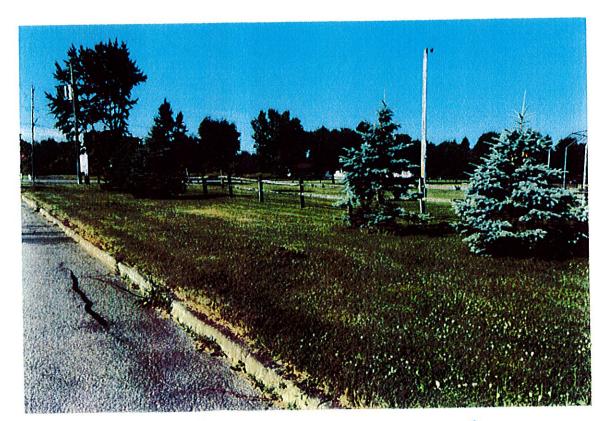


Photo 8: Dead trees across from my Fence

Photos Page 3 of 3



Photo 9: From Park to my Fence

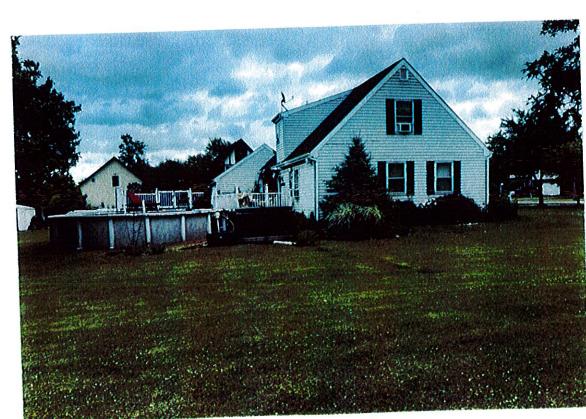


Photo II: Standing on Runchview Dr.

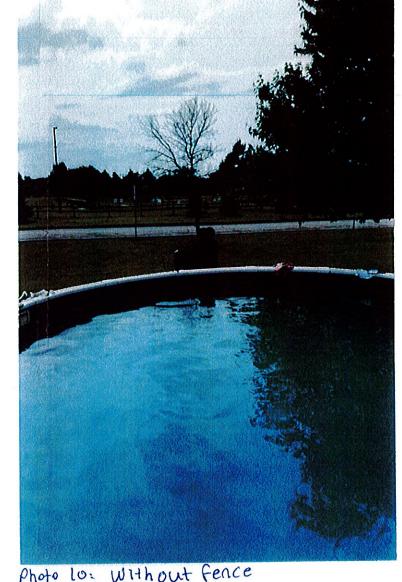


Photo lo: Without fence

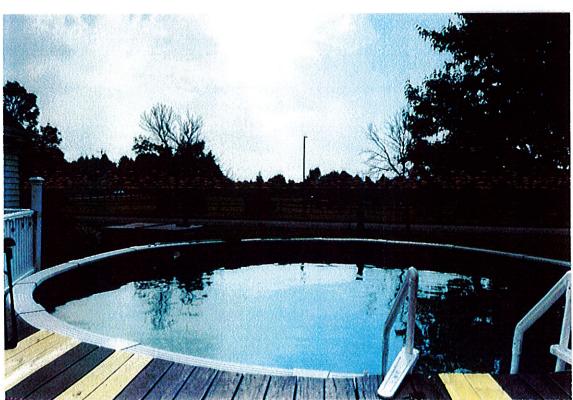


Photo 12: Missing trees due to high winds From the park



Request for Action
Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

# **Town Use Only**

Paid:

Fee:

Date: July 24, 2025

Received By: Planning & Zoning Office

Project Address: 5300 Park Ledge Court

SBL #: 58.18-2-22

# **Action Desired:**

Applicant requests a variance to allow a swimming pool to be located within the front yard setback located at 5300 Park Ledge Court in the Residential Single-Family zone.

# Reason:

Action:

APPLICANT REQUEST:

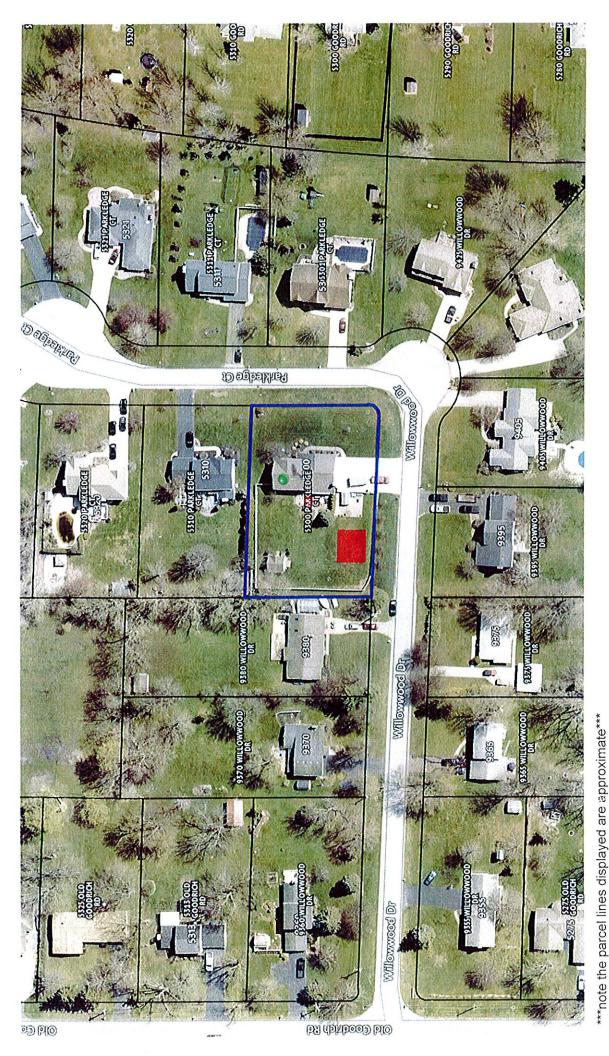
Town Code Reference: §196-3(C)

Note: A corner lot shall be considered to have two front yards from the public road right-of-way to the closest point of the principal structure.

	<u> </u>	APPLICANT INFO		1	
	Name / Business: Frank			CORRESPONDENCE	
	E-Mail:	. E		Please indicate the preferred entity that sl receive the appropriate correspondence a billing associated with this Request for Act Please select only one.	and
;;	Phone #:	ONFILE		Applicant	
INFO	Address:	Ola		Project Sponsor	
	Town:	State:	Zip:		
CONTACT	PROJECT	SPONSOR INFO (If Different The	an Applicant)	SIGNATURE	
SON	Name / Business:			Request for Action shall be filled out compl in the spaces provided. The complete Req	letely
	E-Mail:			for Action shall be submitted to the Office	e of
	Phone #:	ONFILE	plans, maps, and supporting documentation signing below I certify that I have the author submit this Request for Action, and further course its contents to be true and correct.		
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	Town:	State:	Zip:	signed: Signature On File	
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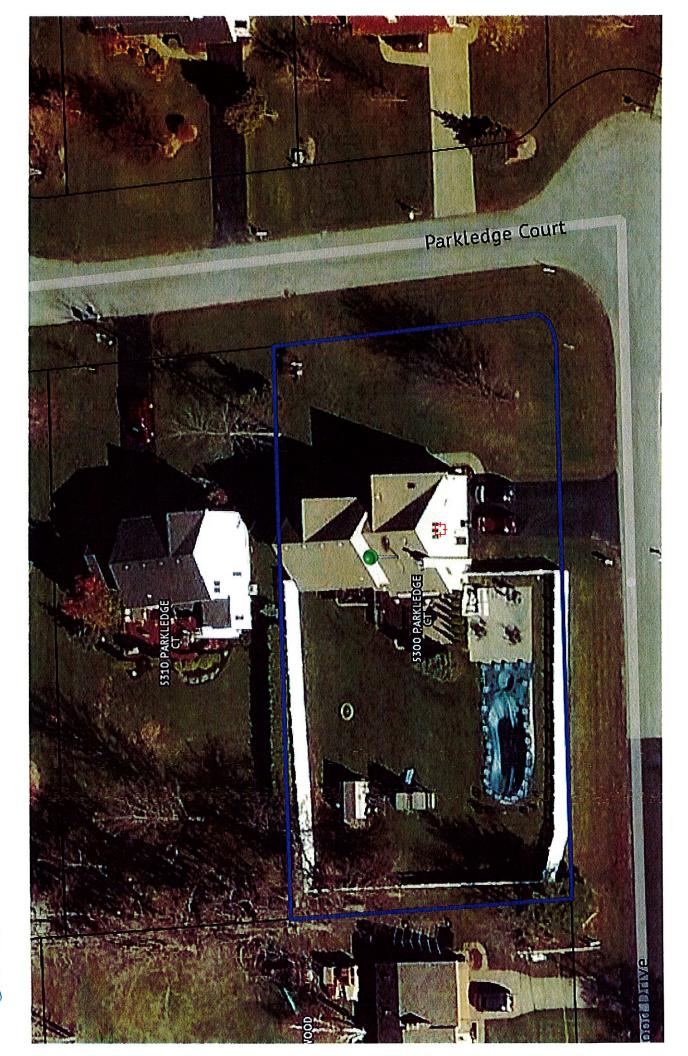
note the parcel lines displayed are approximate

# 5300 Park Ledge Court

Proposed location of a swimming pool. Swimming pools shall not be located in the front yard.

Note: A corner lot shall be considered to have two front yards from the public road right-ofway to the closest point of the principal structure.







Request for Action

Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

Town Use Only

Date:

Received By:

7/24/25 Ion Bleuer

	Project Address: 5	300 MANKledge	Cti Clane	nce, NY.	1403)	
APPLICANT REQUEST:	Action Desired: ///S7	PUT PULL IN BACK	and Due	TO SEPITC	eck within front yard setback	
	METAPORA SALIDANA SALIDANA SALIBA SALIBA ,				OLOMATURE	E MESHORISM AND
CONTACT INFO:	Name / Business: Fr.A.V.  E-Mail:  Phone #:  Address:  Town:  PROJECT  Name / Business:  E-Mail:  Phone #:  Address:  Town:	APPLICANT INFO  K LAFRATA  SPONSOR INFO (II Different Tha	n Applicant)  Zip:	in the spa for Actic Planning plans, ma signing be submit this its of Signed:	CORRESPONDENCE  Indicate the preferred entity that ships appropriate correspondence are sociated with this Request for Action Please select only one.	est of ary . By ty to ertify  all
Town Use Only:	Action: Action: Action: Action: Action:	By: By: By: By: By: By:	On: 7/24 On: On: On:	Fee: Fee: Fee:	Paid: Paid: Paid: Paid: Paid:	ned-Meuric (III
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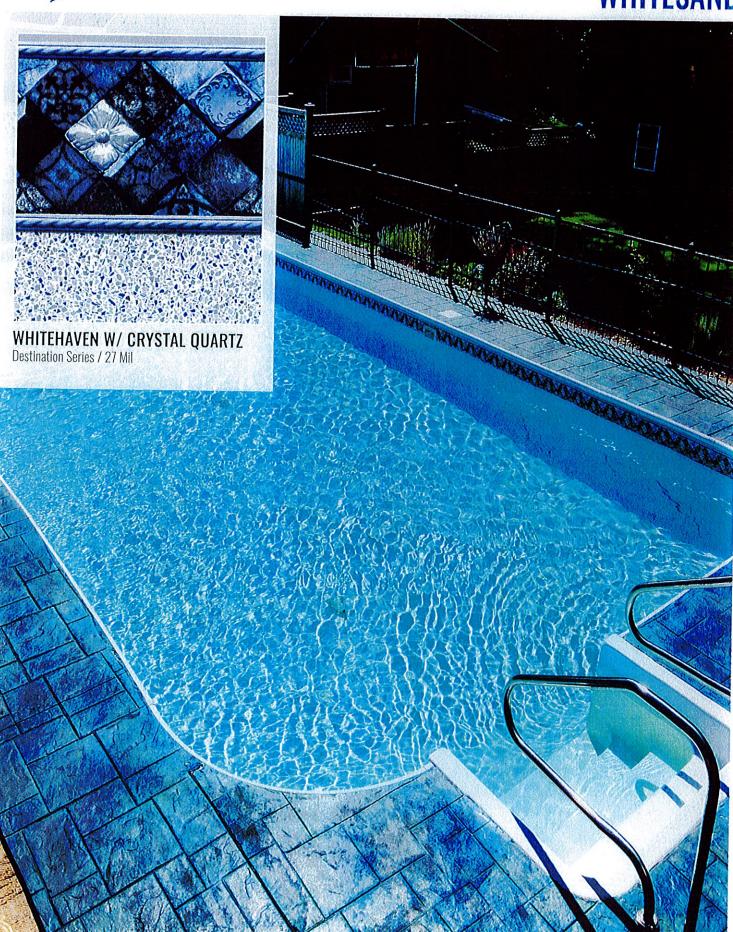
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301 60' 6X36 AB5 Prosi +1001/Fret 6 WAY D-BOX Levers nowife filed Deck 121 House Babeler 12" culert 5300 ParXLEdge

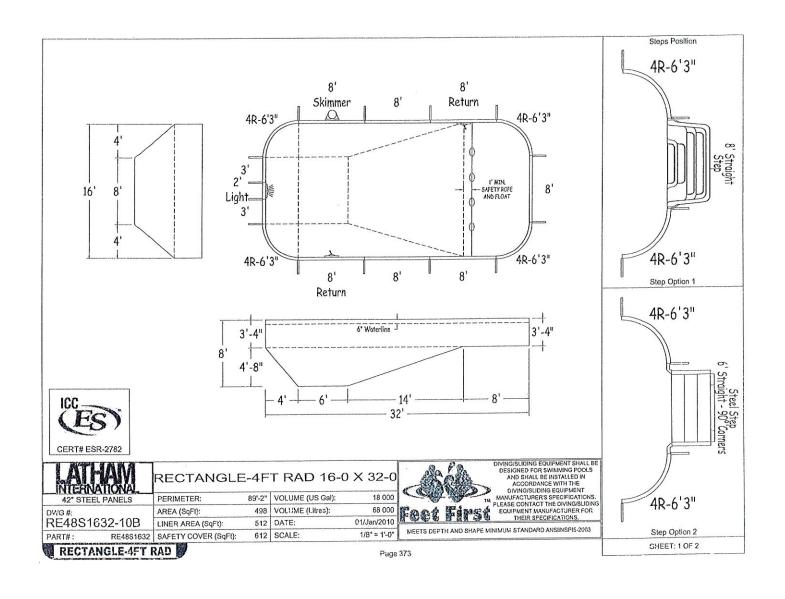
Example

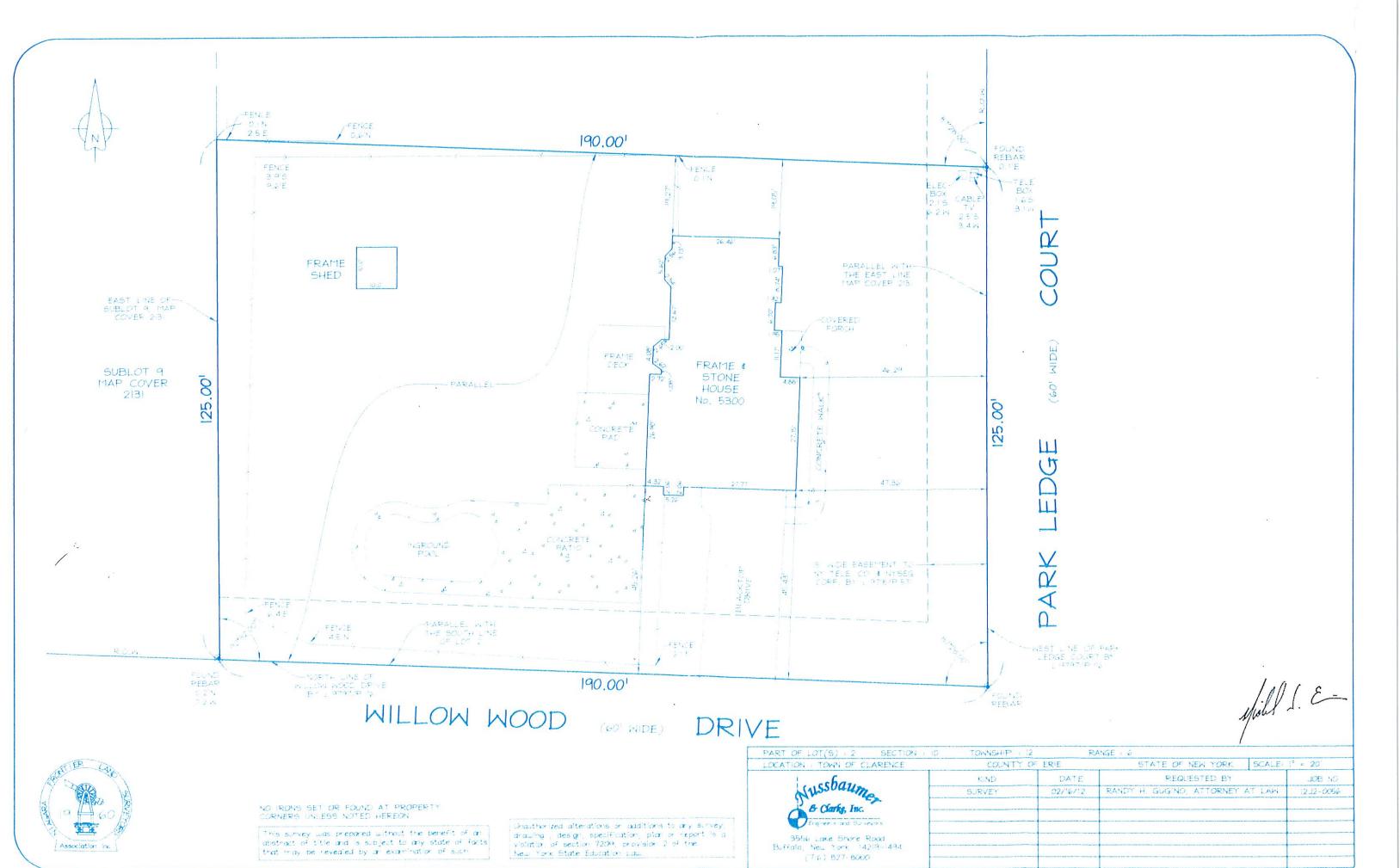
# WHITESAND



LINER SHOWN: WHITEHAVEN

Example





Buckessors to the records of Gend Land Buryeyors Buckessors to the records or Landes L. Arialer Land to ruley o Appeal No. 2

Ntg Mary Jane Dombek

7. [0.07] Residential Single-Family

Requests the Board of Appeals approve and grant a 2' variance to allow a 6' fence in the Willow Wood front portion of an existing home/pool at 5300 Park Ledge Court.

Appeal No.2 is in variance to Section 101-3 (C2) Fence Regulations.

# DISCUSSION:

Mary Jane Dombek explains that she had a 4' fence around the entire yard and around the pool. She lost parts of the fence due to the October 2006 storm; many trees which acted as a privacy fence were knocked down. She wants to install a 6' stockade fence because without the trees she no longer has privacy.

Mr. Mills asked why a 4' fence would not be sufficient. Mr. Dombek said his land slopes down and a 4' fence would not provide much privacy. Only the sloping portion of the property will be greater than 4'. The additional height is also for the benefit of the Dombek's dogs.

Mr. Michnik asked if the applicant would be willing to put a 4' fence on the Park Ledge area of the property and a 6' fence on the Willow Wood area. Mrs. Dombek asked what the reason was for this suggestion, Mr. Michnik said for safety reasons when you pull into the driveway. Mrs. Dombek said the proposed fence is not solid, you can still see through the fence. Mr. Dombek said they would prefer not to put up a 4' fence, they prefer the 6', but if they have to they will.

Mr. Henning asked if the applicant has considered shrubbery rather than a fence. Mrs. Dombek said with the pool, mosquitoes and bugs they would rather have the fence. The 4' foot fence has been there since they moved into the house, about 10 years ago, but there were also pine trees in this area to add to the privacy. Mr. Henning suggests a 4' fence and trees be installed similar to what was there prior to the October storm; Mrs. Dombek said she really does not want the bugs if additional trees were planted. Mr. Michnik suggests planting the trees on the outside of the fence. Mrs. Dombek said that is were the prior trees were and the bugs were still a problem. Mr. Henning did not see many other fences in the neighborhood, Mr. & Mrs. Dombek said there are other fences in the neighborhood.

Mr. Skaine asked if the applicant is going to put another section of fence to the south toward Willow Wood Drive. The applicant said yes.

# ACTION:

Motion by Hans Mobius, seconded by Ryan Mills, to approve Appeal No. 2, as written.

ZBA mtg 7:10:07	Raymond Skaine Arthur Henning Ryan Mills	Aye Aye Aye	Daniel Michnik Hans Mobius	Nay Aye	

MOTION CARRIED.



APPLICANT REQUEST:

# Request for Action Town of Clarence | Office of Planning & Zoning

(716)741-8933 | 1 Town Place, Clarence, NY 14031

# **Town Use Only**

Paid:

Paid:

Date: July 25, 2025

Received By: Planning & Zoning Office

Project Address: 9395 Martin Road

SBL #: 30.00-3-23.112

# **Action Desired:**

Applicant requests a variance of 2' to allow an 8' fence to be located within the rear yard setback located at 9395 Martin Road in the Agricultural Rural Residential zone.

Reason:

Action:

Action:

Town Code Reference: §101-3(B)

		APPLICANT INFO					
	Name / Business: Abbey	A. Zucarelli		c	ORRESPONDENCE		
	E-Mail:			receive the	licate the preferred entity that shall e appropriate correspondence and		
	Phone #:	ONFILE	•	_	ciated with this Request for Action. Please select only one.		
ö		ON		Applica	nt		
느	Address:	<u> </u>		Project	Sponsor		
<del>=</del>	Town:	State	: Zip:				
CONTACT INFO	PROJECT	SPONSOR INFO (If Differe	ent Than Applicant)		SIGNATURE		
δ	Name / Business:			Request for	· Action shall be filled out completely		
ပ	E-Mail:			in the spac for Action Planning a	es provided. The complete Request shall be submitted to the Office of and Zoning along with all necessary		
	Phone #:	#: ON FILE			plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify		
	Address:	Ομ,		its co	ontents to be true and correct.		
	Town:	State	: Zip:	Signed:	Signature On File		
	· 						
Ä	Action:	Ву:	On:	Fee:	Paid:		
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Ву:

By:



# 9395 Martin Road



Proposed 8' fence located within rear yard to enclose a sports court.

The maximum allowed height for a residential fence is 6'.

A 2' variance is requested.



Action:

Ву:

**Project Address:** 

SBL #:

# Request for Action

Town of Clarence | Office of Planning & Zoning (716)741-8933 | 1 Town Place, Clarence, NY 14031

MartinRd

9395

**Town Use Only** 

Paid:

Fee:

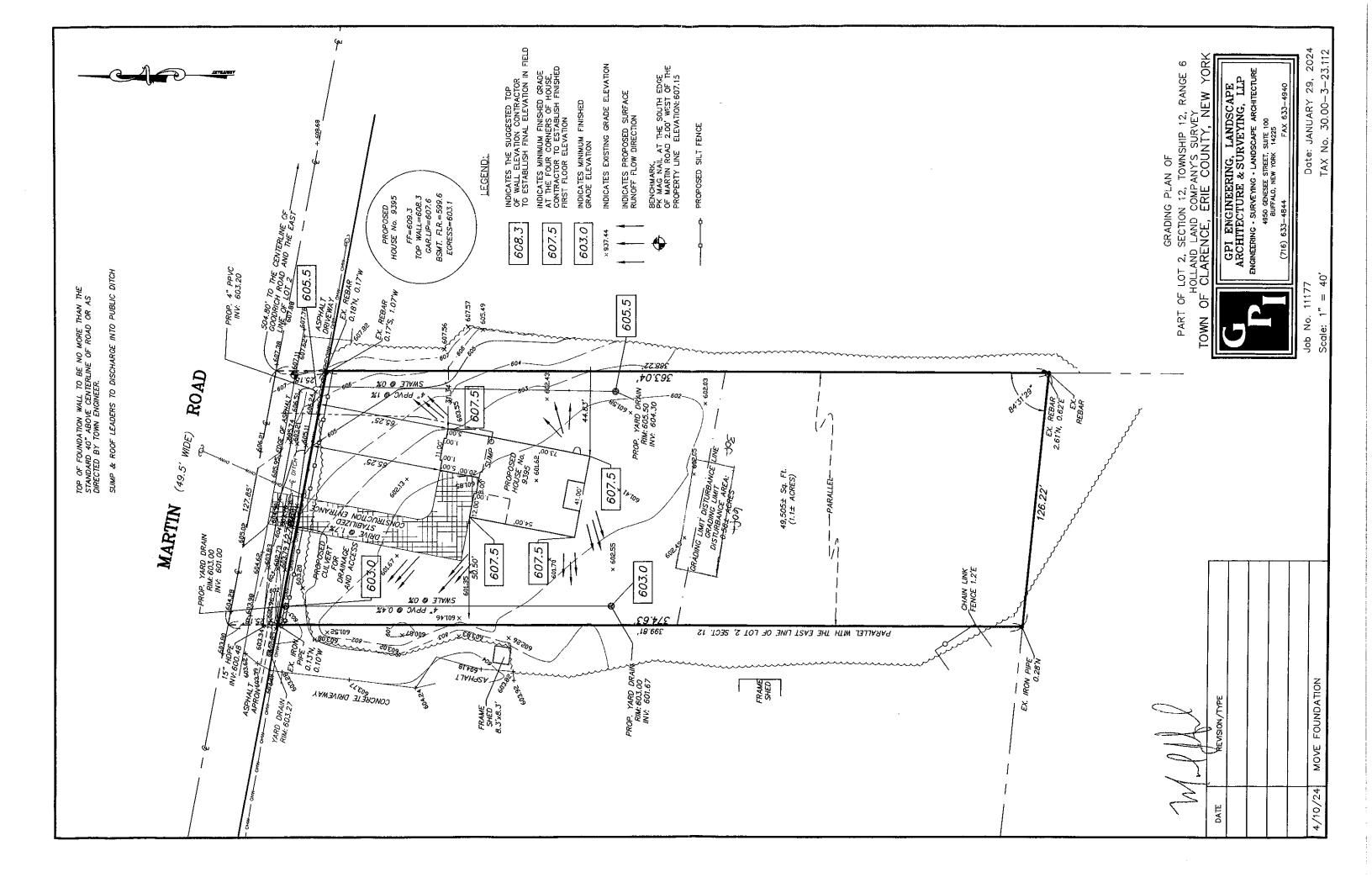
Date:

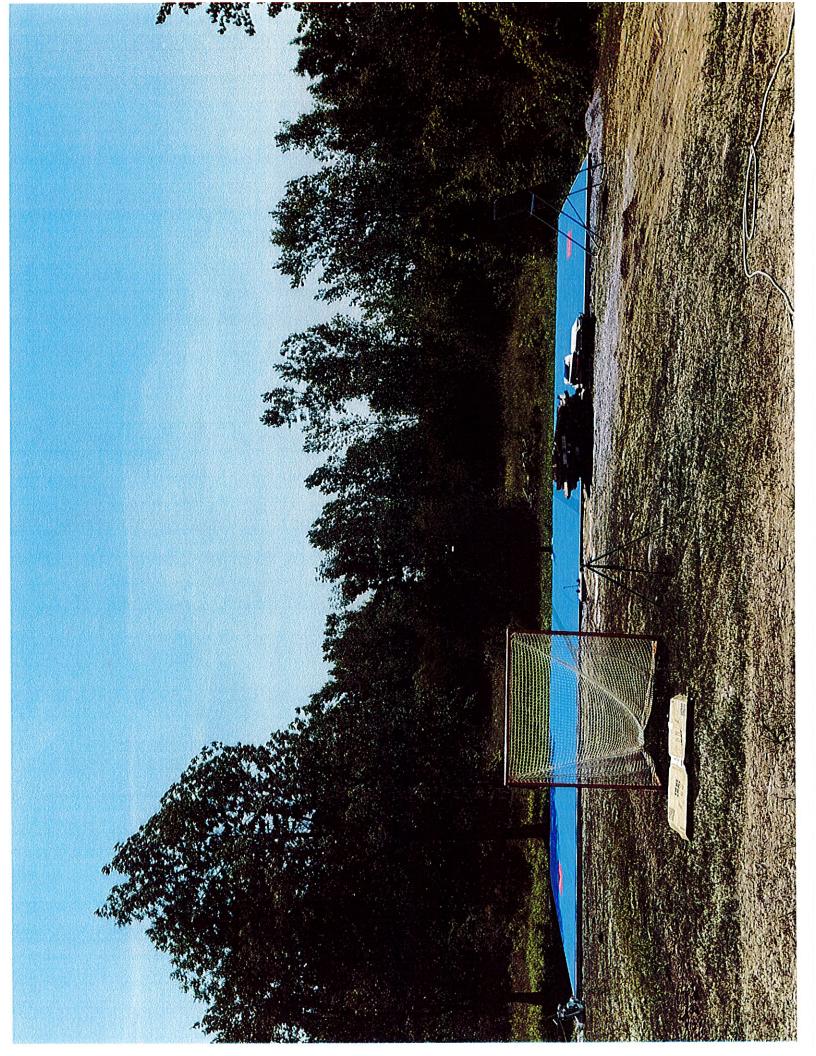
Clarence Center

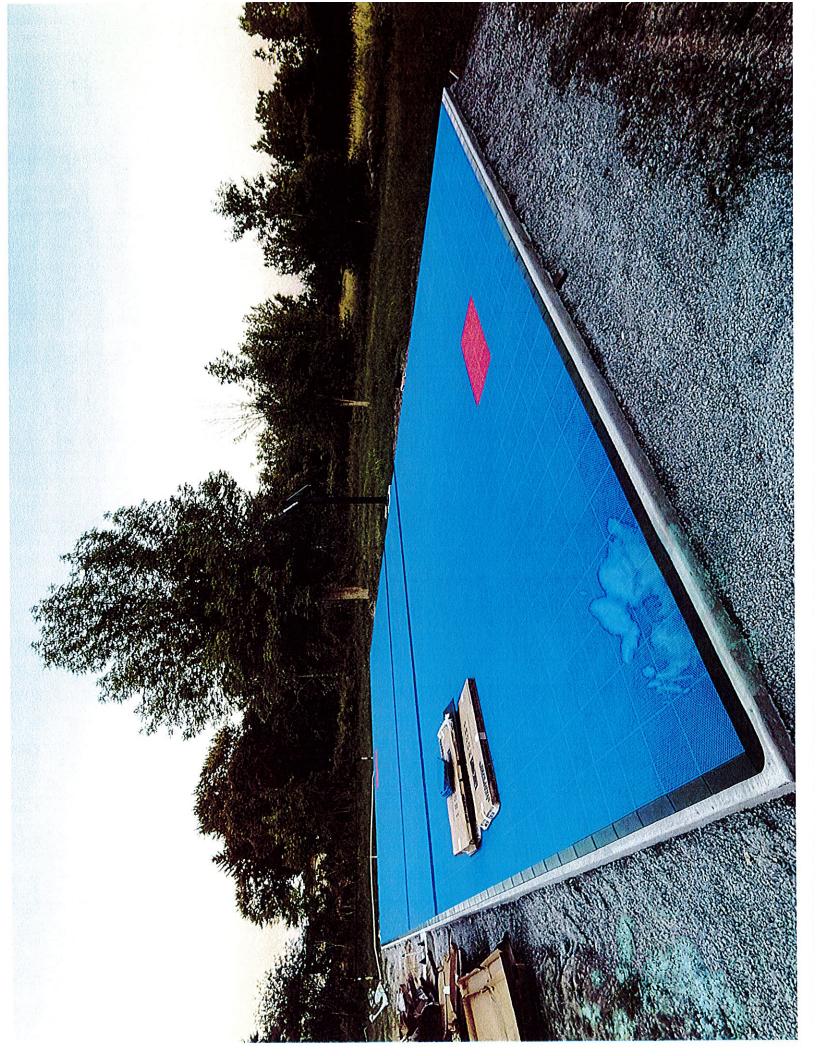
Received By:

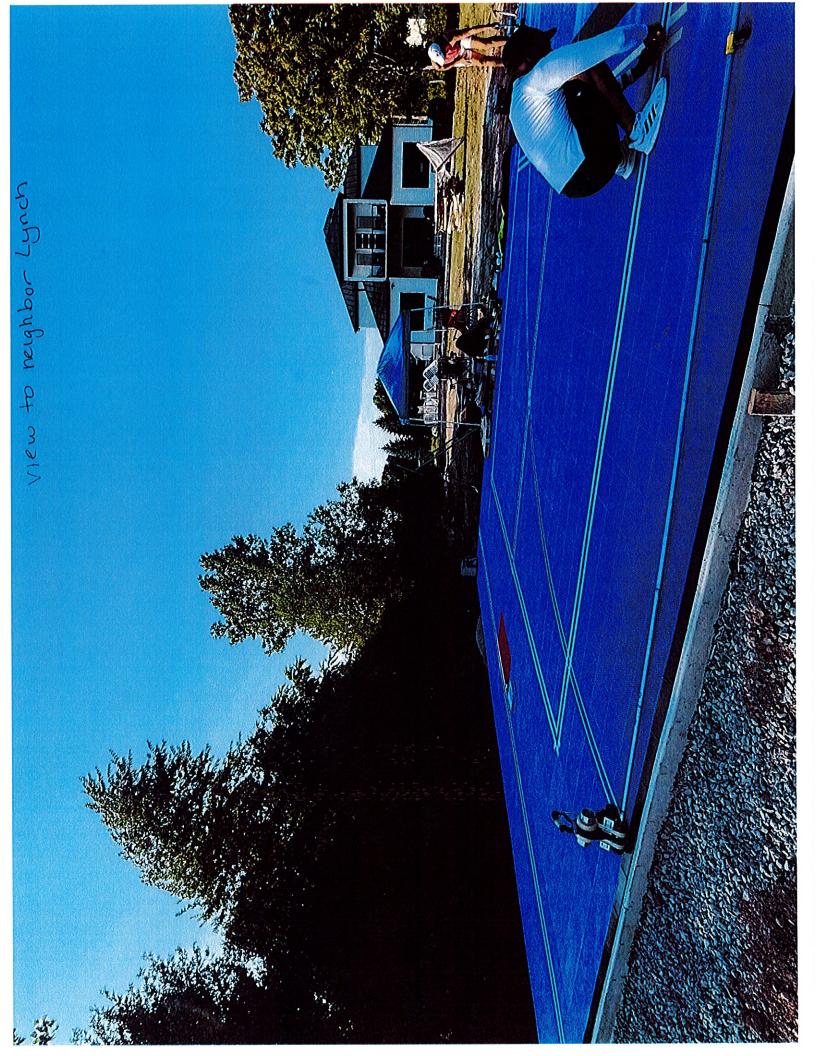
**APPLICANT REQUEST: Action Desired:** a 30' x 60' Sport Court with an 8' chain link fence Enclose Reason: The current 6 fence height restriction would create practical difficulty given the nature of a sport court. Increasing the height to 8' would provide adequate safety and containment for sporting equiptment and balls. The increased height poses no negative impact on neighboring homes. SIGNATURE APPLICANT INFO Request for Action shall be filled out completely Name / Business: Abbey A. Zwarelli in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary E-Mail: plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify Phone #: its contents to be true and correct. CONTACT INFO Address: ( Signed: Town: CORRESPONDENCE PROJECT SPONSOR INFO (If Different Than Applicant) Please indicate the preferred entity that shall receive the appropriate correspondence and Name / Business: billing associated with this Request for Action. Please select only one. F-Mail: Applicant Project Sponsor Phone #: Address: State: Zip: Paid: Fee: On: Action: By: Paid: Fee: On: Ву: Action: Paid: On: Fee: By: Action: Paid: On: Fee: Ву: Action: Paid: Fee: On: Action: Ву:

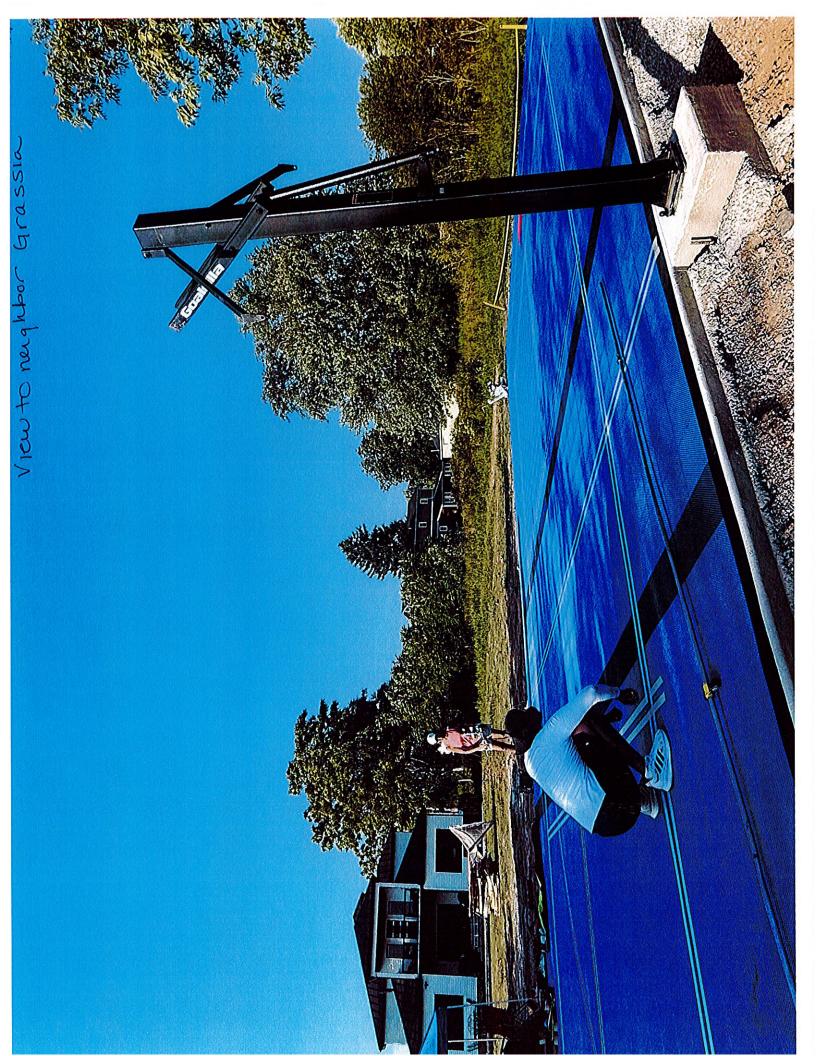
On:















Request for Action

Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

# **Town Use Only**

Date: July 21, 2025

Received By: Planning & Zoning Office

Project Address: 8721 Hearthstone Drive

SBL #: 29.16-3-1.112

# Action Desired:

Applicant requests a variance of 30' to allow a 15' principal structure rear yard setback located at 8721 Hearthstone Drive in the Agricultural Rural Residential zone.

# Reason:

Action:

APPLICANT REQUEST:

Town Code Reference: §229-41(B)(3)

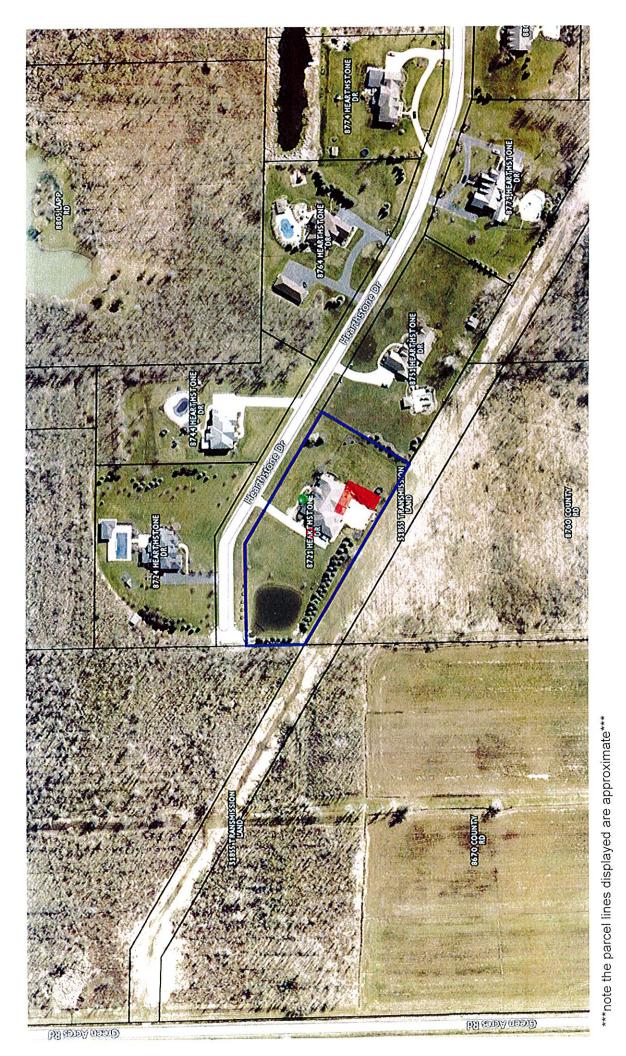
	, 5174					
		APPLICANT INFO		- 1		
	Name / Business: Tammy	y Aranyosi		co	RRESPONDENCE	
	E-Mail:	ONFILE		receive the a	ate the preferred entity that shall appropriate correspondence and ated with this Request for Action.	
	Phone #:	- NFILL		✓ Applicant	ease select only one.	
INFO:	Address:	Old		Project Sp	ponsor	
	Town:	State:	Zip:			
CONTACT	PROJECT SPONSOR INFO (If Different Than Applicant)  Name / Business: R. E. McNamara, Inc.  E-Mail: Phone #: Address: Town: Stale: Zip:			SIGNATURE  Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. Be signing below I certify that I have the authority the submit this Request for Action, and further certification its contents to be true and correct.  Signed: Signature On File		
y:	Action:	Ву:	On:	Fee:	Paid:	
Only:	Action:	Ву:	On:	Fee:	Paid:	
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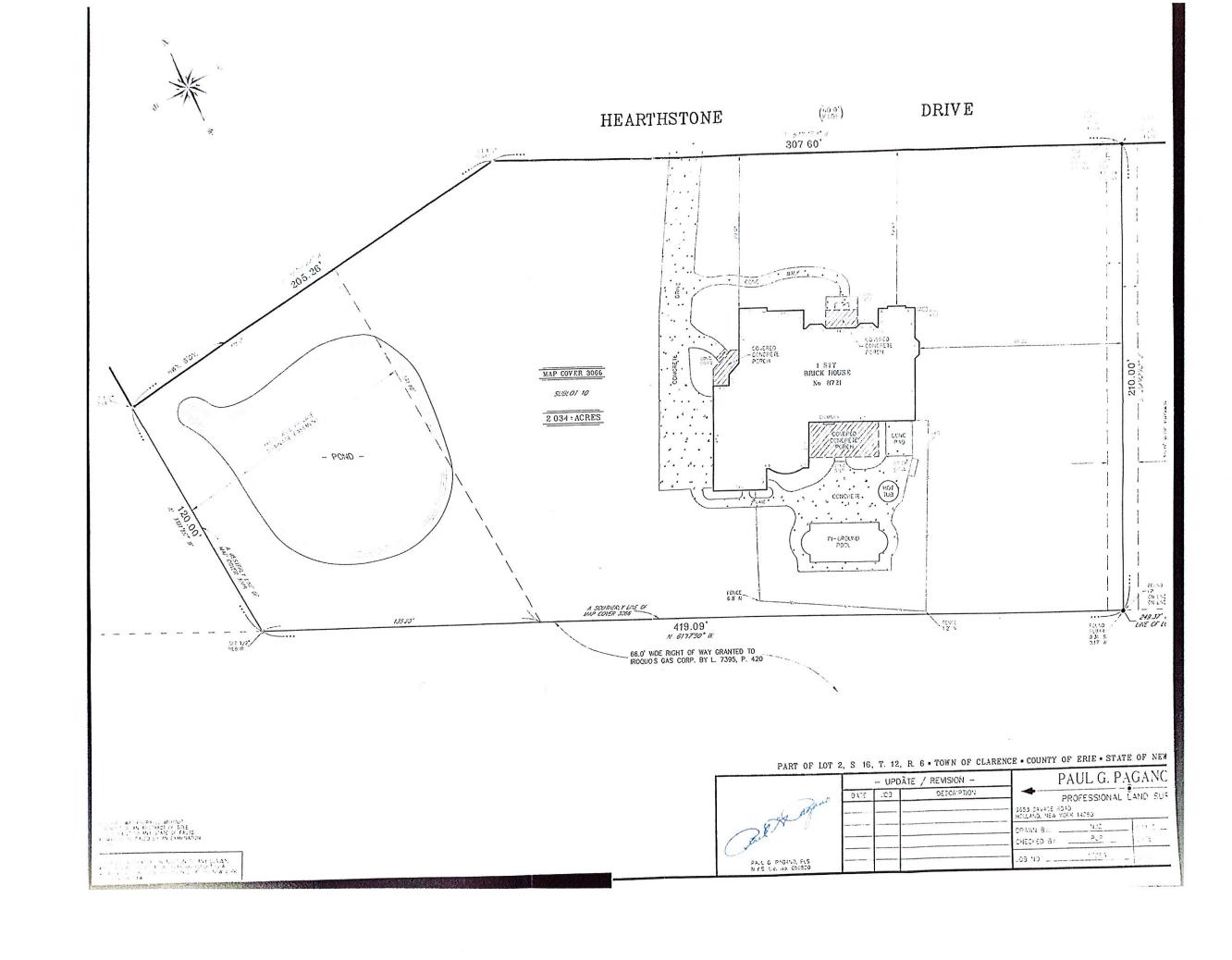
Proposed addition to the principal structure resulting in a 15' rear yard setback.

The minimum principal structure rear yard setback is 45'.

A 30' variance is requested.



# 8721 Hearthstone Drive



IOR CONDITIONS

SOI MATERIAS

Satisfactory soil materials are defined as those complying with "AC"M D 248  $^{\circ}$  soil classification group GHz GP, GM, SM, SM, and SP

Unset stacking soft meternals are between as mose complying with ASTM C 228 T soil class fication groves GC, SC M. Mr. C., Ch. O. and PT.

Sub-base Marenal, harurolih ar artike alls graded manure of natural or crushed gravel i must edistand crushed day industal or or shed same.

Drainage fill washed evenly graded mature of crushed stone or crushed or uncrushed gravel, with 00th dassing a -1/2 sleave and har more than 5-, passing a No - sleave

undutrionzed excavation consists of removal of materials beyond indicated subgrade elevations or dimensions, undutrionzed excavation as well as remedial work shall be or Contractor's excense. under footings, foundation bases, or retaining walls, fill unauthorized excelerion by extending indicated bottom electron of footing or base to exceleration bottom, without altering required top electron is controlled and be used to bring electron to broaper bottom.

Elsewhere, packfill and compact unauthorized escavations as specified for authorized escavations of same classification.

Additional Estavations. When escavation has reached required subgrade elevations, notify. Architect/Engineer who will make an absentation of conditions. If unsurable bearing materials are encountered at required subgrade elevations, carry excovations deeper and replace excavated materials with compacted stone or slag.

Dewatering. Prever surface water and svasurface or ground water from Sowing into excavations and from Sooding project site and surrounding area.

Excursion for Structures, conform to elevations and dimensions shown with a tolerance of plus or minus 0.10 and econoling a sufficient distance from factings and foundations to permit placing and remainal of concrete formwork, installation of services, other construction, and for inspection

In excepting for featings and foundations, take care not to disturb bottom of exception. Thim bottoms to required lines and grades to feating to receive other work.

Excount trenches to depth required, comy depth of trenches for piping to establish indicated 3am lines and invertibles as a separal building perimeter, keep bottoms of trenches sufficiently below finish grade to avail frester-uss.

Except as otherwise indicated, except to for extenor water bearing piping (water, steam, condensate dranage) so top of piping is not less than 3°-6' below finished grade.

Cols Water Protection. Protect excovation bottoms against freezing when atmospheric temperature is less than 35oF (10C)

General Control soil compaction during construction providing minimum percentage of density specified for each area dissification indicated below:

Percentage of maximum Delish, Requirements. Contact tool to not less than the following percentage of maximum destays for tools which within the well-defined maximum destay find provides (tools are tool) as extermined in accordance with ASIAD STATES and are factors when following percentages of effortive services of the accordance with ASIAD STATES and are factors when following percentages of effortive destay after the accordance with ASIAD STATES and are factors when following the accordance with ASIAD STATES and are factors and accordance with ASIAD STATES and

Larm or Unpared Areas. Compact top 6' of subgrade and each layer of backfill or 58 marenal at 85% maximum density for cohesive materials and 90% relative density for cohesionless soils.

Remove and replace, or scenty and oir dry, soil material that a to wer to permit compaction to specified density.

In excavations, use satisfactory excavated or barrow material

Under grassed areas, use satisfaction, excavated or barrow material

Under building slabs, use drainage fill material

Permanent all removant harzontal practice is a place on harzontally supported walls.

Wier existing group, surface has a censify less than that specifie, under "Compaction for particular circo classification, briedly up ground surface, pulserate, moist inexport not to do timility or content, and compact to required depth and percentage of maximum density.

Placement and Compagnon Place pacellitions till materials in layers not more man 8. Hoose dearn for material compagned by heart compagnion equation, each not more man 2 in loose apply for material compagns, by non-appreciationments.

Before compaction moster to period each layer as necessary to provide partium mosture content. Compact each layer to real-rise percentage of meanium and person for each are districted. Do not place boddfill or fill moteral on a indices that one milea, footer or content had only the

General uniformly groce areas within limits of grooning under this section, including balaces' transition aroust. Simport for this brace within specified tolerances, compact with uniform levels or sloops between point-indee elevations are indicated to between a chapter once asking grades.

Grading Outside Building unes. Grade areas adjacent to building lines to drain away from structures and to prevent banding.

Wolks. Shape surface of areas under wolks to line, grade and cross-section, with finish surface not more than 0.10 above or below reduced subgrade elevation.

Groung Surfaces of Fill Linder Building Sloss. Grade smooth and eiter free of vavas, companies as specified, and to require elevation. Provide final grades within a following of 1/2, when tested with a 10 strengthrough

Comportion. After grading, compact subgrade surfaces to the depth and indicated descentage of maximum or relative density for each predictors fical or.

Reconditioning Composted Areas. Where completed composted areas are disturbed by subsequant construction operations or adverse weather, scartly surface, restribute, and compost to reduced density prior to further construction.

# General Earthwork Notes

## **General Foundation Notes**

CONTRACOSTANCIOS SANA, PASAS COMMANDA ENTRACES ACCUMENTACIONES SANA, PASAS COMMANDA PARA APPLICADA ESTA, COURT, AND GOCA BARDINO CORRINACES AL CONCETTE MODERNAMO CONFORMIO "AUDION CONFORMIO" SANDINO CONCETTE MODERNAMO ENTRACES MODERNAMO ENTRACES PRODUCES CONCETTE PACE DE ACRES DE MODERNAMO PACE DE PACE DE PACE DE PACE DE PACE DE PACE

CONCRETE SHALL HAVE A MINIMUM COMPRESSES STRENGTH OF 3,500 PSI AT 28 DAYS CONCRETE SHALL HAVE A MUMP OF 100 MORE THAN 57 "AND ARE STREMMENT OF 1-4% THE USE OF CALLOW SCHOOL BOT PREMITTER PROVIDE REGISTER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN FEDERS CUSING PROCEDURES IN ACCORDING WITH HALL ACT HE QUINTERSTRENGTH OF 1-600 PSI AT 28 DAYS, A SUMM OF 140 MORE THAN 37 AND A MORANDA ME THE PRINCIPLE OF 150 ME AND 3 AND A MORE AND A STRENGTH OF 1-600 PSI AT 28 DAYS, A SUMM OF 140 MORE THAN 37 AND A MORANDA ME THE PRINCIPLE OF 3

SHE, REMOREMENT SHALL COMPORN TO AST MICHAELS CRADE 60 JAL BENFORCED BAS SHALL BY COLD BEN'S IN-ACCORDING WITH THE RECORD ROBE STABLED STHE ALL I LUNGER NO GENOMATICALS SHALL HE AST STABLED STHE ALL I LUNGER NO GENOMATICALS SHALL HE AST STABLED FOR SHALL BE SHALL

ALL FOUNDATIONS WALLS SHALL SE SPICED DURING BY CORLING AND TAMPHO OPERATIONS INCRESSED DO BY SERVICE WALLS WITH PREMAPTHY STRUCTURES, SUPPORTS PRAMED FROM AND SHALL AND EARLY SHALL SHALL BY COUNTRIS, LOWER SHALL SHALL BY COUNTRIS, LOWER SHALL SHALL BY THE SHALL BY ECOMMODISED TO CONTROL CASCINGS, WAS CUTTED A SPICED BY 1/3 OF THE DEFINE OF SHAP THE SHALL BY SH

CONCRETE SHALL REACH 75% OF SPECIFIED STRENGTH BEFORE CONSTRUCTION LOADS ARE APPLIED, UNIESS SPECIFICALLY APPROVED BY THE ARCHITECT-OF-RECORD CONCRETE SHALL BE VERHED WITH 7-DAY CYLINDER BREAKS

HE FOUNDAMENTAL HER SEED READ WITHOUT THE EIGHT OF A GNORING PAN-HE FOUNDAMENT HER SEED READ WITHOUT THE EIGHT OF A GNORING PAN-HE GWARE MUST COOKERNET HE BOTTOM OF TOOTHOE EXPANDIA AND THE COCKNING OF TOOTHOE SEED WITH

CONTRACTOR IS TO VERY ALL COLUMN LOCATIONS WITH ARCHITECTURAL DRAW CONTRACTOR IS TO VERY LOCATIONS AND BURS OF ALL EXTERDS DOODS WITH ARCHITECTURAL DRAWNESS ALL IDMERSIONS RATE TO BE VERYIDED WITH ARCHITECTURAL DRAWINGS. TYPICAL MASONRY AND CONCRETE DETAILS ARE APPLICABLE WHERE

# **Foundation Specifications**

QUALTY ASSURANCE

ACI 3 8 Bullany, Case Reg. rement to Renforces Contrate

Concrete Reinforcing Steel Bratture, CRSI: Mai val of Standard Practice. 

Reinforting Bars, ASTM A 6-5. Grade 60 detarma

Welaco Wire faon ASTN A 85 welaco prel wire faon

CONCRETE MATERIALS

Parla a Cemen: AS"M C 50 "you

Hy Ash AC'M C & B yor C or 'yor ! Normal Weight Aggregates: ASTALC 33, and as heren specified. Provide aggregates from a single source for esposed concrete.

For emerical exposed surfaces, ac not use time or coarse aggregates containing, spalling-couring deleterous subspaces.

Artiferrating nameure: ASTMIC 260 centies by manufacturer to be comparate with other required admixtures.

RELATED MATERIALS Waterstops: Provide flat dumbball type or center all to type waterstops of construction joints and other waterstops at construction joints and other waterstops at construction joints and other waterstops at construction

Rubber Waterstops Corps of Engineers CRD-C 512

Polyand Chloride Waterstoos, Comp. of Engineers CRD-C 572

Granula: Base. Evenly graded muture of the and coorde aggregates to provide, when compacted in smooth and even surface below slads on grade.

Non-Shank Groun CRD-C 62 factory pre-mated group

Absorptive Cover Burlop cloth made from jute or kerof weighing approximately 901 per source yard complying with ADHTO M 182. Class 2.

Palverhylene film

Palverhylene-coated burlop Compound Polymoul acetare or panil a base

PROPORTIONING AND DESIGN OF MDGS Prepare design mixes for each type and strength of concrete by either laboratory that botch or the experience methods as specified in ACI 30". If that botch method used, use an independent rest

Design mues to provide normal weight concrete with the following properties, as indicated an drawings and schedules 4000ps, 28-day compressive strength W/C ratio, 0.44 maximum (non airventrained), 0.35 maximum (non-extrained)

3000ps 28-da, compressive strength W/C rosa, 0.58 maximum (non-arrented red), 0.46 maximum (non-arrented)

 $2500 ps. 28 \text{-day compressive strength W/C ratio, 0.6.} \ \ \, \text{maximum [non-directioned]}, 0.54 \, \text{maximum [assential held]}$ 

Use water-reducing admixture or high range water-reducing admixture (super plasticizer) in concrete as required for placement and workability.

Sturra simils. Proponion and design make to result in concrete sturra at point of placement as follows: Reinforced foundation system. Not less than 1 and not more than 3"

Design letter, support, brows and monitron formwork to support ventous and falsest, state, and dynam floods that might be applied until such loads on the supported by concrete structure. Construct formwork concrete were

ons for Other Trades. Provide openings in concrete formwork to accommodate work of other trades nine size and location of openings, recesses and chases from trades providing such items. According and society support terms but in forms.

VAPOR RETARDER INSTALLATION

Following leveling and tomping of granular base for slabs on grade, place vapor retarding sheeting with langest dimension parallel with direction of pour After placement of mosture barrier, cover with granular material and compact to depth shown on a drawings.

Clean reinforcements of loose rust and mill scale earth, ice, and other morenals which reduce or destroy band with concrete

Correct of Correct, and in Meson-Ground Control to interior and in Meson-ground to form opening from one of the source of the so

CONCRETE PLACEMEN

Presidence in Historian Before along concrete inspection complete formwork introduction reinforcing read, one remainible mode on section. Notify principation be monitorable on a fine recova-concernation of the mode of sering such work. Modern wood forms immediately before along concrete immediately one of other control sections.

Placing Concrete Slaps. Deposit and construct concrete slabs in a continuous operat construction joints, until the placing of a panel or section is completed.

Consolidate concrete during aloung operations so that concrete is moroughly worked around reinforcement and other embedded forms and into corners.

When or temperature has letten to or a expected to fed below 4C dag f (4 dag C), uniformly heat water and aggregates below mixing to obtain a concerte mature temperature of not less man 50 dag f (10 dag C), and not make the 80 dag f (27 dag C) or pour of placement.

Do not use frazer materials at materials containing ice at show. Do not place concrete on frazer subgrade or an subgrade containing frazer materials.

ttol Wearher Placing. When ha' weather conditions exist that would seriously impoir quality and strength of concrete, place concrete in compliance with ACI 305 and as herein specified.

CONCRETE CURING AND PROTECTION General Protect freshly placed concrete from pre-mature drying and excessive cold or hat temperatures

Start introl outing as soon as free water has disappeared from concrete surface after placing and finishing. Weather permitting, keep continuously most for not less than four [4] days.

Curing Methods. Perform curing of concrete by curing and sealing compound, by moist curing, by moisture-teroring cover curing, and by combinations thereof as herein specified.

Continuous water-fog spray

For esposed-to-wew surfaces, blend white Ponland cement and standard Ponland cements so that, what dry, portioning mones will metall color surrounding. Previde test oness at inconspicious location to verify make and color match before proceeding with postlying. Compact mones in place and arise off slight higher from your unday surface.

**General Nailing Schedule** 

A	LE NO / CONNECTION	NALING	NOT:
7	BLOCKING BETWEEN CELLING JOIST OR RAFTERS TO TOP PLATE	3-8¢ *0! NAL	
	CELENG JOBTS TO TOP LATE	3-6d P!R JOIS" "O! "4AI:	
	CEILING JOISTS, LAPS OVER PARTITIONS	3. 6. FACE NAL	
	CELING IOS'S ATTACHED TO PARALLE, RATTERS HELLION?	SEE IRC TABLE RB02 5 IF	
	CO., AR THE TO RAFTER	3- Do PACE NAL FA RAFTER	
	RATTER OR ROOF TRUSS TO 1. ATE	3- Oa	2
	SITE SHE SO YILLAN TOCK O' BITEM TOOR	3- 0s 101 (A). 2-166 (NO NA).	
7	STUD TO STUD "IC" AT BRACED WALL PANELS	"66 6) 24"0 C FACE "4AL	
	STUD OF UD ABUTTING STUDS AT INTERSECTING WA.	to & 6'oc FACI NAL	
	BULT-UP HEADER IZ TO 2" HEADER W 7" \$74CER	60 G 6'0 EACH EDG. FACE FAL	
	CONFENUOUS HEADER TO STUD	80 - "Of "«Al.	
7	107 PLATE TO TOP LATE	60 6 601 FAC! NAL	
3	DOUBLE TOP PLATE SPLICE	8 - 60 FACE NAL	3
	BOTTOM PUTT TO JOST RIMJOIST BANL JOIST OR B OCKING PIOT AT BRACED WALL PAYIELT	de il sor lact hal.	
	BOTTOM PLATE TO JOBT RIM JOBT BAND JOBT OR E DORNG (AT BRACED WALL PANELS)	2- 60 - 2 !ACH 3' 6'0 C !AC. NAI.	
,	10° 0° 1° 40° 00° 10° 00° 00° 00° 00° 00° 00° 00° 0	4-8: TOE NAL. 2-16: E10 14AL	
-	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2+ 6c FACE NAL	
1	"BRACE TO EACH STUD AND PLATE	2-86 FAC! NAI.	
	" x 6 SHEATHING TO EACH BEARING	7-Sd FACE NAL	
	DARKER TO ALL OF DARM'A SHESTEDW CAR '8 1 '	3-8: FAC! NAL	
	JOIS" TO SIL. TOP PLATE OR GROER	3-8d *O! NAJ.	
	RIM JOIS" BAND JOIS" OR BLOCKING TO SILL OR TOP PLATE	80 g7 6 C C 105 IAN	
1	" # 6" SUB" LOOR OR LESS TO EACH JOIS"	2-80 FACE NAI:	
	2 SUBTIODR TO JOB' OR GROSS	2- 00 BUILD & FACT NAV.	
	2 PLANKS PLANK & BLAW - FLOOR & ROOF	7-16c AT EACH BEARING FACE INAL	
	BAND OR RIM JOIS" "O JOIS"	3- 60 END NAL.	
-	BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20e	4
	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3- 50 FACE NAI.	
	BRIDGING TO JOB"	2-10d IA EN: "O! NA.	
	WOOD STRUCTURAL PAVELS, PLYWOOD AND PARTICLESOARD 1/8 - 1/2 SUBLOOR AND WAL. 1/8 - 1/2 SOBLOOR AND WAL. 1/8 - 1/2 SOBLOOR AND WAL. 1/8 - 1/2 SOBLOOR AND WAL.	6d 8c 8a 3c	5
3	STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 172* 578	ROOFING NAL	٥

	ROOMS OTHER THAN SLEEPING ROOMS	#0.PSF		
LIVE LOADS	SLEEPING ROOMS	30 PSF		
	STAIRS	40 PSF		
R30' 5	BALCONES AND DECKS	40 PS1		
	UNINHABITED ATTIC SPACE	30 PSF		
	GROUND SNOW LOAD	PG = 50 PSF		
	FLAT ROOF SNOW LOAD	PF = 50 PSF		
\$140W LOAD R301 2151	SNOW EXPOSURE FACTOR	Cf = 0		
100 2,01	SHOW IMPORTANCE FACTOR	t5 = 1.0		
	THERMAL FACTOR	CT = 0		
	BASIC WIND SPEED	V = 115 MPH		
	WIND IMPORTANCE FACTOR	(w = 10		
WIND DESIGN	OCCUPANCY CATEGORY	1		
R301 2	EXPOSURE CATEGORY	3		
	INTERNAL PRESSURE COEFFICIENT	GCPI = 0 18		
	COMPONENT AND CLADDING DESIGN PRESSURE	12 22 PSF ( 14 86 END ZONES)		
	SEISMIC IMPORTANCE FACTOR	IE = '.0		
	OCCUPANCY CATEGORY			
	SITE CLASS	D		
	SEISMIC DESIGN CATEGORY	В		
EISMIC DESIGN R301 2 2 2 1 3 1	BASIC SEISMIC FORCE RESISTING SYSTEM	BEARING WALL SYSTEMS UGHT FRAMED WALLS WITH WOOD STRUCTURAL PANELS RATED FOR		
	SHEAR RESISTANCE	C5 = 0 116		
	DESIGN BASE SHEAR	V = 5 65 (E/W)		
	(WIND AND SEISMIC GOVERNED)	V = 7 875 (N/S)		
	ANALYSIS PROCEDURE	EGUNALENT		
	LATERAL FORCE PROCEDURE	PER ASCE 7 SEC 12 8		

# **Site Location**

0



NY NY

X

0

NEW CONSTRUCTION

DEMOUTION OR REMOVALS

EXISTING CONSTRUCTION

- Nerve S ELEVATION MARK

Propri Information, Notes, Leginas & Specification Fluid British & Notes Fluid British & Notes Routh Fluid British Shouldes & Notes Routh Fluid British & Specification Routh Fluid British & Specification Routh Fluid British British British British & Notes British British British British & Notes Steep Routh & Routh &

DRAWING NOTE

DOOR TAG

DEMOLITION NOTE

**Architectural Symbols** 

CONCRETE

51014

5"11

PISULATION (SPRAY I CAN

COMPACIED II 

CRIB STALLER

PAS J.A\*10N |8A\*\*

MONRY CM

MASONRY - BUCK

11.1 (SECTION

**Drawings Legend** 

self NAMER D2 A.7

SHET NIMER

WHENCH AND

414×124 -

150 SF

**Drawing List** 

0

DE'A NUMBER -

VB1 200M

wood (continuous

WOOS (DISCONTINUOUS)

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8721 Patio



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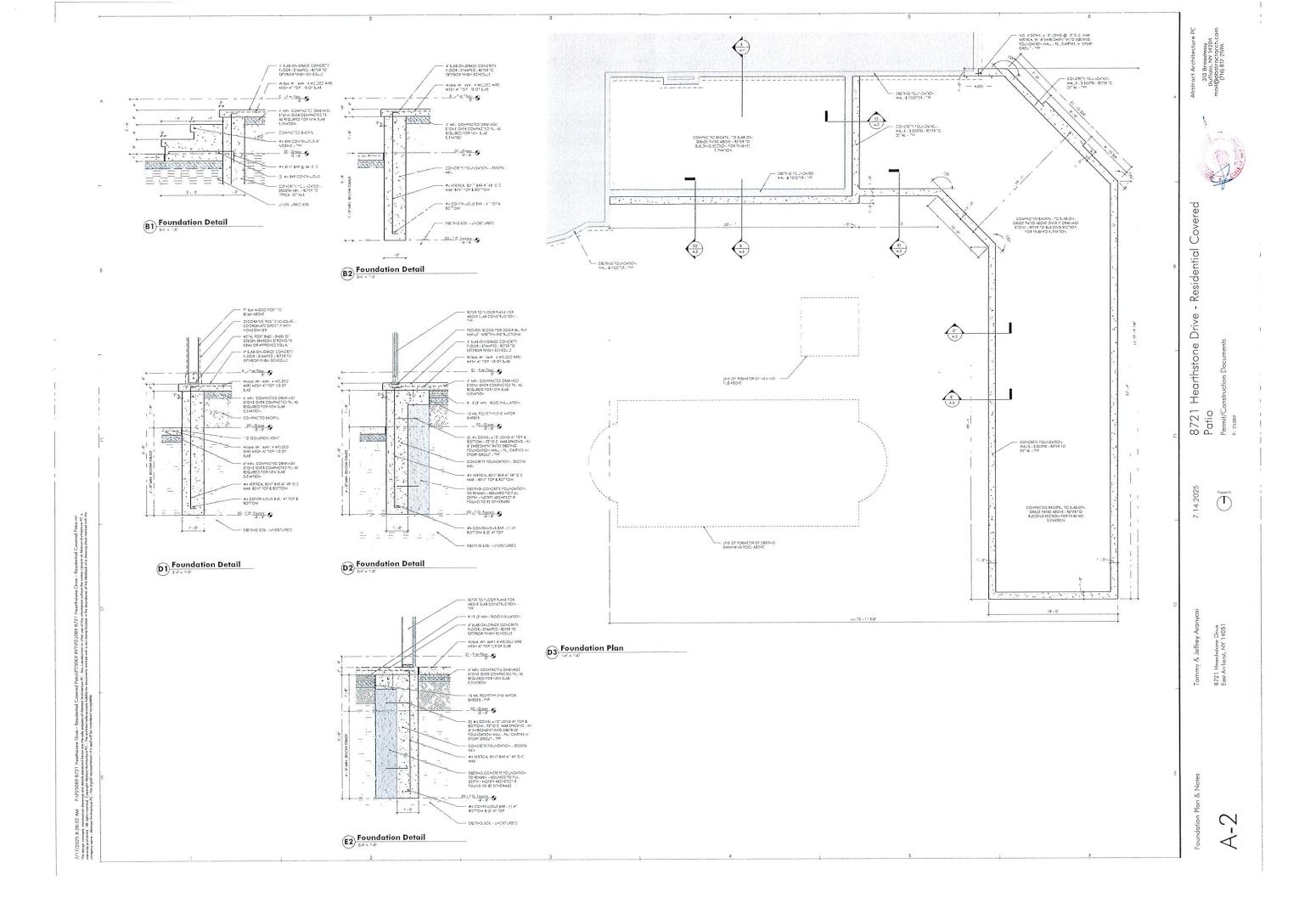
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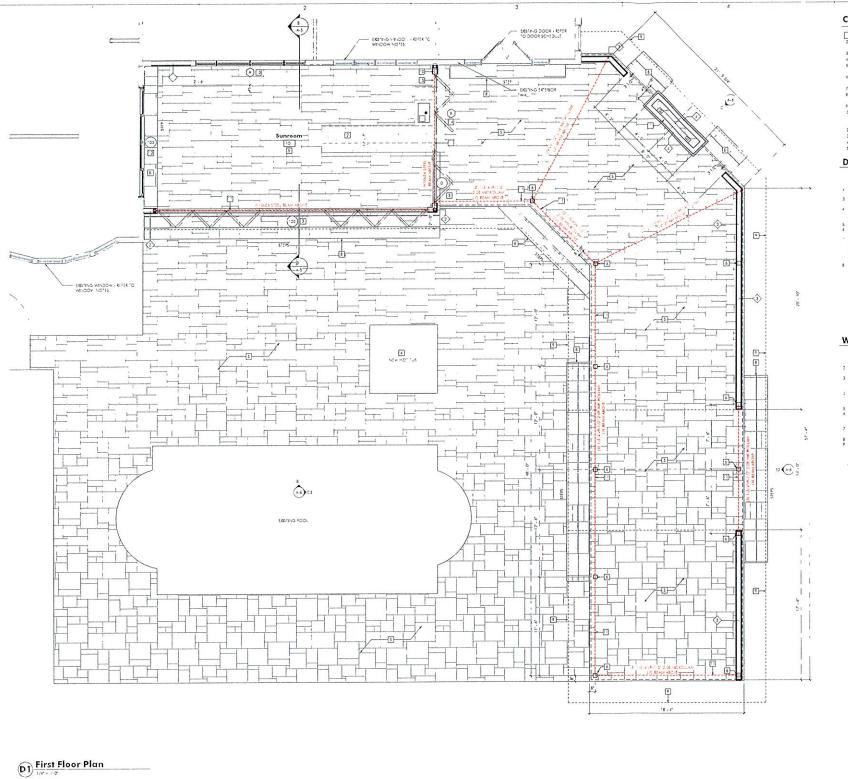
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# Structural Design Criteria

UREMENTS P	ER 2020 RCNYS		
	ROOMS OTHER THAN SLEEPING ROOMS	40 PSF	
NE (OAD)	SLEEPING ROOMS	30 PSF	
	STAIRS	40 PSF	
	BALCONIES AND DECKS	40 PS1	
NE (OAD) RIO' S	UNINHABITED ATTIC SPACE	30 PSF	
	GROUND SNOW LOAD	PG = 50 PSF	Ī
R301 2(5)	FLAT ROOF SNOW LOAD	PF = 50 PSF	
	SNOW EXPOSURE FACTOR	Cf = 0	
	SNOW IMPORTANCE FACTOR	15 = 1.0	
	THERMAL PACTOR	CT = .0	
	BASIC WIND SPEED	V = 115 MPH	
	WIND IMPORTANCE FACTOR	fw = 1 0	
	OCCUPANCY CATEGORY	1	
	EXPOSURE CATEGORY	В	
	INTERNAL PRESSURE COEFFICIENT	GCPI = 0 18	
	COMPONENT AND CLADDING DESIGN PRESSURE	12 22 PSF ( 14 86 END ZONES)	
	SEISMIC IMPORTANCE FACTOR	If = '.0	
	OCCUPANCY CATEGORY		
	SITE CLASS	D	
	SEISMIC DESIGN CATEGORY	В	Ī
	BASIC SEISMIC FORCE RESISTING SYSTEM	BEARING WALL SYSTEMS LIGHT FRAMED WALLS WITH WOOD STRUCTURAL PANELS RATED FOR	
	SHEAR RESISTANCE	CS = 0 116	
1	DESIGN BASE SHEAR	V = 5.65 (E/W)	





# **Construction Notes**

- THE TOTAL WASHING FOR USE REFER TO MEP PLAN & PLUMBERG FROTES

  7. NEW COUNTEROP & COSEWORK PROVIDE SOUD PHANAL BLOCKING REFER TO INTERIOR ELEVATIONS WHERE REPORTED

  - ELEWINDLA WHEEL PROMOTO

    1 HAN DOOL WITH IN WOOD PAWLE WALL, AFFER TO DOOR SCHEDULE
    1 HAN HOT THE BY OTHER LEVELY ON MY COORDINATION PAIN.

    5 WISHHOOL CONCRETE PAIN LIVING AS WITH AN EMBOLD WIRE MISH AT TOP JOIN SAN
    ON A DOMINANT STORY.

    NET HAVE TO WOOD POST THIS DECORATION ENCLOSING TO BE COORDINATED DIRECTLY WITHOUS CONCRETED.
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# Door Schedule & Notes

- DOOR SCREENIE & NOTES

  MIS OF DISSIDER CHEEKERS DOOS TO BE FAIR ARGULATE CORE REPORTED DOOR THE PRIEF SCHOOL TALL OUTSIDE FOR THE PRIEF CO. OR THE PRIEF SCHOOL TALL OUTSIDE FOR THE PRIEF CO. OR THE PRIEF SCHOOL TALL OUTSIDE FOR THE PRIEF CHEEKERS OUTSIDE FOR THE PRIEF CHEEKERS OUTSIDE FOR THE PRIEF SCHOOL THE PRIEF CHEEKERS OUTSIDE FOR THE PRIEF SCHOOL THE PRIE
- B NO HARD WAR! WIL BE ORDERED UNITE FINAL APPROVAL FROM OVINIFR IS PROVIDED BASIS OF

DOGR	TYPE	SIZE (Wart)	'.0'!5
(10.)	EXTERIOR 2 PAVE. FOIDING GLASS DOOR	725108	
07	EXTERIOR 2 PANEL FOLDING GLASS DOOR	384'1'08'	
(0)	EXTERIOR 4 PANEL SUDING	281498	

## Window Schedule & Notes

- WINDOW Schedule & Notes

  The JIPPA, O HADON SH, II PROMISE WHODO SHIPS \$460.05 FLA

  BITTH STRESS WHODOW ATRACTICS OF A MEDICE BY MORE SHIPS

  III THE STRESS WHODOW A TRACTICS OF A MEDICE BY MORE SHIPS

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  SHOOD STRESS WHODOW MANATO SHIPS DIA, PARK, MALANDER SHIPS

  SHIPS OF A MEDICE WHO A TRACTICS DIA, PARK, MALANDER SHIPS

  O WARD SH

WINDOW	TYPE	SIZE MATE	NOTES
<b>(</b>	CASEMENT DOUBLE FIXED CASEMENT	136'484	
(3)	3 PANEL FOLDING WINDOW	108'x"2"	

# **General Construction Notes**

- A WORKSHA, MET THE BOURMHETS OF THE 2010 BIDDLITE, CODE OF LAW YORK STATE, EXCUSION AS RETERENCE DOCUMENT, THE 2010 BIDDLITE CONSERVATION CODE OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010 BIDDLINE ADDRESS OF THE 2010 BIDDLINE OF THE 2010
- 8 SCOPE OF WORK IS ADDITION OF AN EXCESSION COVERED PATIO AND SUFFROM SCOPE OF WORK INCLUDES FIRST FLOOR ADDITION IS 73F AND COVERED PATIO ADDITION \$455\*
- OTHER CONTRODER REPONDED FOR COORDINATION OF THE MICHAELA ELST REAL MORE, MARCHAELA STORE AND PRIME OF STORE STORE THE FORDIOUS, TRADE REPORT AND ELSEWHERE SECTION AND ELSEWHERE SECTION AND ELSEWHERE COORDINATES. A REPORT THE MICHAELA STORE AND ELSEWHERE SECTION AND ELSEWHERE AND PRIME AND ELSEWHERE STOP THE BEDTHIC COORDINATES. AND PRIME FOR THE PRIME TO THE BEDTHIC COORDINATES.
- NUMBER 22

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  HEROWAL, O'THE MORRHOLDES ON THE DAMPORS WHERE BOURTS."

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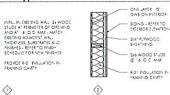
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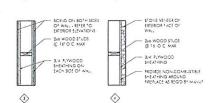
  CONTRACTORS. THE AND MATTERS ARE NOT SUPERIOR THE PROPERTY AND

  AND THE WE
- 43 MOKESH, AJON MET AND MATCH BBYEG CONSTRUCTION ADACTY. BEEP wird or retend to his half and a fine and a fine
- THE CONTRACTOR SHAL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AN MATERIAS WITHIN THE PROPOSED CONSTRUCTION AREA THE CONTRACTOR SHALL DEBION AND RESTAL ADEQUATE SHORTHS AND BRACENS FOR STRUCTURAL OR REMOVA TAKES
- PART ALL AREAS OF CONSTRUCTION ALL COLORS OF EXPOSED FRASH MATERIALS ARE BE APPOINTED BY THE ACCUPIECT AND OWNER PROJECT OF CRESTING MATERIALS. ALL MALL WORK ALL ORD SET, WITH STATE, ALL SCREED TO FET HAVE AND ADMICTIC SURFACES ALL DETAILS SECTIONS AND FRANCE AND PRODUCT FOR SHAPPOOR NOTEOD THE DEWARDS SHAP, AND YEAR OF THE STROKE RECORDS WITH SETS OF SHAPPOOR THE STATE OF THE STROKE AND THE STATE OF THE
- OWNER IS RESPONSIBLE FOR ANY ZONING ISSUES

# Wall Types

0





BASIS OF DESIGN FOR - PROVIDE THE FOLLOWING OR APPROVED EQUAL

ABOVE GRADE IN-WALL INSULATION CLOSED CELL SPRAY FOAM - & WALLE PER NOTE ON INDIVIDUAL WALL TYPE BATT INJURATION - OWENS CONNING PINK NEXT GEN TIBERGIAS FISK BATT FACED IN WALL CANTIES & UNFACED IN ATTICS.

EXTERIOR SHEATHING/WEATHER BARRIER
ALL SEAM, EDGES, OPENINGS & PENETRATIONS SEALED WITH ZIP SYSTEMS
FLASHING TAPF FIR MAINLY ACTURERS SPECIFICATIONS AND DETAILS

BELOW GRADE INSULATION OWENS CORVENS FORMULAR 250 EXTRUDED POLYSTYRENE \$25] RIGID FOAM INSULATION - 3" R-15; NEGATNE SIDE FOUNDATION WATERFROOFING UGEDRYLOK EXTREME BASEMEN" & MASONRY WATERFROOFER

# **General Finish Notes**

- A ALL FINAL FINISH SELECTIONS SHALL BE COORDINATED WITH THE WISHES OF THE OWNER 8 PANHED WOOD TRIM TO BE POPURE - ETIMER PURCHASED PRE-PRIMED OR PRIMED BEFORE PRE-PRIMED OR PRIMED BEFORE PRE-PRIMED NEED TO BE A SPECIES TO MATCH EXISTING ALL MANUFACTURERS PRE-PLATION GUIDELINES WILL BE POLICIVED FOR ALL PRISH MATERIALS.
- C PROVIDE SCHLUTER KERDI WATER-FROOFING MEMBRANE SYSTEM BEHIND/BELOW ALL THE FLOOR AND BASE FINASHES AND 6" UP WALL AT WALL THE
- D IF ENSTING EXTERIOR SIDING CAN NOT BE REUSED MATCH ENSTING IN TYPE & FINISH AT INVEL & AS REQUIRED FOR PATCH & REPAIR
- E WHERE REQUIRED SHOWER ENCLOSURE GLAZING IS TO MEET ALL REQUIREMENTS OF RONYS SECTION RUGB 4 FOR HAZARDOUS LOCATIONS.

8721 East A

313 Broadway Buffalo, NY 14204 (@obstractarch.cr (716) 812 2596

Residential

Drive

Hearthstone

8721 Patio Permit/Col

3  $\triangleleft$ 

Coordination if it carboning work to other work scribe and cape as required for occurate fir Correlat location of furning incident, blocking grounds and similar supports to allow attachment of other work.

PRODUCTS

Johnson Standards Manufacture Lumper to comply with PS 20 "American Softward Lumper Standard

are with coolicable groung rules of inspection agencies certified by American Lumber Standards

Committees 14,500 Board of Review

Grade Stamps: Factory-mark eain alecte of lumber with grade stamp of inspection agency expending combinence with grading rula requirements and dentitying grading agency, grade species indisture combination and studies grad mill.

Nominal sizes are marcated, except as show, by data lidimensions. Provide actual sizes as required by PS 20. for importure content specified for each use.

DMINSION, was let for light procedure for the house for the home of the common of the

For structural training [2] to 4 thick 5 and water, arough the tollowing grade and species. Any species are grade which metr's or escept the following values. The intering metric floor stress is pear og? 2 250 as: 1 this material results of elaboraty 2 350,000 as:

CONTRUCTION PANELS
Constructor Panel Services Concil, with 75 - 105 Product Services for Constructor and Industrial
Playmood for playmood and size in for product, not manufactures under 75 1 promoters, with American
Playmood support (APA 17ericanisms Services) and Polices for Structuralities Panels, from this
Easts.

Trade-nore: Factors-more each construction panel with  ${\rm A}^2{\rm A}$  trade-nore evidencing compliance with grade requirements

Combination Subfoor-underlayment: APA RATED \$1004-FIGOR Endower Durability Classification: EXTEROR Spain Rating: As required to set jour spacing indicated Edge Dated: Tongue and grower.

Wall Sheathing APA RATED SHEATHEND Exposure Durability Classification EXTERIOR Sport Rating As required to surfitude spacing

MICCL will-Club MiTHAS
Fasters and Anchorges Two de size, type material and finish as incorted and as encommended to assistable transfers complying with applicable Fester's Secretary for no.6. 1998s, server, both note, washed and anchoring content. Provide metal honges and training anomal of the size and fine temperated by the medical recognition of the size and fine temperated by the medical recognition of the size and fine temperated as the size.

Sit Sealer Gaskers. Class fiber resident insulation fabricated in stro form for use as a sit sealer it is normal shickness compressible to 1/32" it selected from manufacturers standard widths to sur width of sit members indicated it in rolls of 50 or 100 in length.

WOOD TRAINENT BY PRESSURE PROCESS
Presentine Treamen Where himse or physical a indicated at 17.1 or Thicke, or a specified neers. To be hereful, comply in the packode requirements of AWPA Standards CZ gumber; and CP (Physical, and of AWPB Standards large before Many each record from with the AWPB Quality Man Requirements.

Requirement above ground enter with representation assentatives to complicate, which \$1.70, After interestive, I which years are of phose for a meaning money to content inspection, and it is a state of the following. What cases, which is under a state of the following. What cases, which is supported propositions, blocking, propaging and symfartherists or contection with moders, datump, support beams and westerposing.

What cases, which is believely through propaging are similar contected membra in control with mission worst.

or concrete. Wood framing members less than B' above grade Wood floor plates installed over concrete slabs directly in contact with earth

Pressure-freat the following with water-borne preservatives for ground contact use complying with AWP3 (2-22 Wood members in contact with ground

WOOD FRANTING GENERA.
Provide froming members of sizes and an spacings shown, and frame assumings as shown, or if not shown, comply with recommendations of "Manual for House framing" of National Forest Products Associated NEPAL Do not splice structural members between supports.

Frestop concepted spaces of mood framed walls and partitions at each floor level and of the ceiling finding on your Where frestors are not outward cody, provided by the fitting system used, use distribution about 30 close of month 20 this further of the same with as farming members, or other non-combustable monther discrepable for the system with saming members, or other non-combustable monther discrepable for the system that purpose does

SIGN FAMILYO.

Overell from the shud froming of see and spooning indicated or, find otherwise indicated, of the following parties and spooning from the following sees and spooning from the spooning of the s

Provide continuous horizontal blocking row at mid-height of single-story partners, over 8' high and at midpoint of multi-story partners, using 2' thick members of same width as wall at partners.

Frame openings with multiple studs and headers. Provide noted header members of thickness equal to width of studs. Set headers on edge and support on jornib studs.

For non-bearing portitions, provide double-jornb studs for openings 6 and less in width, and trafe-jornb studs for wider openings. Provide headers of depth shown, or short shown, provide as recommended by tat? A Manual for those Forming 1.

FLOOR POIST / CEILING POIST FRAMENG SIZE FER DRAWINGS SPECIES Doug Fir, Ham Fir, Southern Pine, SPE GRADE: Number 2 or Better

INSTALLATION OF CONSTRUCTION PAYELS
General Comply with applicable recommendations compared in Form No. E30F, 14PA Design. Construction
Gude - Real cental and Commence of 1 for your of playood products and applications and casted.

Fastering Methods: Fasteri panels as indicated below. Combination SubScoring-UnderSyment of Studend to forming Steething Olderhold to farming UnderSyment. Net or stople to sub-Scoring CTB and said edge joints of inde

Countersink not heads an exposed corpentry work and fill holes

Submit certificate, signed by an officer of fabricating firm, indicating that trusses to be supplied for project comply with indicated requirements.

Shop druwings. Submit shop drowings showing species, sides and stress proofs of lumber to be used a pick. soon, comber configuration and specing for each type of mus requireds type, size increased, finish design relies, location of metal connector splars, a not begang and enchanged states.

andards. Comply with applicable requirements and recommendations of the following "russ Plate Institute

Wood Structural Design Standard. Comply with dopt cable requirements of "National Design Specification for Wood Construction" published by NFPA.

Design by Manufacturer Trisses shall be designed by Connection plate monufacturer to support all supermosted dead and live Boots indicated, with design patroned and centified by a trissfund engineer. Because to protect either better with ensists will be introlled. The control in the visit of the mere in the supermost of the mere than the protection of the control in the control

DELIVERY \$100AGE, AV.D HAV.DUBIG for more dear tracks with considering and the tracks with core and in accordance with more between instructions and 19 recommendation to anoid damage from banding oversiting or print course for with those is not observed. The state of consideration of the consideration

Time delivery and erection of invisses to avoid extended on-sine storage and to avoid delaying work at other trades whate work must follow erection of trusses

METAL CONNECTOR PLATES, FASTENERS AND ANCHORAGES. Connector Plates: Fabricator connector plates from metal complying with the following requirements.

Contention makes assertion contention that makes are metal contently given as counting reconstructing makes. A set 4.5 Gives A.z. zin contently brind a process to control, you had 5.0 Beilgrotion G002 minimum coords metal microses for reful in am 6.0 Beilgrotion G002 minimum coords metal microses and reful in am 6.0 Beilgrotion G002 minimum coords metal microses and control for in amount of the minimum coords metal minimum coords metal minimum days and so that the coordinate of the first coordinate of the minimum coords metal minimum coordinates and coordinates of a reful minimum coordinates and coordinates and control in coordinates and coordinate

SECUTION.
General Exect and prace trusses to comply with recommendations of manufacturer and the Truss Place Improve
Improve.

Erect trusses with alone of truss webs vernical (plumb) and parallel to each other, located accurately at design spacings indicated

most units in place by means of kining equipment suited to saes and types of trusses required, popiled or designated kin points as recommended by fabricatar, esercs ingicare not to domage truss members of its in a si out-of-later bearing or other courses.

Anchor trusses securely at all bearing points to comply with methods and details recommended as the

Install permanent brooms and related components to enable trustes to moniton design spooms, with stand live and dead loads including lateral loads, and to comply with other and cated redurements.

# Framing Notes

AL GAYGAM IV, LUMBER ARE PRODUCTS OF LOUBSMAN, PACHIC PRODUCTS OF O"HER MANUACTURES WETTOO THEIS MANUACTURES ARE ACCEPTANT.

WEDUCTION IN 1000 SHALL BE LOUND FOR ROOM THEM.

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# Header Schedule

GENERAL NOTE. HEADER REQUIREMENTS PER 2020 RCNYS TABLE 602.7(1) & TABLE 602.7(2)

HEADERS	WALL TYPE!	MAX. S	PAN PER BUIL	DING WIDTH	HEADER	NO OF
SUPPORTING	THICKNESS	20	28	36	SIZE	JACK STUDS
ROOF AND CEILING	EXTERIOR/ 3 1/2*	4'-8" 5'-11" 7'-3" 8'-5"	5-2° 6-3° 7-3°	3-8° 2-7° 5-7° 6-6°	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	1/2@36 2 2 2
	EXTERIOR/ 5 1/2"	7.5° 9.1° 10.7	6'-5' 7 - 10' 9 - 2'	5'-9" 7-0" 8-2"	(3) 2x8 (3; 2x10 (3; 2x12	1@20/2 2 2
ROOF, CEILING & ONE CENTER-	EXTERIOR/ 3 1/2	4'.1" 5'-2" 6'-4" 7'-4"	3'.7' 4'-6' 5'-6' 6'-5'	3.3° 6.1° 5.0° 5.9°	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	1@20 2 2 2 2/3@36
BEARING FLOOR	EXTERIOR/ 5 1/2"	6.5° 7-11° 9-2°	5-8° 6-11° 8-0°	5:.1* 6:3* 7:3*	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2 2
ROOF, CEILING & ONE CLEAR SPAN	EXTENOR/ 3 1/2'	3'-10" 4'-10" 5'-11" 6'-10"	3-4* 4-2* 5-1 5-11*	3.0° 3.9° 4.7° 5.4°	(2) 2x6 (2; 2x8 (2; 2x10 (2) 2x12	2 2 2 2@20/3
FLOOR	EXTERIOR/ 5 1/2"	6'-5' 7-11' 9'-2'	5'-8" 6'-11" 8'-0"	5-1° 6-3° 7-3°	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2 2
ROOF, CELING & TWO CENTER-	EXTERIOR/ 3 1/2"	3-8° 4-7° 5-8° 6-6°	3'-2' 4'-0' 4'-1'' 5'-9"	2-10° 3-8° 4-5° 5-2°	(2) 2×6 (2) 2×8 (2) 2×10 (2) 2×12	2 2 2/3(336 2(320: 3
BEARING FLOORS	EXTERIOR/ 5 1/2*	5'-9' 7.1' 8-2'	5.** 6-2* 7-2*	5.7 5.7 6.5	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2/3@36
ROOF, CEILING & TWO CLEAR-SPAN	STERIOR/	3-0° 3-10° 4-8° 5-5°	2.7° 3.4° 4.6° 4.8°	2-3° 2-11° 3-7° 4-2°	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	2 2/3@36 2@20 3 3
FLOORS -	EXTERIOR/ 5 1/2"	4.9° 5-10° 6-9°	5'-10' 5'-10'	3-8° 4-6° 5-3°	(3) 2x8 (3) 2x10 (3) 2-12	2/3@36 2/20/3
ONE FLOOR ONLY	#ITERIOR/ 3 1/2"	4" 6" 5 9" 7-0" 8-1"	5-0° 6'-1° 7-0°	3-6' 1-5' 5-5' 6-3'	(7) 2x6 (2) 2x3 (2) 2x10 (2) 2x12	1 1@20/2 2 2
	INTERIOR/ 5 1/2"	7 - 2* 8 - 9* 10' - 2*	6-3° 7-7° 8-10°	5'-7' 6'-9' 7-10'	(3) 2x8 (3) 2x10 (3) 2x12	1/2@36 1@20/2 2
TWO FLOORS	INTERIOR/ 3 1/2*	3-2" 4-11" 5-9"	3 -6" 4'-3" 5 -0"	2-5° 3-2° 3-10° 4-5°	(2) 216 (2) 218 (2) 2110 (2) 2112	2 2 2/3@36 2@20/3
	BITERIOR/ 5 1/2"	5-1° 6-2° 7-2°	£.5° 5-4° 6-3°	3.11' 4.10' 5'-7'	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2. 3@36

HOUSE

1. FOR CONDITIONS NOT SHOWN CONTACT ARCHITECT

2. NO TO BETTER GOOD LUMBER SHALL BE USED FOR SOUTHERN PINE, OTHER FABLANDER VIOLES SSOWER 20 GOODS LUMBER.

3. BUILDING WIDTH IS MEAURED FERRINGICULAR TO THE ROOF FOR WIDTHS BETWEEN THOSE SHOWN, SHAN ARE FERRINGETED OF BETWEEN THE PROPERTY OF THE

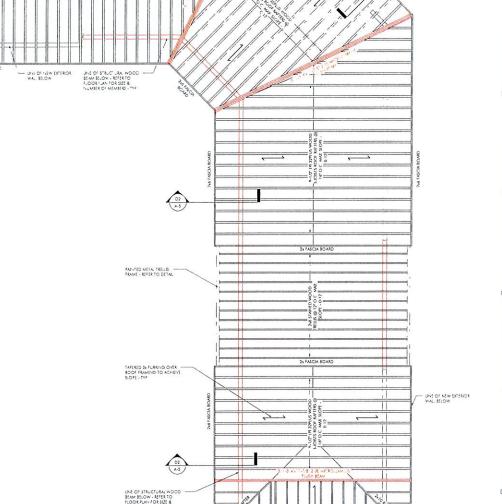
# Fireblocking Requirements

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)	
	16 O.C.	24 O C
s 3	1	1
£	2	1
8'	3	2
12	5	3
16'	6	4

THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NALED TO EACH END OF THE HEADER WITH 4-166 NAILS

# D2 Second Floor Framing Plan Header Support Schedule

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)	
	16 O.C.	2400
s 3	1	1
4	2	1
	3	2
12	5	3
16'	6	4



"APERED 24 FURRING OVER ROOF FRAMING "O ACHIEVE \$LOPE + "YP

# **General Framing Notes**

FILE OF STATE OF ACT

- A ALL WOOD FRANKS SHALL MEET ALL THE REQUIREMENTS OF CHAPTERS S. & 6 OF THE RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND ALL APPLICABLE GUIDES & STANDARDS INCLUDING MANUFACTURES WRITTEN INSTRUCTIONS ALL SAWN LUMBER PHALL BE IDENTIFIED BY A GRADE MARK OF AN ACCREDITED LUMBER GRADING OR INSPECTION BODY THAT COMPUSE WITH DOC 95 20
- B WOOD FRANKS SHALL BE OF A SIZE & SPICES CAPABLE OF ACCOMMODATING ALL LOADS IN ACCORDANCE WITH SECTION RIDE FROM SHOOD FRANSMITTING THE RESULTING LOADS TO THE SUPPORTING STRUCTURE FLEMENTS WHERE REQUIRED DUE TO PROMINE TO GROED OR EXPOSURE TO REMENTS DIMENSIONAL LUMBER SHALL BE RESERVATION TREATED AND SHALL BE IDENTIFIED ACCORDINGLY
- C ALL WOOD FAMING MANNESS SHALL METE OR EXCEED WINNING BEAUNG REQUIREMENTS OR BE SECURED WITH AN ACCEPTABLE JOB! HANDER OR META, STANNING DEPOCHAGE ON AN ELECTRON OR APPLICATION ALL FRANKED SHALL BE FAMILED BY A COCRAMIC WITH HAZE AGOS \$1" WHERE POSTED BE BASED OR ORDER CONSTRUCTION IS USED TO SUPPORT FLOOR FRANKED, FOSTING CONNECTIONS SHALL BE FROMDED TO SHALL BE
- WOOD FLOOR FRANCE SHALLSED DESCRIBE CONSTRUCTION A ACCORDANCE WITH HE PROVISIONS OF ECHOS WITH ALLOWASE JOBS SPACE IN ACCORDANCE WITH ACCORDANCE WITH HE PROVISION OF ECHOS WITH ALLOWASE JOBS SPACE IN ACCORDANCE WITH ACCORDANCE ACCORDANC
- EXTENSIVED FAMILY WALL SHALL SEE SUID AS A CONSTRUCTION ACCORDANCE WITH THE PROPRIOR OF THE ASSESSMENT ASSESSMENT AS A STATE OF THE RESIDENCE ASSESSMENT AS A STATE OF THE ASSESSMENT AS A STATE OF THE THE ASSESSMENT AS A STATE OF
- F BRACED WALL PANELS SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT SHALL NOT HAVE VERTICAL OR HORIZONTAL OFFSETS. BRACED WALL PANELS SHALL BE CONSTRUCTED & PLACED ALONG A BRACE WALL USE IN ACCORDANCE WITH SECTION 8802 TO 2.
- RODE FAMING TRUSSES & INDIVIDUAL RODE RATTERS SHAL, BE ATTACHED TO SUPPORTING WALL ASSEMBLES BY CONNECTIONS CARBLE DE RESIDENCE UNIT FORCES AS DETERMINED BY ACCEPTED ENGINEERING PRACTICE OR AS DETERMINED BY TABLE RIOZ 11. BASIS OF DESIGN IS SIMPSON STRONG-TIE IN 2 SA HURRICANE TIE OR EQUAL UNITESS OTHERWISE NOTED.
- I WHERE CONSTRUCTION INCLUDES THE USE OF TRUSSES, PRE-ENGINEERED WOODS, AND/OR TIMBER CONSTRUCTION, SUCH STRUCTURE SHALL BE DEFINITION BY A SIGN OR SYMBOL IN ACCORDANCE WIT CRAIN'S 128.5 AND PAGES ON OR IMMEDIATELY ADDICENT TO BE FROM ELECTRICAL BOX OR IN AN AREA APPROVED BY THE AUTHORITY HAVING JURISDICTION
- WHEE CONSTRUCTION INCLUDES EXFERGE WOOD FRAMED DECG, FROMDE A LATERAL HOLD DOWN IN ACCORDANCE WITH SCHYS 1807 PZ INSTRULA IN TOT ESS THEN (II) LOCATIONS FREDECK AND WITHIN JET OF EACH 5ND OF THE DECK HOLD DOWNS SHALL HAVE AN ALLOWING STRESS DESIGN CARACITY OF NOT LESS THAN 750:83 SAIS OF DESIGN SHYSION STRONG-TRE MODEL DITLY OR APPROVED FOUND.

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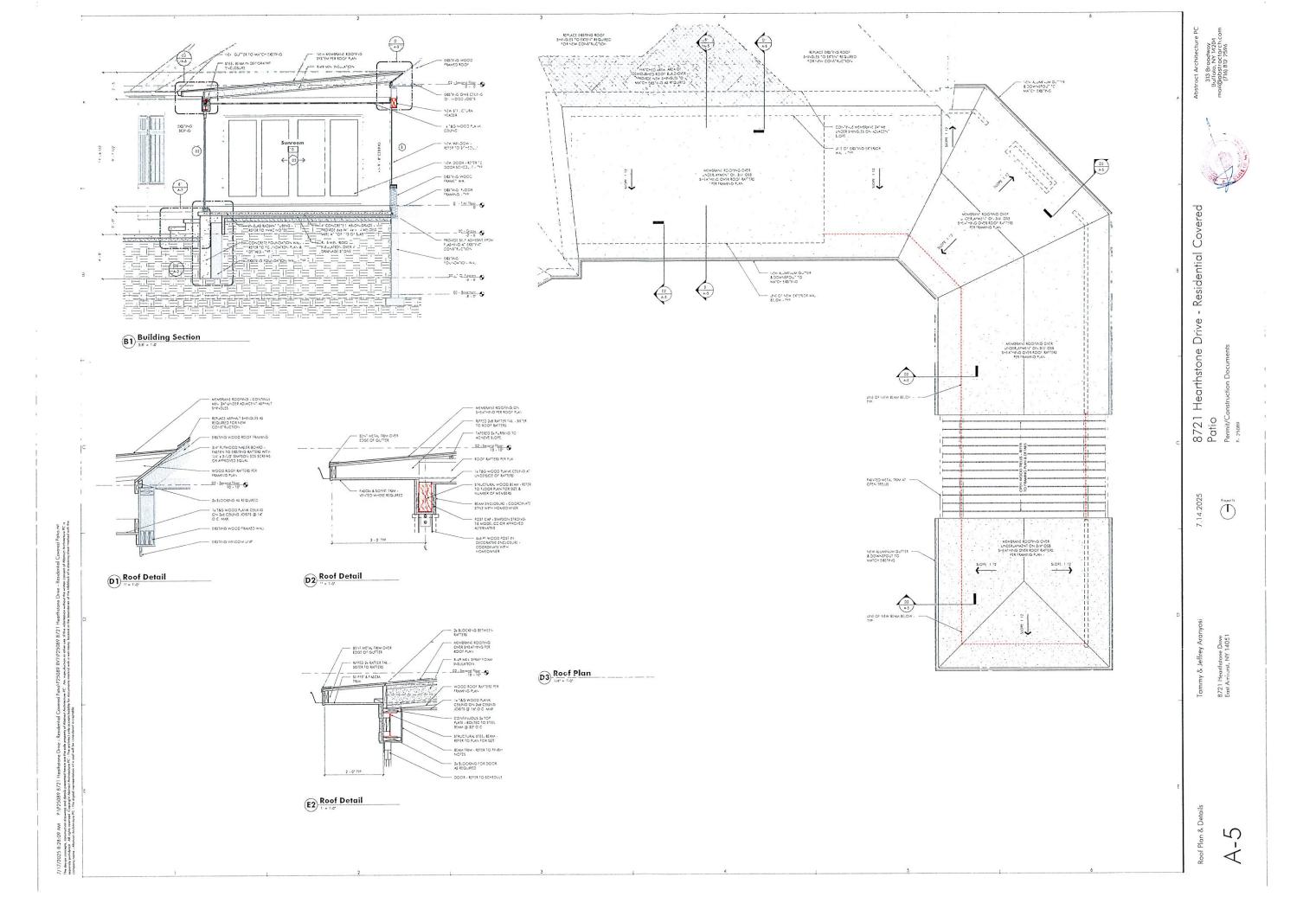
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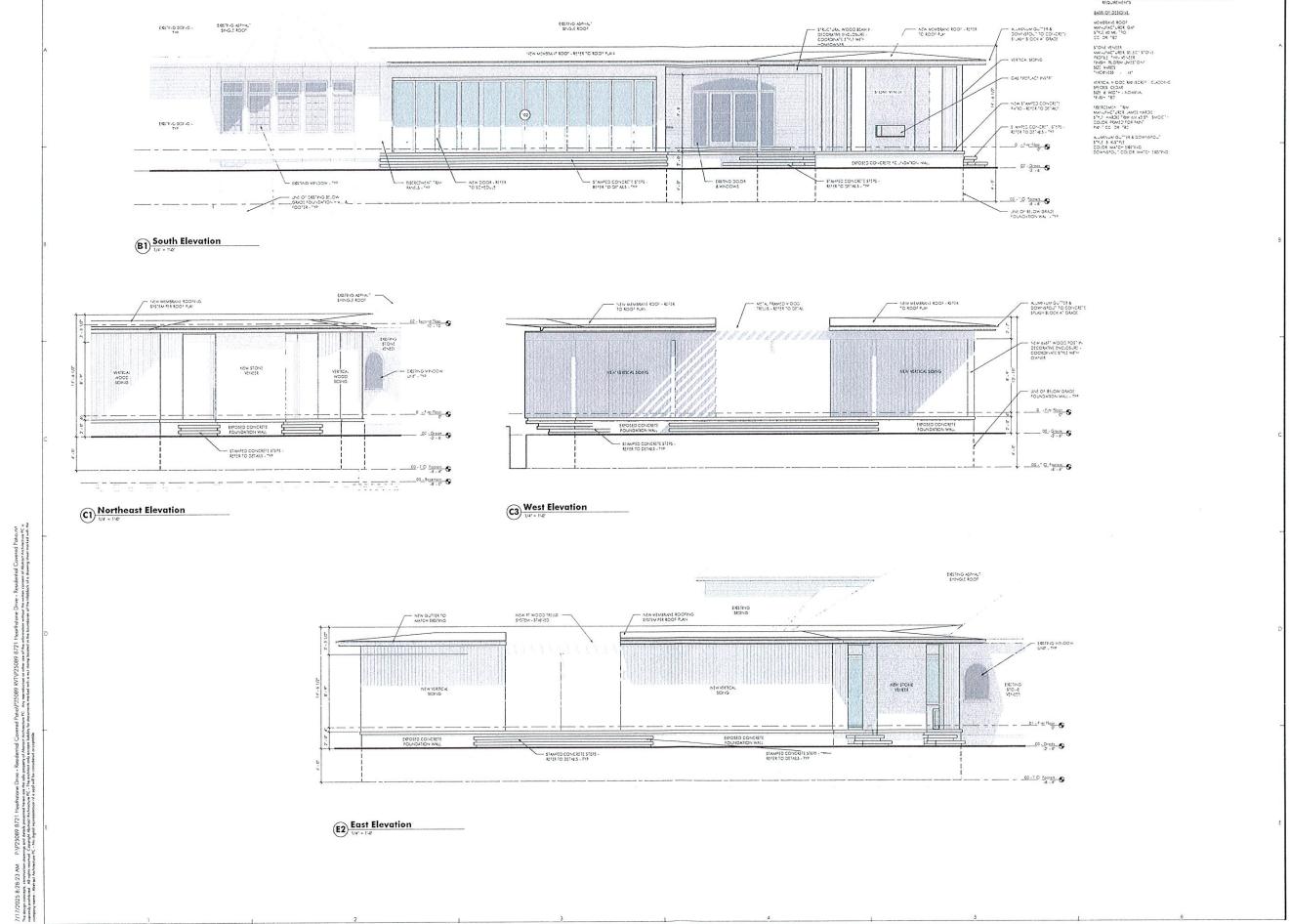
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8721 Patio





**Exterior Materials Schedule** 

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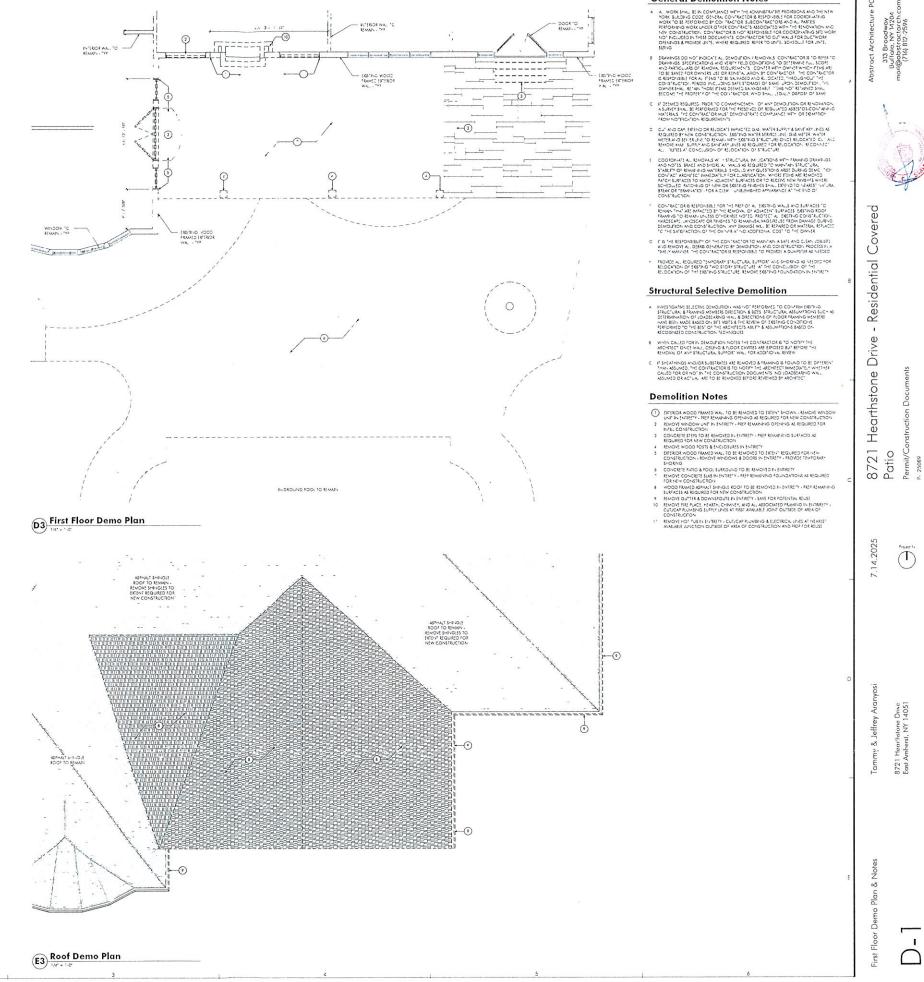
8721 Hearthstone Drive - Residential Covered Patio

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**General Demolition Notes** 

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(D1) First Floor Plan

# MEP Plan Legend

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- UC UNDER-COUNTER OC OVER-COUNTER WP WATERPROOF
- D JOHNS FRUIE REFEROUGH SCHOOLE ON BRANCH CROUTE WHER DIVENTHE CROOT HUMBER SHOWN, CROOT LAW WARE WITH THE SAME HUMBER RESTONED CROOKERS WITH A HOMERUN TO FACH HUMBER GROUP, CONNECTION FROM HER CROOT BEHAVE.
- SMOKE DETECTOR
- BOTH SMOKE DETECTOR AND CARBON MONORDE DETECTOR ARE TO BE HARDWIRED RECESSED BODY STYLE UNITS FASCIA TO BE APPROVED BY ARCHITECT PROPERTOR OF ORDERING
- O JHESHOZ. V.

# Light Schedule

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- DECORATIVE JIGHT FERTURE (D. 10 BE SELECTED BY OWNER FOR CONTRACTOR BISTA, JATIO
- EXTERIOR JOHN FIX URE (E. TO BE SELECTED BY OWNER FOR CONTRACTOR BUSTAL JATION

### **HVAC Notes**

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- ALA DEBON-BUILD PROJECT THE MICHANICAL CONTRACTOR B TO PROMDE HIS DWN DRAWNOS TOR FROM ELEMA AND APPLOVAL THE MICHANICAL CONTRACTOR B TO PROMISE THE WITH ELEMA AND APPLOVAL THE MICHANICAL CONTRACTOR BETTO THE MICHANICAL DEBOT OF THE MICHANICAL DE
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- UPOIL COMPLETION OF MECHANICAL SYSTEM BISTALLATION, SYSTEM BITO BE BALANCED.
  AND RUN TO DEMONSTRATE A" ALL HEATING AND VENTILATION SYSTEMS ARE FUNCTIONAL
  AS INTERNED.
- FALL SKYAMS\* VENTS FOR PRODUCT CONVEYING SYSTEMS SHALL BE LOCATED A MINIMUM OF 10 FROM OLD AGONE ALL ROOF OR WALL CHEMINGS PEZ 2020 MONTH TERMINATIONS OF ALL RINGHOLDINGHA AND DUCTS WHILE A MARINAMON OF A FROM ANY OFFICIAL OF THE DUCTWOCK SHALL, DET DUCCTLY TO THE EFERIOR LOW SHOP HAS SESS THAN 3 SOMES, AND ECOMMENDED FOR THE THE PRODUCT FOR WHITE OFFI SHALL WINDOWS SEED THAN 3 SOMES, AND ECOMMENDED FOR THE SHALL PRODUCT FOR SHALL WINDOWS SEED SEED SENTING COVERS TO BE MODEL SEED SEED INTERMINONAL PIC. AND BE OF ALLWARDED AND DELTE PURCH CASH APPROVED A EXPRANTAGE.

### MECHANICAL EQUIPMENT BASIS OF DESIGN

AL MECHANICAL EQUIPMENT TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION BY CONTRACTOR ALL INSTALLATION REQUIREMENTS FER MANUFACTURERS. INSTALLATION GUIDELINES UNIVESS OTHERWISE AGREED.

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HVAC BISTALLER TO CONFIRM BTU OF PROPOSED SYSTEM IS ADEQUATE FOR THE PROPOSED RESIDENCE. COORDINATE AC CONDENSER WITH BOTH FURNACE & DWELLING SERING REQUIREMENTS.

# **Electrical Notes**

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- E. ELECTRICAL PENETRATIONS THROUGH RIV JOISTS SHALL BE SEALD WITH EMANDABLE FOR OR CAULK CONDUIT MIRES PENETRATING INTO THE ATTIC AND THROUGH TOP AND BOTTOM FURTER EDITION VALUE SHALL BE SEALD WITH EMANDING FOAM OR CAULK
- ALL JOHN ROLES AND SELECTION AND SELECTION OF SERVICE O

# Plumbing Notes

- A. PLUMBERG WORKSHAL, BE COMPLETED BY A LICEUSED PLUMBER AND IN 57 BC".
   ACCORDANCE WITH NATIONAL AND LOCAL PLUMBING CODES.
- 8 NO PLUMBING LIFES SHALL BE EXPLAINED EXPERIENCE WALL CONSTRUCTION UNITES SECTIONAL CALLES FOR ALL HOT WAYER BRIDE ARE TO BE POLICED TO ALMSHOOD AND ALL CONTROL OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF CAMAC MAY SEARCH SECTIONAL OF ON THE ATTEMPORAL SERVICE SERVICE TO HANDLE SERVICE OF PRES WHITH READONAL SERVICES OF THE SERVICE AT ALL PRESENTED STRUCKES FROM THE SERVICE ATAL PRESENTED STRUCKES FROM CONTROL OF THE SERVICE ATAL PRESENTED STRUCKES FROM THE SERVICE ATAL PRESENTED THE SERVICE ATAL PRESENTED STRUCKES FROM THE SERVICE ATAL PRESENTED THE SERVICE ATAL PRESENTED THE SERVICE ATAL PRESENTED THE SERVICE ATAL SERVICE ATAL PRESENTED THE SERVICE ATAL PRESENTED THE SERVICE ATAL SERVICE ATAL PRESENTED THE SERVICE ATAL PROPERTY OF THE SERVICE ATAL PROPERTY OF THE SERVICE ATAL SERVICE ATAL PRESENTED THE SERVICE ATAL PROPERTY OF THE SERVICE ATAL PROPERTY O
- C. A., PLUMBING SUPPLY UNES SHAL, BE RUN IN THE MOST ECONOMIC ROUTE TO ENSURE MINIMUM DISTANCE FROM WATER HEART AND NO EXCESS USE OF PLUMBING MATERIALS ALL SAURIANT HIES MUST SHUFF HE MOST ECONOMICAL DISTANSISHER ROUTET OWN HOME SANETARY LINE AND TED INTO DISCHARGE TO SEPTIC TANK AND LEACHING FIELD.
- WASTE & DAM, PRES TO SECT A WATERA, AND BUT PRANTED BY CODE PROMISE / PREFOCT SCOPE FOR PROPER CHANGES PROMISE CENTROLING AS LIGHDRESS PRODE PAUMENC CODE OF NEW YORK SERVED (PACHA), IN COCKIDAS THAT ARE LINGUISTERS OF PRANTED WITH PREFOCE TO MANY. ASS-THE PREFOCE THAT CHANGES PRO-PER CHANGES OF THE TOP TO MANY. ASS-THE PREFOCE TO CHANGE AND SHARE AND PREFOCE AS AND THE PROPERTY OF THE CHANGE OF THE PREFOCE SHARE OF THE PROPERTY OF THE COPY AND THE STATE OF THE PREFOCE PRODUCTION OF THE THE PROPERTY OF THE CHANGE OF THE PREFOCE PRODUCTION OF THE PREFOCE THE COPY AND THE PROPERTY OF THE PROPER
- ALL SOIL PIPING SHALL BE PICK SCHEDULE 4D AND SLOPE AT "JA" PER POOT ALL SOIL PIPIN BELOW GRUDE SHALL BE ANNIMUM OF IT DEMOFER F. BEQUIED PROMISE BACKLOW PERVENTIAGES ON MAIN SUPPLY UNE DISINGN OF SPECIAL SYSTEM OF BE PROVIDED BY THE BASTALLER AND MEET THE REQUIREMENTS OF THE DESIGN AS PRESENTED.
- PROVIDE CLEAN OUTS ON SOIL PIPING A" A., CHANGES OF DIRECTION SPACED A" SO MARMUM ALL VENT PIPING SHALL BE ABOVE FLOOD RIM LEVE. OF HIGHEST FOTURE BEFORE CONNECTION TO COMMON VENTS.

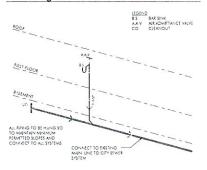
# PLUMBING FOTURE BASIS OF DESIGN

AL PLUMBING FOULDER AND ACCESSORES TO BE SELECTED BY OWNER PROR TO ORDERING AND PARLACIONS AS, RECURES TO BE COMPETED TO THE RUM SUPPLY LIKES TO LOCATIONS AS SPECIFIED BY MANUFACTURED INSTALLATION. GUIDELINGS.

# Appliance Notes

- A APPLIANCES WILL BE SUPPLIED BY OWNERS FOR INSTALLATION BY THE CONTRACTOR CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL GAS, WATER, MECHANICAL AND VENTILATION HOOK UPS TO APPLIANCES
- B CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SURROUNDING CONSTRUCTION AND FINISHES TO ENSURE CORRECT MANUFACTURER RECOMMENDED FIT FOR APPLIANCES
- C. RUN SUPPLY LINES TO LOCATIONS AS SPECIFIED BY MANUFACTURERS INSTALLATION GUIDELINES OWNER WILL PROMDE CONTRACTOR WITH APPLIANCE MAKE/MODEL INFORMATION ONCE DETERMINED.
- D. ANY APPLIANCE REQUIRING EXHAUST DUCTING TO THE EXTERIOR IS MEET ALL APPLICABLE REQUIREMENTS OF ROMYS SECTION MITSULE

# Plumbing ISO



Covered Residential Drive

Hearthstone

8721 Patio

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**General Site Notes** 

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Property Survey



8721 Hearthstone Drive - Residential Covered Patio

7.14.2025

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