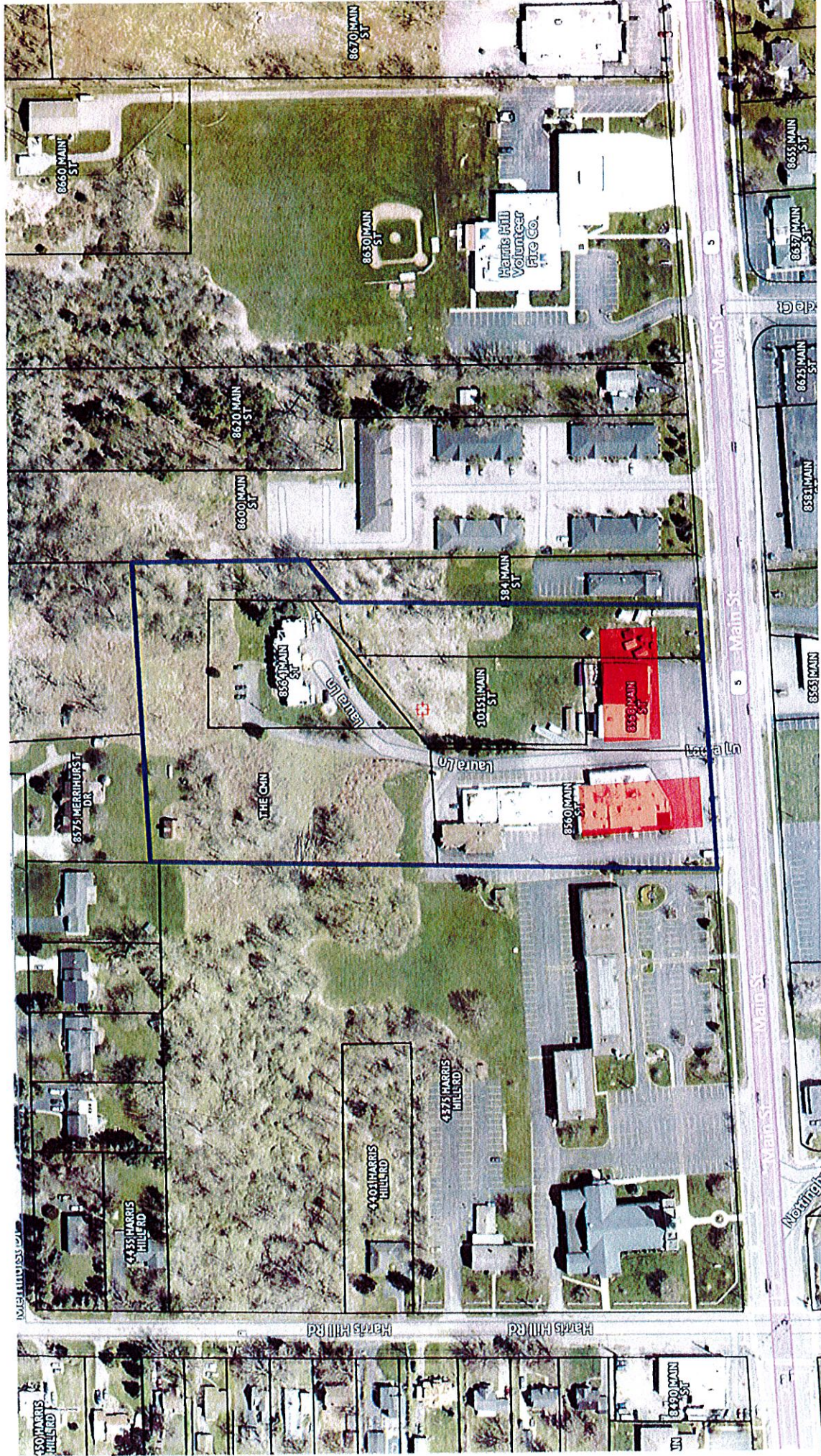


[illegible]



note the parcel lines displayed are approximate

8560 - 8574 Main Street



Two (2) proposed mixed-use buildings both with a total height of 45'8".

The maximum allowable height in the Traditional Neighborhood District zone is 40'.

A 5'8" variance is requested.

[illegible]

Area Variances

The granting of the requested area variances will result in a benefit to the Applicant including the ability to proceed in the development process with the proposed mixed-use project. The granting of the requested area variances will not result in any detriment to the health, safety and welfare of the community. In applying the statutorily mandated balancing test, as set forth in New York State Town Law § 267-b(3)(b), the Zoning Board of Appeals (ZBA) is required to consider the five criteria described below:

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variances;

The requested area variances will not result in an undesirable change to the character of the neighborhood. To the west of the property, the Church of the Nativity of the Blessed Virgin Mary stands taller than the proposed development, with a maximum height of 115 feet. Directly across Main Street at 8555 Main St., there is an existing building that rises to 2.5 stories. The surrounding area is predominantly commercial in nature. Additionally, the proposed buildings front Main Street and are located more than 600 feet from the nearest residential properties on Merrihurst Drive.

2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;

The alternative method of utilizing a flat roof to comply with the Town Code was not accepted by the Town. Other alternatives—such as reducing the building height by a story or decreasing the number of residential units—were also considered. However, these changes would significantly compromise the economic viability of the project, making it financially unfeasible to proceed while still meeting the intended goals for quality, design, and community benefit.

3. Whether the requested area variance is substantial.

The area variances being requested are not substantial. According to § 229-65 of the Town Code, the vertical distance from the mean elevation of the finished grade relative to the frontage street to the ridgeline of the structure is limited to 40 feet. The proposed structures have a maximum parapet elevation of 45'-8." The mean height of the roofs is 38'-21/4." Proposed concept plans attached in Exhibit A.

4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and

The granting of the requested area variances will not have adverse effects or impacts on the physical or environmental conditions in the neighborhood or district. The Planning Board conducted a coordinated environmental review of the Project (initiated in October 2024) pursuant to the State Environmental Quality Review Act ("SEQRA"). The Planning Board issued

a Negative Declaration pursuant to SEQRA on June 18, 2025 based on its determination that the Project will not result in any potentially significant adverse environmental impacts. The applicant will still need to return to the Planning Board for Concept approval.

5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.

The original building design featured flat roofs with a maximum parapet height of approximately 36' which is below the 40-foot height limit established by the Town Code. The original design is included in Exhibit B. The proposal was discussed during Town Board work sessions held on April 10, 2024, and July 10, 2024. At those meetings, the Board expressed concerns regarding the architectural style and overall massing of the buildings. In response, the applicant collaborated with the Planning Department and project architect to revise the design in alignment with the Town's guiding documents—*Clarence 2030* and *Vision Main*. The updated design features gable-pitched roofs and incorporates a variety of building materials and façade treatments to better reflect the Town's desired aesthetic. On September 11, 2024, the revised project was referred by the Town Board to the Planning Board.

Exhibit A

Proposed Site and Concept Plans



BUILDING DATA TABLE

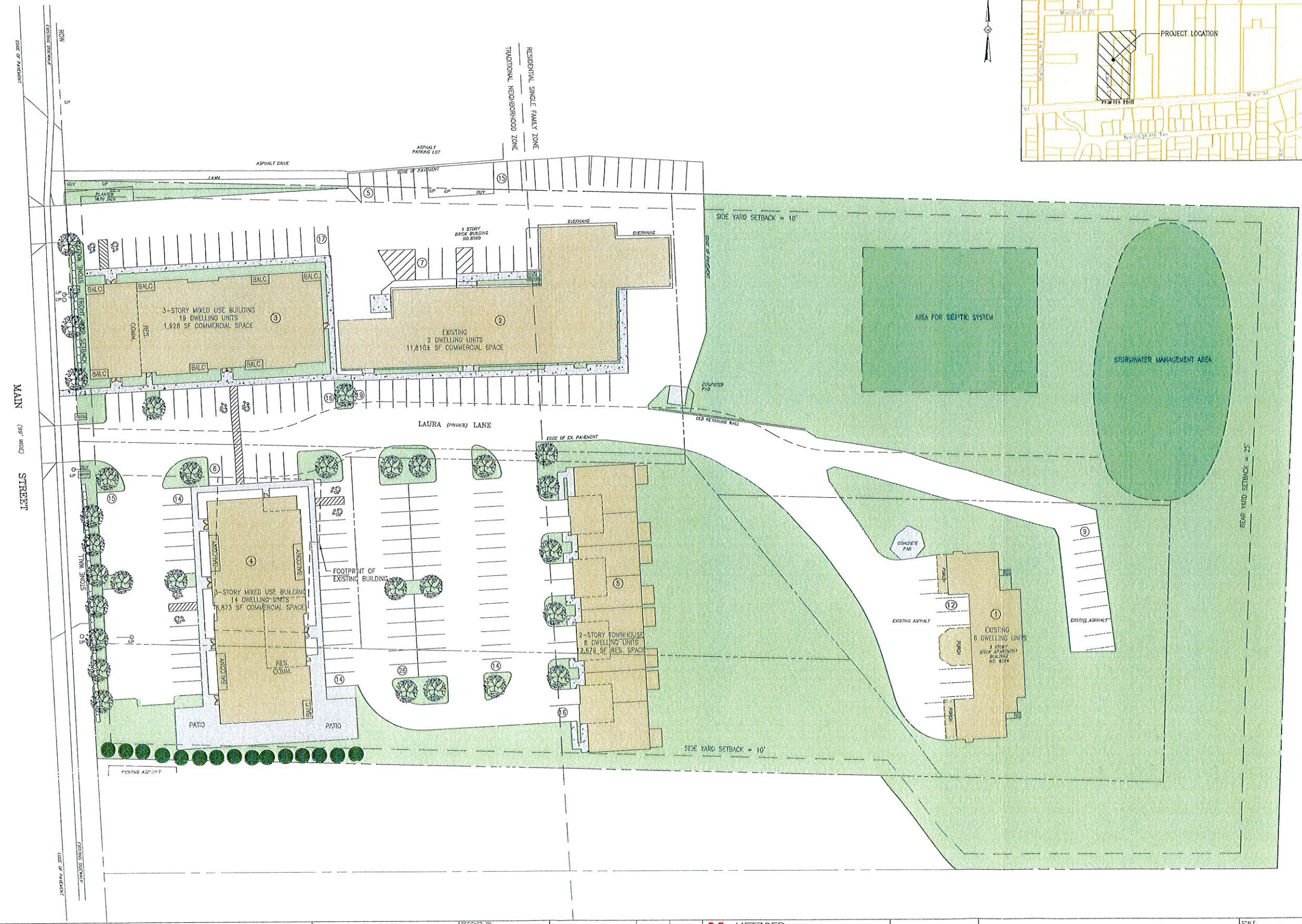
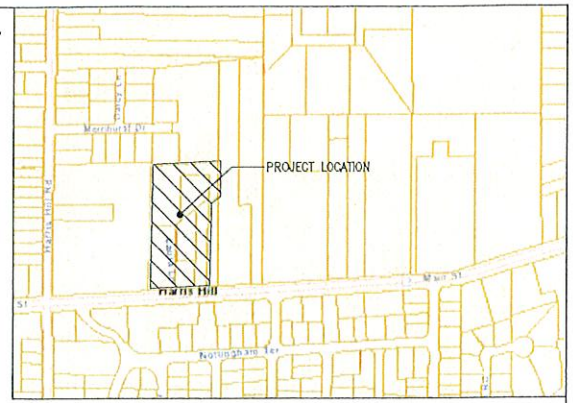
EXISTING BUILDING #1 - RESIDENTIAL BUILDING:	
6 RESIDENTIAL DWELLING UNITS -	6,100 SF
TOTAL BUILDING FLOOR AREA -	6,100 SF
EXISTING BUILDING #2 - MIXED USE BUILDING:	
2 RESIDENTIAL DWELLING UNITS -	1,950 SF (TOTAL)
COMMERCIAL SPACE -	11,810 SF
TOTAL BUILDING FLOOR AREA -	13,760 SF
PROPOSED BUILDING #3 - 3 STORY MIXED USE BUILDING:	
19 DWELLING UNITS -	24,339 SF
COMMERCIAL SPACE -	1,928 SF
TOTAL BUILDING FLOOR AREA -	26,267 SF
PROPOSED BUILDING #4 - 3 STORY MIXED USE BUILDING:	
14 DWELLING UNITS -	17,895 SF
COMMERCIAL SPACE -	6,873 SF
TOTAL BUILDING FLOOR AREA -	24,768 SF
PROPOSED BUILDING #5 - 5 STORY TOWNHOUSE:	
8 DWELLING UNITS -	12,672 SF
TOTAL BUILDING FLOOR AREA -	12,672 SF
TOTAL SITE SQUARE FOOTAGE =	83,674 SF
RESIDENTIAL SPACE =	62,983 SF (75%)
COMMERCIAL SPACE =	20,691 SF (25%)

SITE DATA TABLE

ZONING:	RSF & TND
AREA OF COMBINED PARCELS:	7.2 ACRES
MINIMUM LOT WIDTH REQUIRED:	150.00' (W/O SEWERS)
LOT WIDTH PROVIDED:	375.50' (COMBINED PARCELS)
MINIMUM LOT DEPTH REQUIRED:	220.00' (W/O SEWERS)
LOT DEPTH PROVIDED:	815.27' (COMBINED PARCELS)
MAXIMUM DENSITY ALLOWED:	8 DU/ACRE
MAXIMUM DENSITY ALLOWED:	57 UNITS
NUMBER OF UNITS PROVIDED:	49 UNITS
SETBACKS:	
FRONT ALLOWED	10'
FRONT PROVIDED	10'
SIDE ALLOWED	10'
SIDE PROVIDED	10'
REAR ALLOWED	25'
REAR PROVIDED	169.6' (EXISTING)

TOTAL PARKING:	
COMMERCIAL SPACE =	16,611 SF (TOTAL)
PARKING REQ'D FOR COMMERCIAL =	1 SPACE / 1,000 SF IN TND
RESTAURANT SPACE =	4,000 SF
NUMBER OF RESTAURANT SEATS =	150 SEATS
PARKING REQ'D FOR RESTAURANT =	1 SPACE / EVERY 3 SEATS
RESIDENTIAL DWELLINGS =	49 UNITS
PARKING REQ'D FOR DU =	2 SPACES / DU
PARKING FOR RESIDENTIAL =	98 SPACES
PARKING FOR COMMERCIAL =	17 SPACES
PARKING FOR RESTAURANT =	50 SPACES
TOTAL PARKING =	165 SPACES
TOTAL SPACES PROVIDED =	205 SPACES
LOT COVERAGE ALLOWED =	60.0%
LOT COVERAGE PROPOSED =	50.8%
INTERIOR GREENSPACE REQUIRED =	8.0%
INTERIOR GREENSPACE PROVIDED =	11.1%

SITE LOCATION MAP
NTS



NOTES:
1) THESE PLANS HAVE BEEN DEVELOPED FROM THE BOUNDARY SURVEYS PREPARED BY KHEOPS DATED FEBRUARY 7, 2018 AND GPI DATED SEPTEMBER 21, 2018. THIS IS NOT A PROPERTY SURVEY.

DESIGNED BY:	JCM			
DRAWN BY:	JCM			
CHECKED BY:	MJM			
CAD FILE:	M2109	PBX COMMENTS	11.27.24	JCM/MJM
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 1209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW		BUILDING #3 ADJUSTMENTS	09.10.24	JCM
		PARKING LOT PUSHED OUT OF FYSB	03.18.24	JCM
		BUILDING FOOTPRINT / SF REVISIONS	02.29.24	JCM/MJM
		REVISIONS	DATE	BY/CHK

MC METZGER CIVIL ENGINEERING, PLLC
8245 SHERIDAN DRIVE
WILLIAMSVILLE, NY 14221
PH: 716-633-2601
FAX: 716-633-2704

CIVIL ENGINEERING
LAND PLANNING
SITE DESIGN
MUNICIPAL ENGINEERING

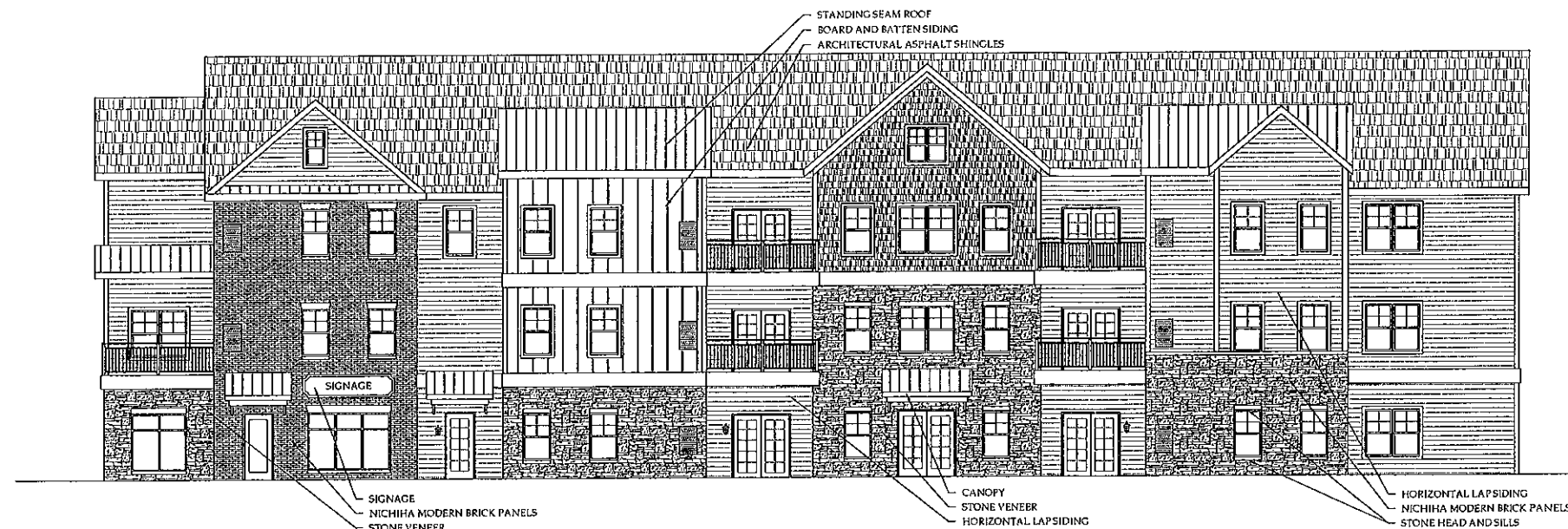
MIXED USE DEVELOPMENT
8560 - 8574 MAIN STREET
TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

CONCEPT PLAN

SCALE:	1"=30'
DATE:	DECEMBER 7, 2023
JOB NO:	M2109
DRAWING NO:	CP-3



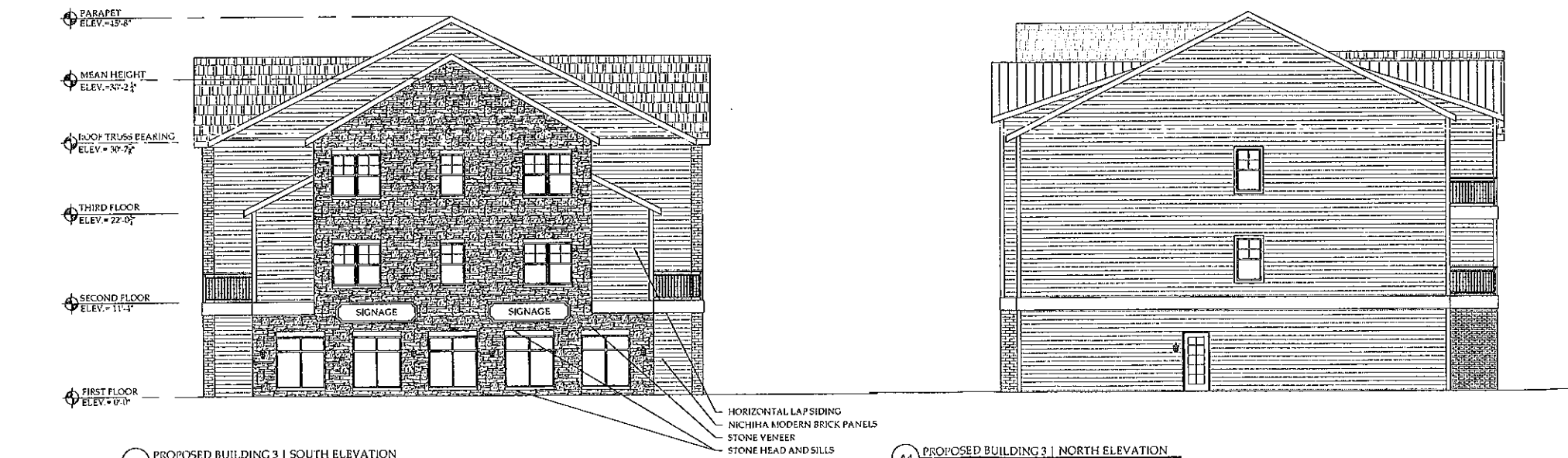




D1 PROPOSED BUILDING 3 | EAST ELEVATION
1/8"=1'-0"



B1 PROPOSED BUILDING 3 | WEST ELEVATION
1/8"=1'-0"



A1 PROPOSED BUILDING 3 | SOUTH ELEVATION
1/8"=1'-0"

A4 PROPOSED BUILDING 3 | NORTH ELEVATION
1/8"=1'-0"

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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL: P. Silvestri
PROJ. ARCH: _____ DRAFTER: _____
JOB CAPT: _____ INTERIORS: _____

SEAL:

TITLE:

PROPOSED
BUILDING 3
FLOOR PLANS



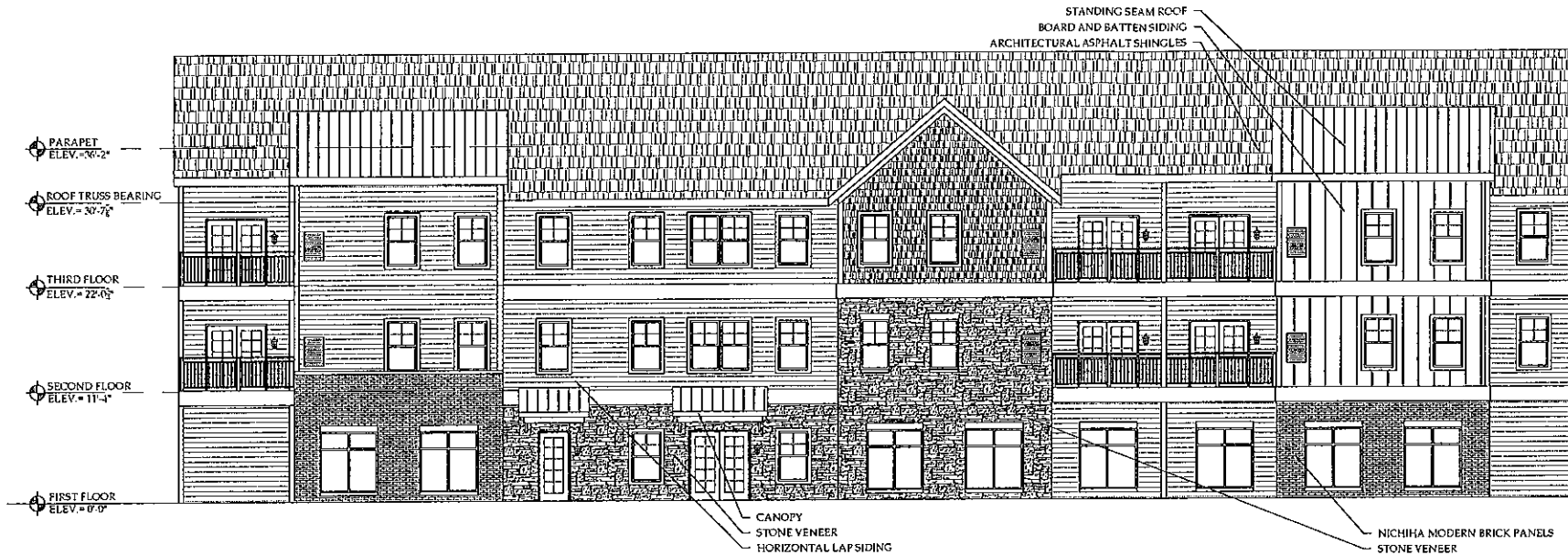
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ARCHITECTS + PC

1321 MILLERSPORT HWY. PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:
23084.01

DATE:
05-30-24

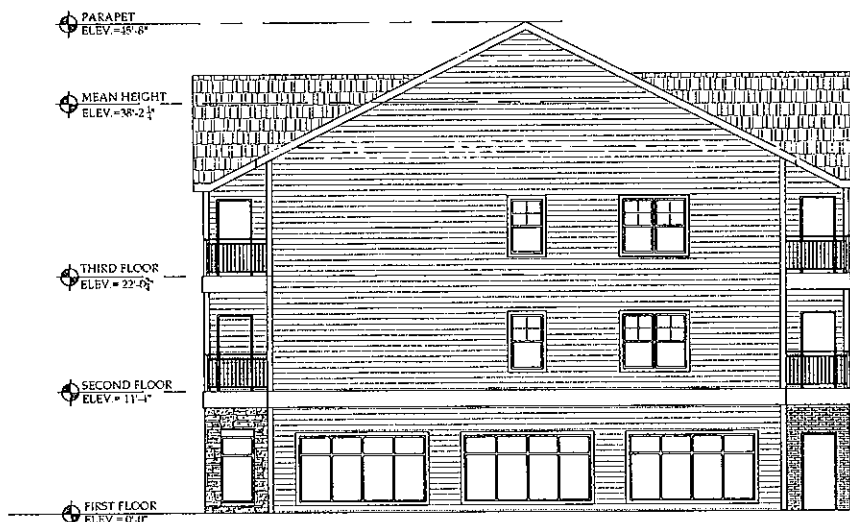
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A-201



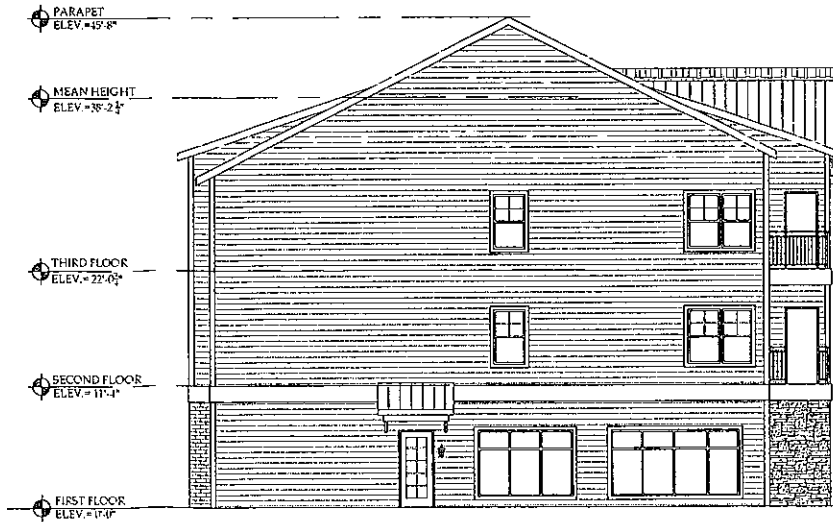
D1 PROPOSED BUILDING 4 | NORTH ELEVATION
1/8" = 1'-0"



B1 PROPOSED BUILDING 4 | SOUTH ELEVATION
1/8" = 1'-0"



A1 PROPOSED BUILDING 4 | EAST ELEVATION
1/8" = 1'-0"



A4 PROPOSED BUILDING 4 | WEST ELEVATION
1/8" = 1'-0"

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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
PROJ. ARCH. _____ DRAFTER _____
JOB CAPT. _____ INTERIORS _____

SEAL:

TITLE:

PROPOSED
BUILDING 4
FLOOR PLANS

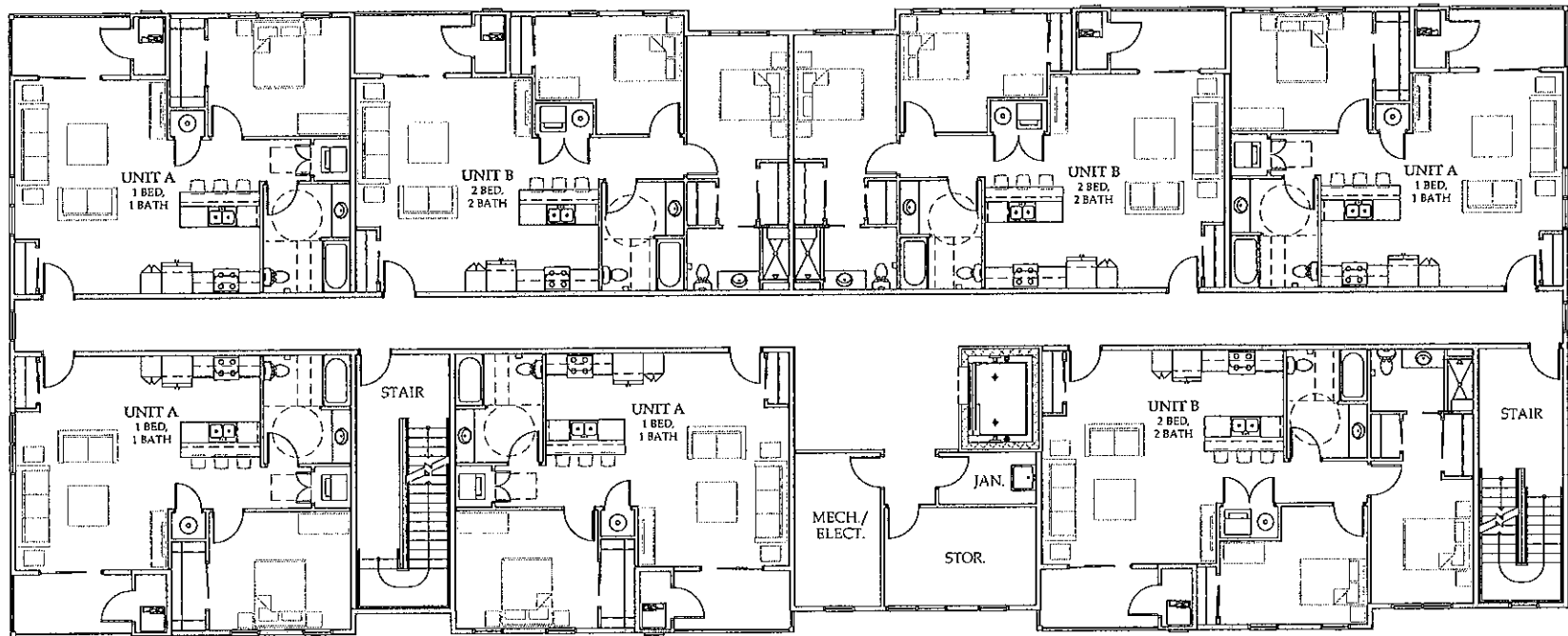


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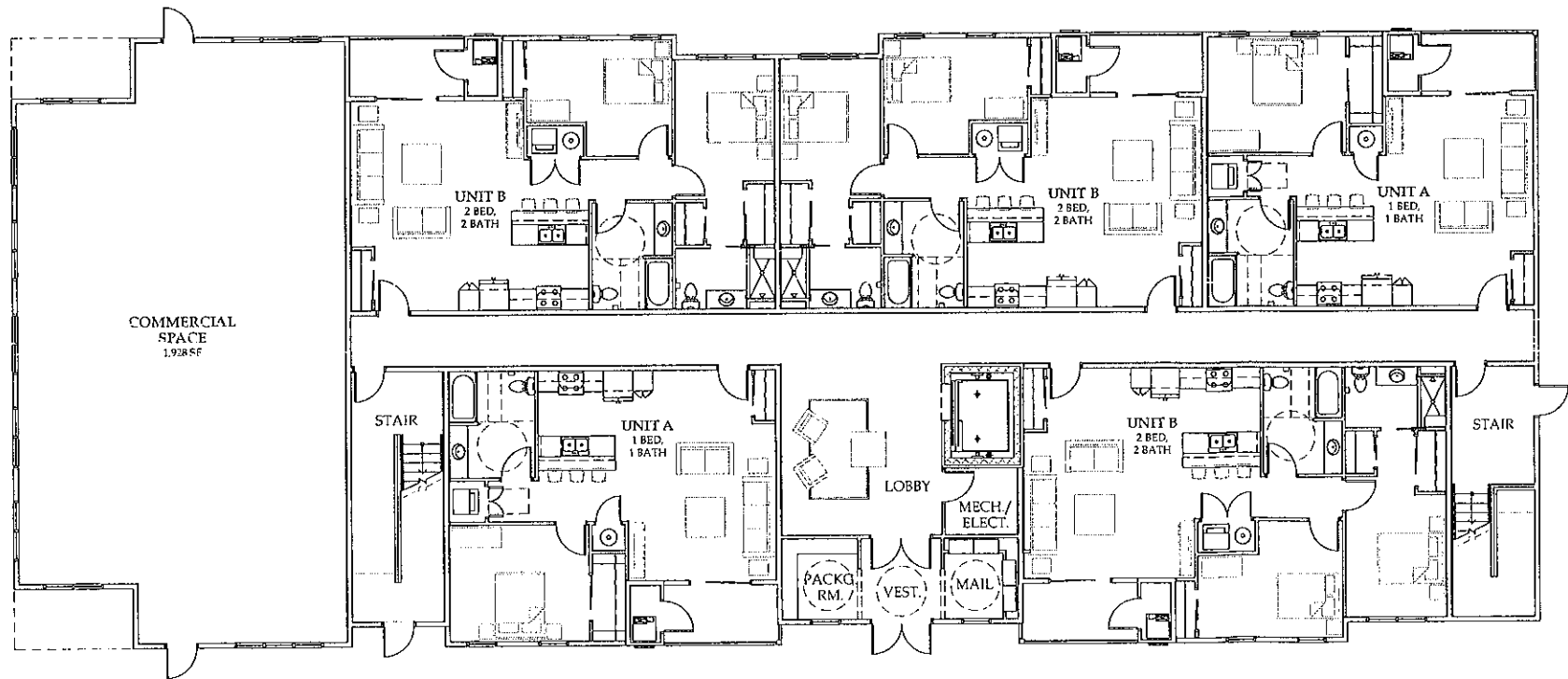
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SA JOB #: 23084.01 DATE: 05-30-24

DRAWING #: A-202



C1 PROPOSED BUILDING 3 | SECOND FLOOR PLAN
1/8" = 1'-0"



A1 PROPOSED BUILDING 3 | FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING DATA TABLE	
EXISTING BUILDING 1 - RESIDENTIAL BUILDING	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
EXISTING BUILDING 2 - MIXED USE BUILDING	
2 RESIDENTIAL DWELLING UNITS	1,950 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,760 SF
PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING	
19 DWELLING UNITS	24,339 SF
COMMERCIAL SPACE	1,928 SF
TOTAL BUILDING FLOOR AREA	26,267 SF
PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING	
11 DWELLING UNITS	17,895 SF
COMMERCIAL SPACE	6,873 SF
TOTAL BUILDING FLOOR AREA	24,768 SF
PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
TOTAL SITE SQUARE FOOTAGE	
RESIDENTIAL SPACE	62,963 SF (75%)
COMMERCIAL SPACE	20,611 SF (25%)

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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
PROJ. ARCH. _____ DRAFTER _____
JOB CAPT. _____ INTERIORS _____

SEAL:

TITLE:
PROPOSED
BUILDING 3
FLOOR PLANS



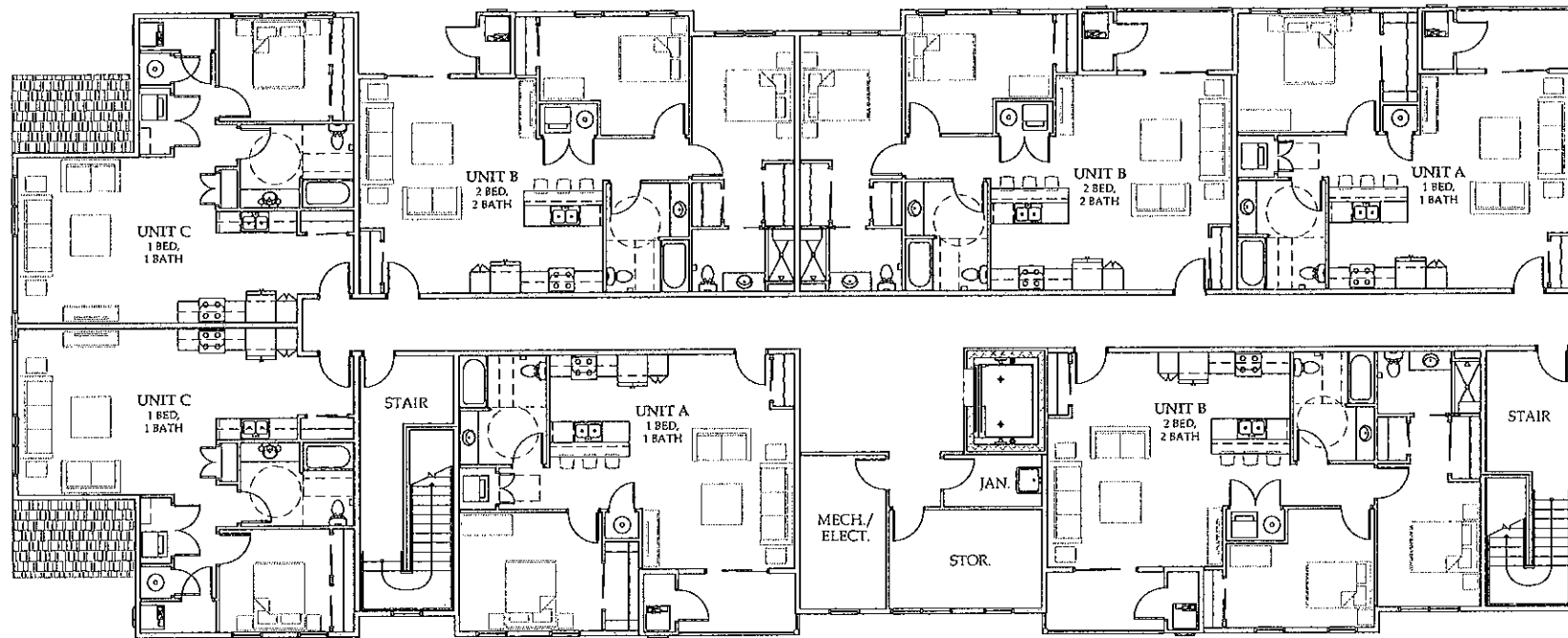
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SA JOB #: 23084.01 DATE: 05-13-24

DRAWING #: A-101

BUILDING 3 - SUMMARY OF UNITS				
ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	2	4	4	10
2 BEDROOM	3	3	3	9
TOTAL	5	7	7	19



PROPOSED BUILDING 3 | THIRD FLOOR PLAN

BUILDING DATA TABLE	
EXISTING BUILDING 1 - RESIDENTIAL BUILDING	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
EXISTING BUILDING 2 - MIXED USE BUILDING	
2 RESIDENTIAL DWELLING UNITS	1,520 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,330 SF
PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING	
19 DWELLING UNITS	24,339 SF
COMMERCIAL SPACE	1,928 SF
TOTAL BUILDING FLOOR AREA	26,267 SF
PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING	
14 DWELLING UNITS	17,895 SF
COMMERCIAL SPACE	6,893 SF
TOTAL BUILDING FLOOR AREA	24,788 SF
PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
TOTAL SITE SQUARE FOOTAGE	83,574 SF
RESIDENTIAL SPACE	63,963 SF (75%)
COMMERCIAL SPACE	20,611 SF (25%)

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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL, J. Silvestri
PROJ. ARCH. _____ DRAFTER _____
JOB CAPT. _____ INTERIORS _____

SEAL:

TITLE:

PROPOSED
BUILDING 3
FLOOR PLANS

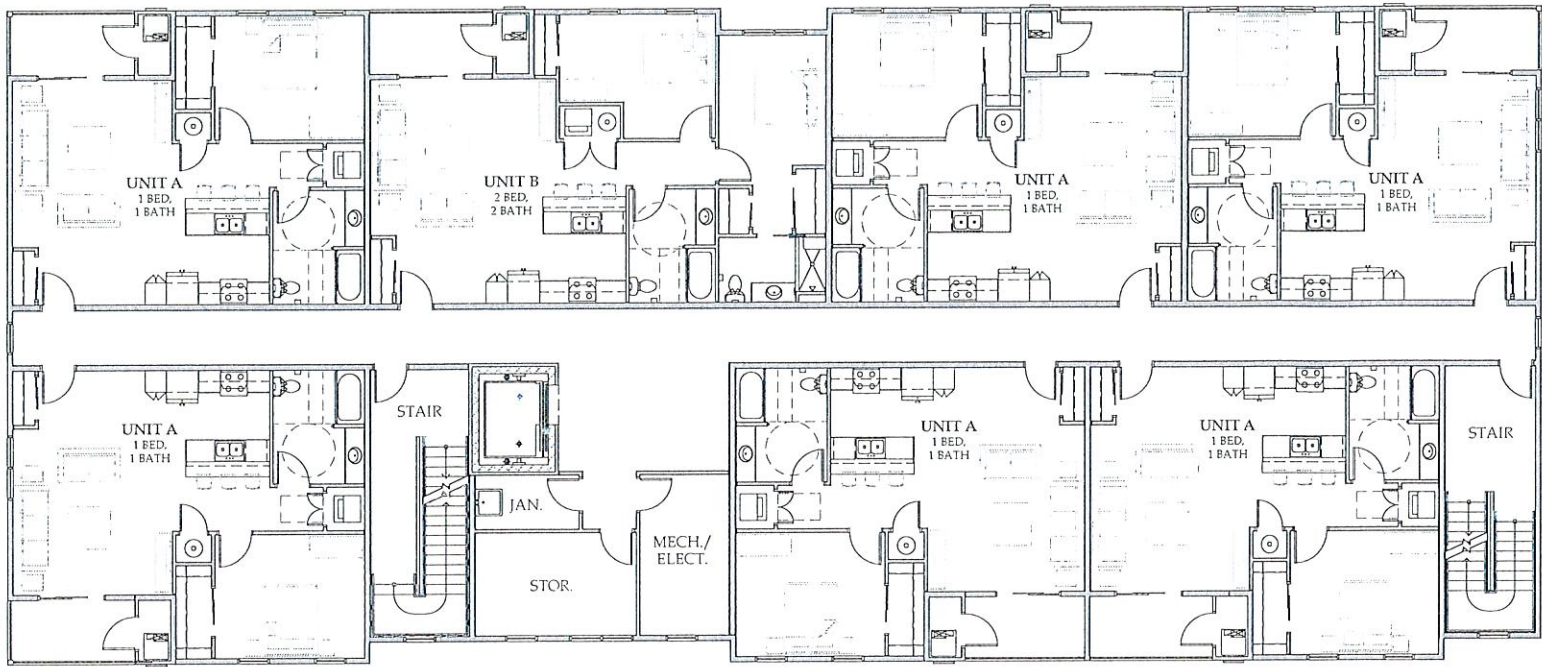
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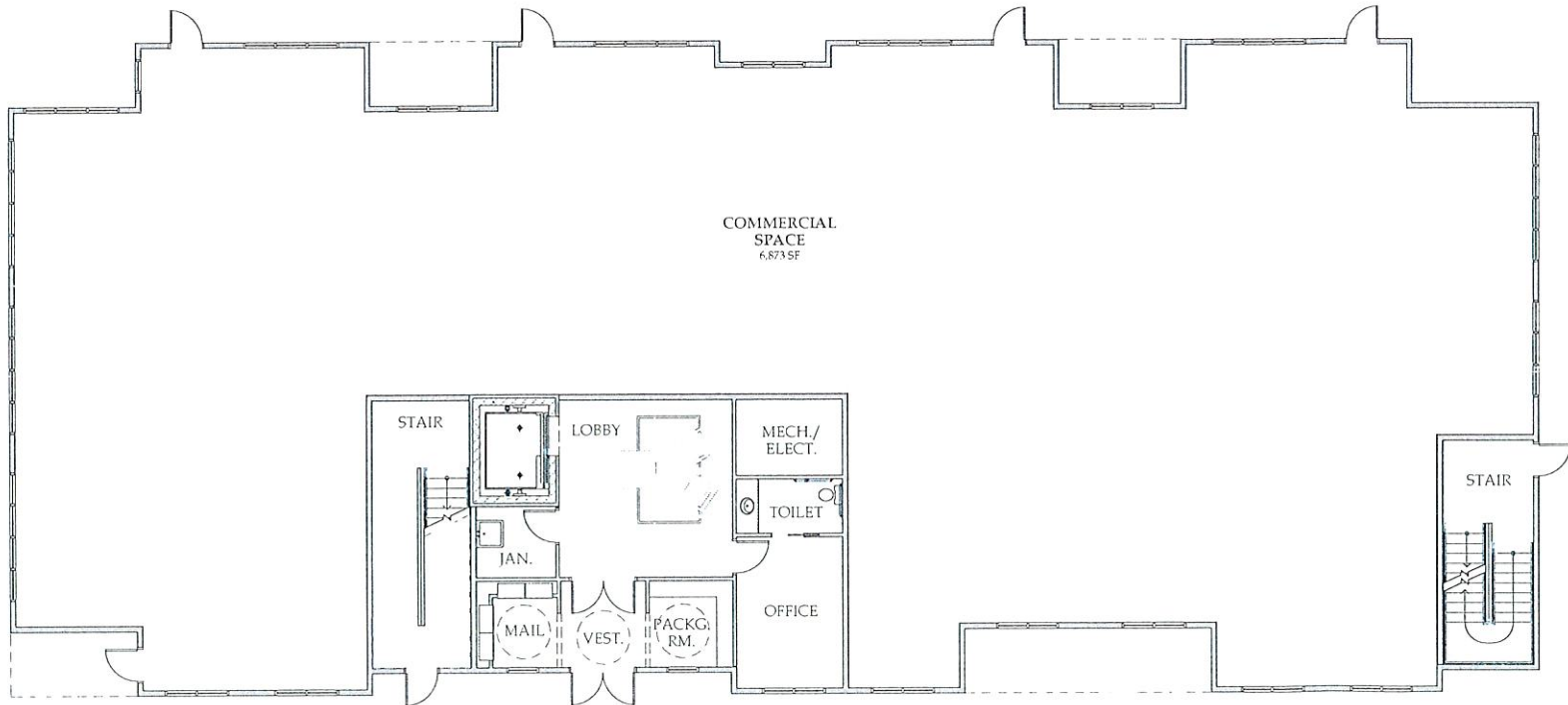
SA JOB #: 23084.01 DATE: 05-13-24

DRAWING #: A-101b

BUILDING 3 - SUMMARY OF UNITS				
ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	2	4	4	10
2 BEDROOM	3	3	3	9
TOTAL	5	7	7	19



C1 PROPOSED BUILDING 4 | SECOND & THIRD FLOOR PLAN
1/8"=1'-0"



A1 PROPOSED BUILDING 4 | FIRST FLOOR PLAN
1/8"=1'-0"

BUILDING DATA TABLE	
EXISTING BUILDING 1 - RESIDENTIAL BUILDING	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
EXISTING BUILDING 2 - MIXED USE BUILDING	
2 RESIDENTIAL DWELLING UNITS	1,950 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,760 SF
PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING	
19 DWELLING UNITS	24,339 SF
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PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING	
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COMMERCIAL SPACE	6,873 SF
TOTAL BUILDING FLOOR AREA	24,768 SF
PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
TOTAL SITE SQUARE FOOTAGE	
RESIDENTIAL SPACE	62,963 SF (75%)
COMMERCIAL SPACE	20,611 SF (25%)

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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri
PROJ. ARCH. _____ DRAFTER _____
JOB CAPT. _____ INTERIORS _____

SEAL:

TITLE:

PROPOSED
BUILDING 4
FLOOR PLANS



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AMHERST, NY 14221 FAX. 716.691.4773

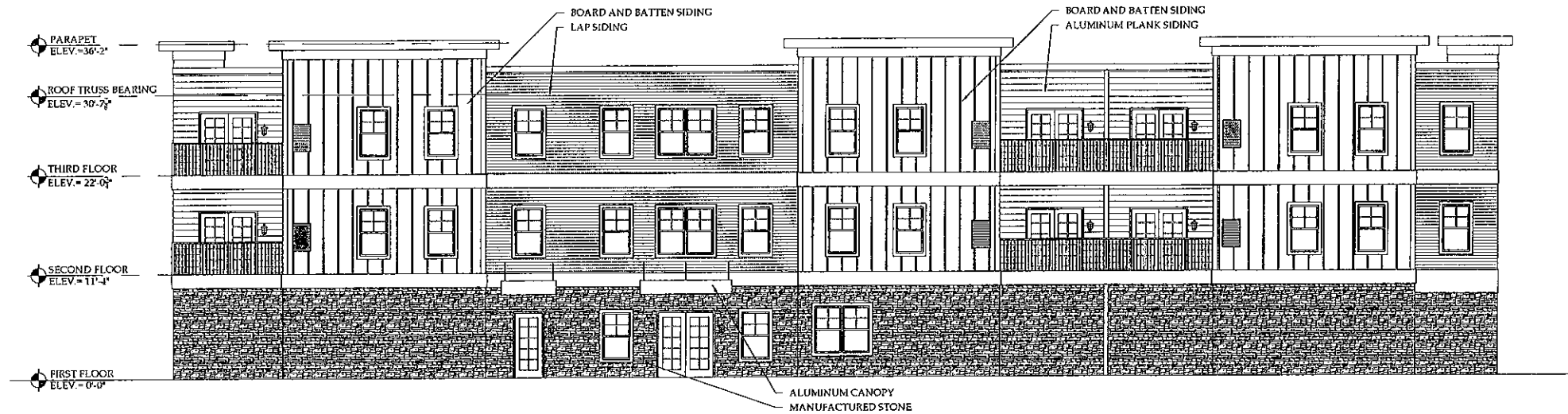
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DATE: 05-13-24

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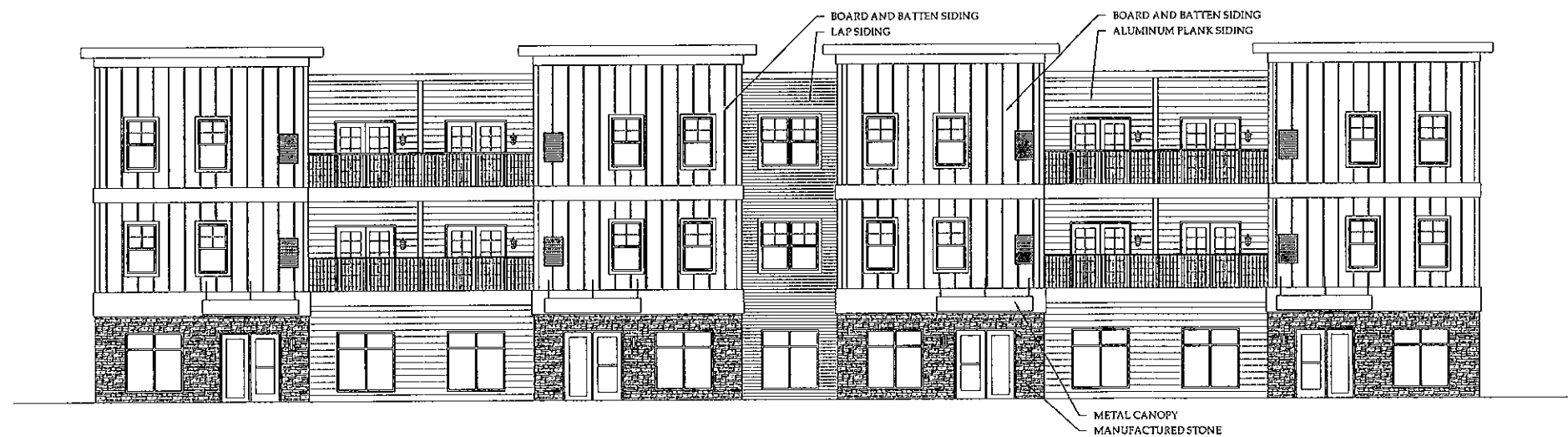
BUILDING 4 - SUMMARY OF UNITS				
ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	0	6	6	12
2 BEDROOM	0	1	1	2
TOTAL	0	7	7	14

Exhibit B

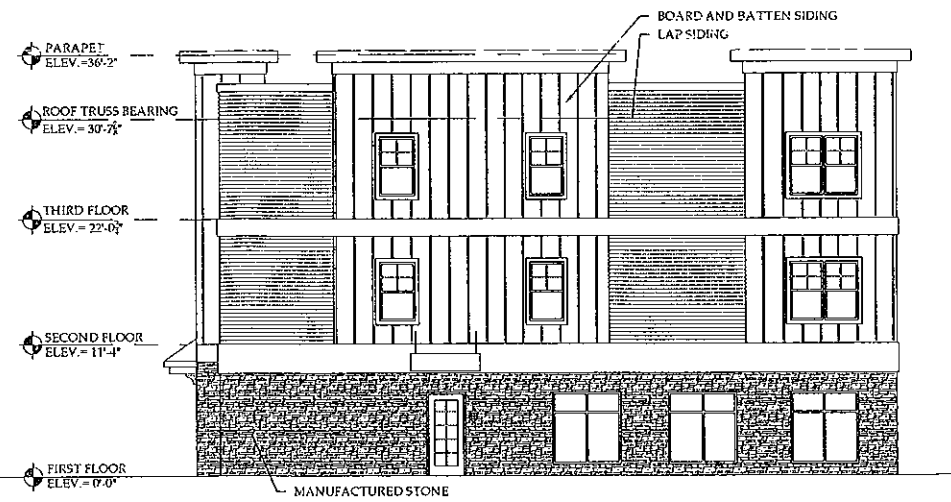
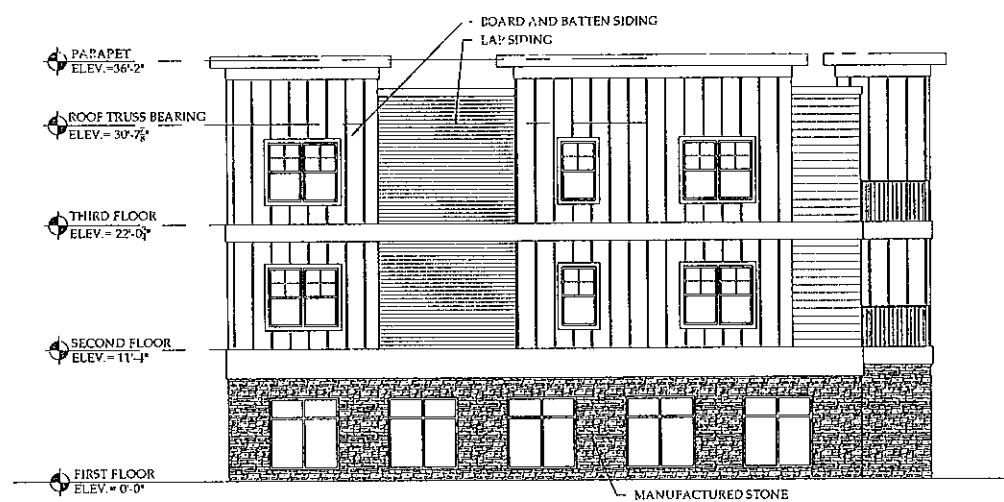
Originally proposed elevations



D1 PROPOSED BUILDING 4 | NORTH ELEVATION
1/8"=1'-0"



C1 PROPOSED BUILDING 4 | SOUTH ELEVATION
1/8"=1'-0"



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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL E. Silvestri

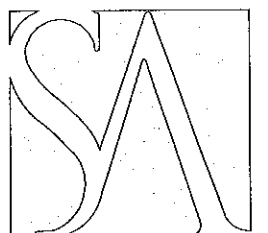
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JOB CAPT. _____ INTERIORS _____

SEAL:

TITLE:

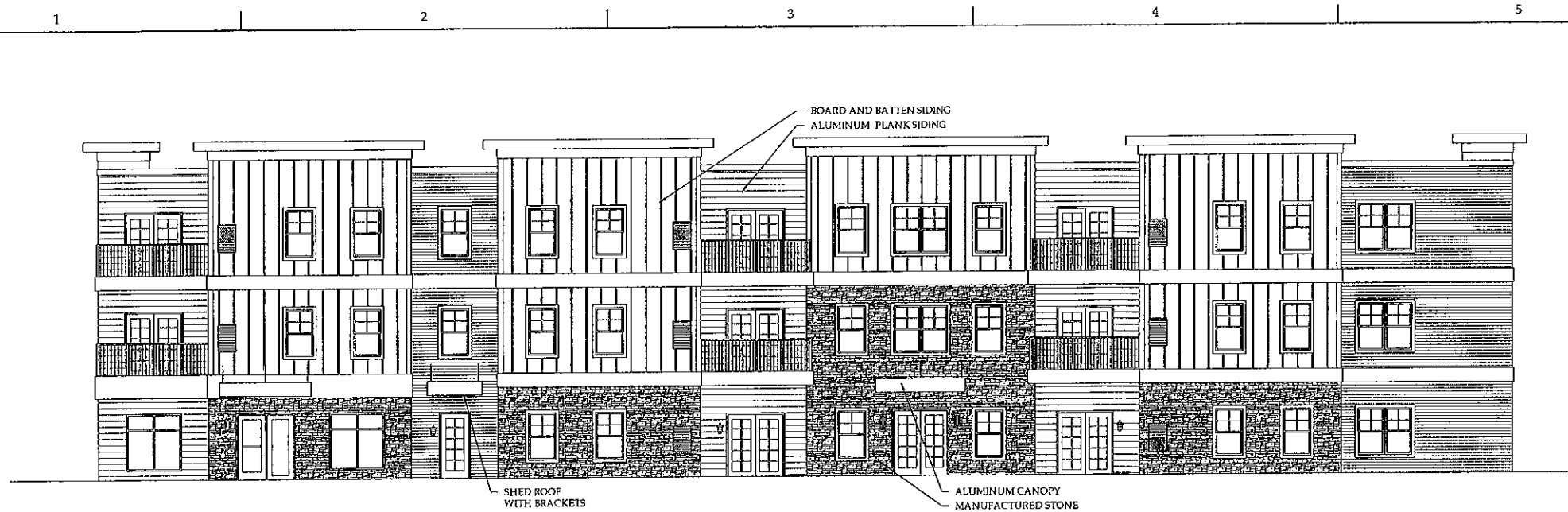
PROPOSED
BUILDING 4
FLOOR PLANS



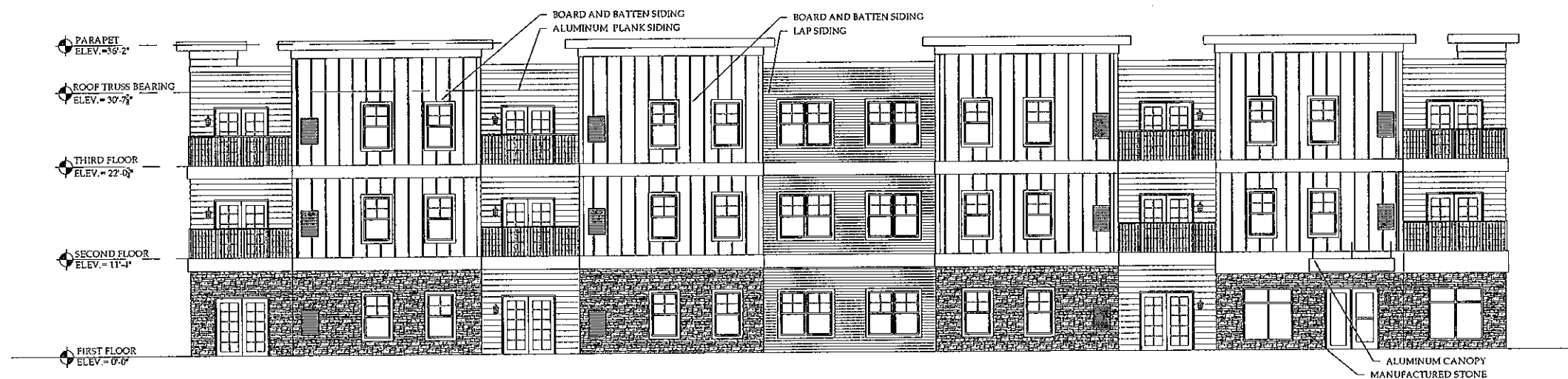
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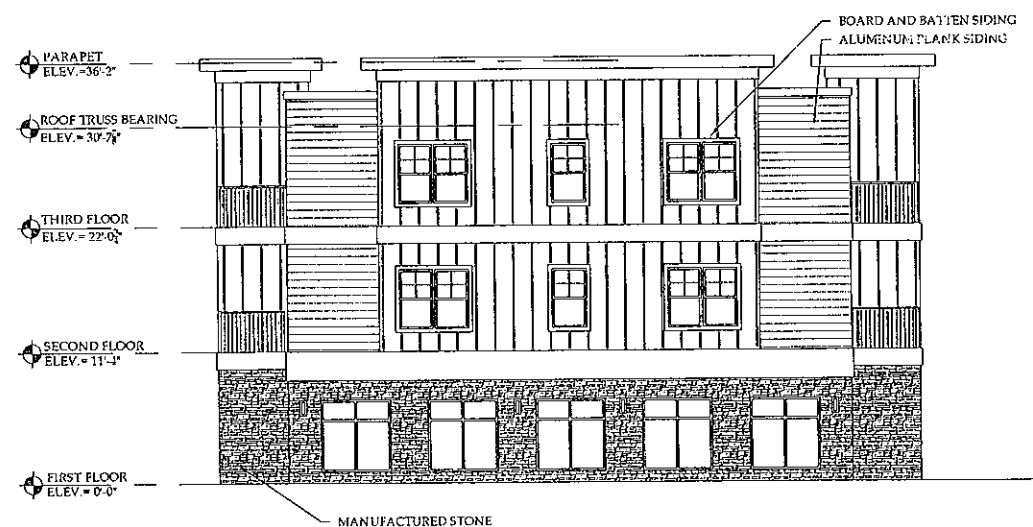




D1 PROPOSED BUILDING 3 | EAST ELEVATION
1/8"=1'-0"



C1 PROPOSED BUILDING 3 | WEST ELEVATION
1/8"=1'-0"



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TOWNHOMES & APARTMENT BUILDINGS

8560-8568 MAIN STREET
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri

PROJ. ARCH. _____ DRAFTER _____

JOB CAPT. _____ INTERIORS _____

SEAL:

TITLE:

PROPOSED
BUILDING 3
FLOOR PLANS



SILVESTRI
ARCHITECTS • PC

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AMHERST, NY 14221 FAX 716.691.4773



Exhibit C

Google Map Images of Nativity Blessed Virgin Mary and 8555 Main St



Item 1

Visone Co. Site Development, LLC.
Traditional Neighborhood District
and Residential Single-Family

Requests preliminary Conceptual review of a
proposed mixed-use project containing multiple-
family housing and commercial space at 8560-
8574 Main Street.

DISCUSSION:

Mr. Bleuer introduced this project at 8560-8574 Main Street, located on the north side Main Street, east of Harris Hill Road.

The site contains six existing parcels totaling approximately 7- acres, located in the Traditional Neighborhood District and Residential Single-Family zones.

The applicant is requesting preliminary Conceptual review of a proposed mixed-use project containing multiple-family housing and commercial space. Three new structures are proposed; two three-story mixed-use structures along Main Street, and one townhome structure at the middle of the site. Two existing structures are to remain, the rear apartment building and the rear portion of the western plaza building.

This would result in a total of 49 apartments, 41 newly proposed; and a total of 20,611 sq. ft. of commercial space, 8,801 sq. ft. newly proposed.

Finally, the applicant is requesting consideration for the rear of the property be rezoned to Traditional Neighborhood District from the current Residential Single-Family zone to accommodate this proposal. This proposal was initially on Town Board work session agendas in April and July. Due to comments received, the applicant and project architect modified the architectural style of the proposed mixed-use buildings. The proposed buildings now feature gable pitched roofs, a mixture of high-quality building materials and façade elements.

The initiation of a coordinated review under the State Environmental Quality Review Act will allow for involved agency and interested party comment.

The proposal will require a height variance from the Zoning Board of Appeals, as the proposed mixed-use buildings are over the allowable 40' tall maximum height after the introduction of the pitched roof design per the recommendation of the Town Board.

Additionally, the proposal will require Special Exception Use Permits for multiple-family housing and structures containing over 10,000 sq. ft., after Public Hearings set and held by the Town Board.

Present to represent the project were Project Engineer Michael Metzger with Metzger Civil Engineering, and Brianne Frawley, Development Manager with Visone Co. Site Development, LLC.

Mr. Metzger stated that of the three existing buildings, the one closest to Main Street on the east would be completely demolished, then to the west, the front portion of 8560 Main St. would also be demolished. The third building all the way to the rear of the site is a 6-unit apartment building and would remain.

Mr. Metzger reviewed the proposed project to this point, adding that they will need to apply for 5 Special Exception Use Permits, 1 for multi-family housing, 1 for the proposed drive-thru, and 3 for each building over 10,000 sq. ft. in a Traditional Neighborhood District (TND).

Mr. Metzger continued to review the proposed project.

PB 10/2/2024

Mr. Lahti noted that this proposed project is early in the process, and includes a number of steps, they are currently only looking to begin the Coordinated Review. Many of the questions that would ordinarily be asked, are more appropriate for later stages of this proposed project.

Mr. Lahti reviewed the intent of the TND per the Town of Clarence Code, noting that while that will not be reviewed tonight, it will be closely looked at as the proposed project continues through the process.

Noting that there are multiple buildings within this proposed project, Mr. Lahti stated that the Code for parking can be looked at in a number of ways and will also be reviewed throughout this process.

Mr. Lahti stated that the greenspace on the proposed site along Main Street could be increased, as Town Code requires less than 60% of impervious surface, and while it does appear that this proposed project meets that, that information should be added to the Data Table.

Referring to the parking spaces on the west side that appear to be on the adjoining property, Mr. Lahti asked for an explanation of that as well as the scale of the project.

Mr. Metzger stated that as far as the scale of the proposed project is concerned, there are several large buildings in the area including two churches, school, and an office building across the street on Main Street. They do feel that this proposed project and the buildings within it would be consistent with the area.

Regarding the parking on the west side, Mr. Metzger explained that they have an easement with the church and will provide documentation to the Planning Office.

Chairman Sackett added that while it is true that there are several large buildings in the area of this proposed project, the fact remains that a variance is needed for the height of the buildings. There have been other three-story buildings in the town that are not as high, because adjustments were made in order to reduce the height.

Chairman Sackett asked the applicant to be sure that a variance is needed, and be willing to discuss that in detail.

In regard to Public Participation, the following residents spoke:

1. Brian Panzer of 8545 Nottingham Terrace:

- regarding the east exit on to Main Street, what is the proximity to the driveway across the street, and if it will cause issues during peak times
- pleased to see an improved view and layouts of the existing site

Chairman Sackett stated that though there have not been any trip generators at this time, this is one of the reasons a Coordinated Review is done, and the Department of Transportation (DOT) is included.

2. Michele Panzer of 8545 Nottingham Terrace:

- a drive-thru was mentioned, would like to have that addressed to provide more information

With no one else wishing to be heard, Public Participation was closed for this project at this time.

Chairman Sackett explained that trip generation also deals with alignment and left hand turns.

PB 10-2-2024

Mr. Metzger explained that the existing driveway on the proposed site does not line up perfectly with the driveway across the street, and the existing entrance will remain and be used. With the alignment of the buildings as they are now, it makes sense for the driveway to remain as it is currently.

Mr. Metzger noted that what is shown with the two separate smaller entrances will be much more controlled and be a vast difference from what it is currently.

Regarding the proposed drive-thru, Mr. Metzger explained that this is the conceptual stage of the process, and they do not have any tenants lined up at this point. They want to make sure that they have availability for any potential drive-thru tenants that may present themselves. They will be happy to work with the Planning Board and the Planning Board Executive Committee on the mechanics of a potential drive-thru as the project progresses.

Regarding curb cuts, Chairman Sackett noted that the location of the proposed project fits when it concerns buildings, and asked Mr. Metzger if they have any idea of trip generation numbers. Chairman Sackett explained that trip generation will indicate whether the exit will produce a problem.

Mr. Metzger stated that they have not run any numbers yet, but he does believe that generally speaking, commercial projects are a much larger generator of traffic than residential. Although they are proposing more residential area than what is existing on the site, the commercial component will be reduced by 25%.

Mrs. Salvati asked for clarification that Mr. Metzger means a reduction of 25% over what is there currently.

Mr. Metzger responded yes; the site currently has just over 26,000 sq. ft. of Commercial space, and they are reducing it to just over 20,000 sq. ft. of Commercial space.

Chairman Sackett noted that these issues will be addressed in the Coordinated Review.

Mrs. Salvati pointed out that the height needs to be added to the Site Data Table.

Mrs. Salvati stated that this site is significantly overparked with a proposed 205 spaces. Reducing the parking would open the possibility for additional greenspace along Main Street.

Mr. Metzger explained that they will refine that as well, because there would be an expectation that a restaurant will be a potential tenant of the proposed project.

Mr. Metzger noted that the TND zone is geared more towards pedestrian traffic and on-street parking similar to The Hollow.

Mrs. Salvati stated that there will be businesses that are not open in the evening when a restaurant is, which would reduce the need for so much additional parking.

RB 10-2-2024

ACTION:

Motion by Jason Lahti, seconded by Wendy Salvati, that pursuant to Article 8 of the Environmental Conservation Law, to **accept** the Part 1 Environmental Assessment Form as submitted and to seek Lead Agency status and **commence a coordinated review** among involved and interested agencies on the Visone Co. Site Development, LLC. mixed-use project at 8560-8574 Main Street, in the Traditional Neighborhood District and Residential Single-Family zone. This Type I Action involves the rezoning of the rear of the property to Traditional Neighborhood District, and construction of 41 multiple-family residential units and approximately 8,801 sq. ft. of commercial space.

Daniel Tytko	Aye	Jason Lahti	Aye	Jason Geasling	Aye
Gregory Todaro	Aye	Wendy Salvati	Aye	Richard Bigler	Aye
Robert Sackett	Aye				

MOTION CARRIED

PB 10-2-2024

TB 9-11-2024

Visone Co. Site Development, LLC. (Jake Metzger, Metzger Civil Engineering & Brianne Frawley and Tom Celik of Visone Co.) at 8560-8574 Main Street, North side Main Street, east of Harris Hill Road. Six existing parcels totaling approximately 7- acres, located in the Traditional Neighborhood District and Residential Single-Family zones. The applicant is requesting preliminary Conceptual review of a proposed mixed-use project containing multiple-family housing and commercial space. Three new structures are proposed; two three-story mixed-use structures along Main Street, and one townhome structure at the middle of the site. Two existing structures are to remain, the rear apartment building and the rear portion of the western plaza building. This would result in a total of 49 apartments, 41 newly proposed; and a total of 20,611 sqft of commercial space, 8,801 sqft newly proposed. This proposal was previously on the Town Board work session agenda of April 10th and July 10th. Due to comments received, the applicant and project architect met with the Planning Department and modified the architectural style of the proposed mixed-use buildings. The proposed buildings now feature gable pitched roofs, and a mixture of building materials and façade elements. Additionally, the existing site has received maintenance; including the removal of signage associated with previously closed businesses, lawn and vegetation control, and the reduction of duplicative real estate signage at the plaza. A referral to the Planning Board would allow for a thorough review of this proposal.

Jake Metzger, Metzger Civil Engineering & Brianne Frawley and Tom Celik of Visone Co were all available for questions.

Supervisor Casilio asked if the existing amounts of apartments come into play for the amount of green space or is it just the new ones.

Jonathan Bleuer stated no we look at the full build out including what exists.

Councilman DiCostanzo asked if there were eight apartments in the building in the back.

Jake Metzger stated there are six existing units.

Brianne Frawley stated there are two in the one building and six in the back building.

Supervisor Casilio stated that this is just a motion to send this to the Planning Board, which is a vast improvement to the property. The whole down town Harris Hill area will benefit from this with the retail space you are bringing to the area. Many people were very upset when Paula's moved out.

Councilman DiCostanzo commented that they will need a few variances.

Jonathan Bleuer stated yes, they will which they will have to analyze that closely. Yes, there is a third story component above the multi-family housing. The addition of the gable pitched roof has added height to the structures so we definitely have to analyze those things. Whatever variances are required would be after a potential SEQRA determination by the Planning Board.

Councilman Altieri asked when the rear building would be demolished.

Jake Metzger stated after this project is complete, right now we have tenants living in that unit so that building will stay.

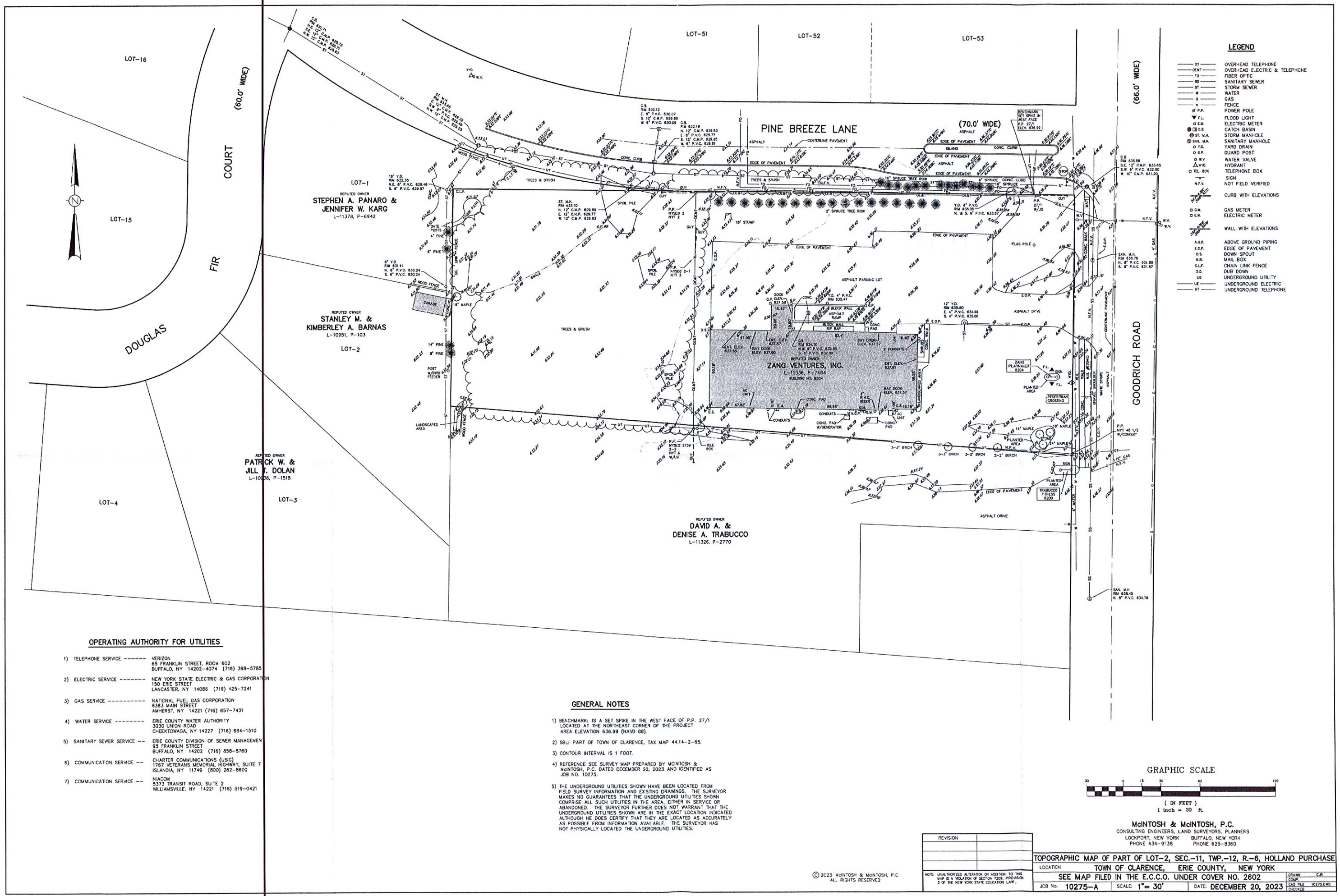
Councilman Shear asked if you are planning to build this in stages. Earlier we theoretically were led to believe it would be one stage.

Brianne Frawley stated that this building is not part of the project, that building will remain. It could be done in stages but that is not our intent at this time. Demo could be a different stage but the intent again is one stage.

Motion by Councilman Altieri, seconded by Councilman DiCostanzo to refer the request of the applicant, Visone Co. Site Development, LLC., at 8560-8574 Main Street, to the Planning Board for preliminary Conceptual review of a proposed mixed-use project containing multiple-family housing, and commercial space in the Traditional Neighborhood District.

Upon roll call – Ayes: All; Noes: None; Absent: Councilman Michnik: Motion carried.

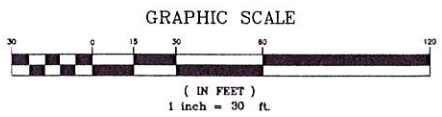
[illegible]



- LEGEND**
- OT OVERHEAD TELEPHONE
 - OE OVERHEAD ELECTRIC & TELEPHONE
 - FO FIBER OPTIC
 - SS SANITARY SEWER
 - ST STORM SEWER
 - W WATER
 - G GAS
 - F FENCE
 - PP POWER POLE
 - FL FLOOD LIGHT
 - EM ELECTRIC METER
 - CB CATCH BASIN
 - SM STORM MANHOLE
 - SD SANITARY MANHOLE
 - YD YARD DRAIN
 - GP GUARD POST
 - WV WATER VALVE
 - HY HYDRANT
 - TB TELEPHONE BOX
 - SN SIGN
 - NFV NOT FIELD VERIFIED
 - CE CURB WITH ELEVATIONS
 - GM GAS METER
 - EM ELECTRIC METER
 - WE WALL WITH ELEVATIONS
 - AGP ABOVE GROUND PIPING
 - EP EDGE OF PAVEMENT
 - DS DOWN SPOUT
 - MB MAIL BOX
 - CLF CHAIN LINK FENCE
 - DB DUB DOWN
 - UG UNDERGROUND UTILITY
 - UE UNDERGROUND ELECTRIC
 - UT UNDERGROUND TELEPHONE

- OPERATING AUTHORITY FOR UTILITIES**
- 1) TELEPHONE SERVICE ----- VERIZON
65 FRANKLIN STREET, ROOM 602
BUFFALO, NY 14202-4074 (716) 398-5785
 - 2) ELECTRIC SERVICE ----- NEW YORK STATE ELECTRIC & GAS CORPORATION
150 ERIE STREET
LANCASTER, NY 14086 (716) 425-7241
 - 3) GAS SERVICE ----- NATIONAL FUEL GAS CORPORATION
3353 MAIN STREET
AMHERST, NY 14221 (716) 857-7431
 - 4) WATER SERVICE ----- ERIE COUNTY WATER AUTHORITY
3030 UNION ROAD
CHEEKTOWAGA, NY 14227 (716) 684-1510
 - 5) SANITARY SEWER SERVICE --- ERIE COUNTY DIVISION OF SEWER MANAGEMENT
95 FRANKLIN STREET
BUFFALO, NY 14202 (716) 858-8780
 - 6) COMMUNICATION SERVICE --- CHARTER COMMUNICATIONS (USC)
1787 VETERANS MEMORIAL HIGHWAY, SUITE 7
ISLANDIA, NY 11749 (800) 262-8600
 - 7) COMMUNICATION SERVICE --- NIACOM
5373 TRANSIT ROAD, SUITE 2
WILLIAMSVILLE, NY 14221 (716) 519-0421

- GENERAL NOTES**
- 1) BENCHMARK: IS A SET SPIKE IN THE WEST FACE OF P.P. 27/1 LOCATED AT THE NORTHEAST CORNER OF THE PROJECT AREA ELEVATION 636.99 (NAVD 88).
 - 2) SBL: PART OF TOWN OF CLARENCE, TAX MAP 44.14-2-85.
 - 3) CONTOUR INTERVAL IS 1 FOOT.
 - 4) REFERENCE SEE SURVEY MAP PREPARED BY MCINTOSH & MCINTOSH, P.C. DATED DECEMBER 20, 2023 AND IDENTIFIED AS JOB NO. 10275.
 - 5) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



McINTOSH & McINTOSH, P.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS
LOCKPORT, NEW YORK BUFFALO, NEW YORK
PHONE 434-9138 PHONE 625-8360

TOPOGRAPHIC MAP OF PART OF LOT-2, SEC.-11, TWP.-12, R.-6, HOLLAND PURCHASE

LOCATION: TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

SEE MAP FILED IN THE E.C.C.O. UNDER COVER NO. 2802

JOB No. 10275-A SCALE: 1"= 30' DATE: DECEMBER 20, 2023

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 7208, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

CREATED BY: JRM
CHECKED BY: JRM

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Site Data		
TOTAL SITE AREA = 2.10 ACRES		
ZONED: COMMERCIAL		
USE: PROPOSED BUILDING ADDITION		
SETBACKS - BUILDING		
FRONT:	REQUIRED 10 FT MIN. / 20 FT MAX.	PROVIDED 123.51' "
SIDE:	25 FT MIN.	54.46 FT MIN. "
REAR:	25 FT MIN.	54.50 FT MIN.
SIDE/REAR (ADJACING RESIDENTIAL):	45 FT MIN.	54.50 FT MIN.
SETBACKS - PARKING		
ADJACING RESIDENTIAL:	45 FT	45.76 FT MIN.
OTHER PROPERTY LINES:	5 FT	+ 5 FT
MAX BUILDING HEIGHT:		
	45 FT	< 45 FT
LOT COVERAGE:		
	70% (1.47 AC)	49.5% (1.04 AC)
PARKING (TOTAL SITE): 9 x 19		
	34	39

*EXISTING NON-COMFORMING

**VARIANCE REQUIRED

PARKING CALCULATION:
MANUFACTURING/WAREHOUSING/LIGHT ASSEMBLY
1 PER EMPLOYEE OF MAX. SHIFT, 1 PER 200 SF OF OFFICE
25 EMPLOYEES + 1,775 SF / 200' = 39 SPACES REQUIRED

N
Site Plan
SCALE: 1"=30'

SITE LEGEND	
PROPERTY LINE	---
PROPOSED SIDEWALK / CONCRETE PAD	▨
NUMBER OF PARKING SPACES	Ⓣ
PROPOSED DOG	▼
PROPOSED "WARRANTY DUTY" CONSOLE PROPERTY"	▬
PROPOSED LIGHT POLE	⊥

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS.
CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



CARMINA WOOD
DESIGN
Buffalo | Utica | Greensboro

Proposed Building Addition
6204 Goodrich Road
Clarence, NY

REVISIONS:	No.	Description	Date

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWING NAME:
Site Plan
Concept

Date: 1/24/25
Drawn By: C. Wood
Scale: As Noted

DRAWING NO.
C-100
Project No: 24-4166

WARNING: It is a violation of article 145 of the New York State Education Law for a registered architect, licensed engineer or land surveyor to alter this drawing. If altered, sign R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date the notation "Altered By" and a specific description of the alteration.

1. ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
2. ALL TREE PIT SACKS, SHRUB BEDS, PERENNIAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE "PRETreated HERBICIDE AND THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
3. ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL BLENDED MIXTURE OF SOFT PEAT MOSS & NON SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE "PRETreated HERBICIDE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
4. ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE TIES AS PER TREE PLANTING DETAIL.

1. ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, JAN. AND 26.1
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF. THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
3. THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUAL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
4. THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 10' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
5. ALL TREES SHALL BE INSTALLED A MINIMUM OF 30' FROM ANY OVERHEAD ELECTRIC LINES.
6. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL, 1 PART PEAT MOSS, & 2 PART MULCH/GRAVITATE.
7. STAKE TREES IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF SPREADED HARDWOOD BARK MULCH WITH "PREEN".
9. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING ROUGH-INS) SHALL BE SEEDDED.

10. THE AREAS ON THE PLAN TO BE SEEDBED SHALL HAVE 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELLED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.

11. ALL SEEDBED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING, SOO MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDBED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF SPOT SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.

PERENNIAL

CELESTINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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ption

DRAWING NAME:
Landscape Plan

DRAWING NO.

Project No: 24-4166

Proposed Building Addition
6204 Goodrich Road
Clarence, NY

Item 1

Zang Ventures, Inc.
Commercial

Request Conceptual review of a proposed building addition to accommodate warehousing and complementary commercial uses at 6204 Goodrich Road.

DISCUSSION:

Mr. Schaefer introduced this project, 6204 Goodrich Road—southwest corner of Goodrich Road and Pine Breeze Lane.

The existing 2.1-acre parcel contains an existing business operation in the commercial zone.

The applicant is requesting a preliminary Conceptual review of a proposed 9,000 sqft warehouse addition to the rear of the existing building, with associated facilities. The space is proposed to be used for complementary business operations such as existing warehousing, athletic training, sales, and other complementary uses.

The Town Board referred the proposal to the Planning Board in March. The initiation of a coordinated review under the State Environmental Quality Review Act ("SEQRA") will allow for involved agencies and interested parties to comment.

Note: The applicant is requesting a side yard setback Variance for the proposed addition, which will be subject to review and approval by the Zoning Board of Appeals.

Deputy Town Attorney David Donohue recused himself from the Discussion.

Patrick Sheedy of Carmina Wood Design was present to represent the project.

Mr. Sheedy wanted to add to Mr. Schaefer's introduction of the project that they are adding 15 parking spaces on site to the additional parking spaces that are currently there.

Mr. Lahti inquired about the accuracy of the information provided in EAF part 1, which indicated that no permit approval or funding from any government agency was required.

Mr. Sheedy indicated that he did not anticipate requiring approval from external agencies, as all necessary procedures would be managed through the Town of Clarence.

Chairman Sackett asked Mr. Sheedy if there was a septic system.

PB 4-16-2025

Pat Sheedy responded that there is an existing septic system.

Chairman Sackett asked Mr. Sheedy if the Erie County Health Department needs to approve the septic system for the new building and its increased capacity.

Mr. Sheedy responded that they probably would.

Mr. Sackett repeated that there will be a need for another agency.

Mr. Sheedy said yes, and we can add this to the list.

Mr. Lahti asked Mr. Sheedy about their need for the requested variance, as the Town's recommended setback is 25 feet, and the project is showing the setback at 5 feet and 2 inches to the property line.

Although it is not the Town's purview to approve or disapprove, the Town likes to stay consistent and consult the applicants of the requested setback of 25 feet.

Mr. Sheedy responded to Mr. Lahti's question and explained the need for the variance. The addition is going to face the southern façade of the building and subject to the existing angle of the property line to the south is where the variance is coming into play. They have to keep the angle of the building to the angle of the property line and it creates a pinch point there. They cannot meet the 25-foot setback. He also stated that the existing building is only 15 feet setback.

Mr. Lahti said they are starting a coordinated review but have not approved anything yet, and future plans must address lighting, buffers, maintenance, and impacts on nearby residential properties.

Chairman Sackett asked what the buffer would be, as currently, there is a substantial buffer of trees to the west.

Mr. Sheedy stated that their objective is to preserve as much of the existing vegetation as possible, and they are mandated by code to maintain a 45-foot greenbelt between the proposed site and the neighboring residents. He further stated that the approximate width would be within a 25-foot range of what could be preserved and what would be disturbed for construction. They would propose additional landscaping to re-establish that buffer.

Chairman Sackett wanted clarification on how he would obtain the required 45-foot buffer.

Mr. Sheedy clarified Chairman Sackett's question and said there would be 25 feet of existing vegetation, and the 45-foot requirement would be a combination of the existing and the new proposed landscaping and open grass area.

Chairman Sackett asked if the variance that they are seeking is part of the side yard setback.

Mr. Sheedy said they are requesting a variance for the south side of the property.

In regard to Public Participation, the following residents spoke:

Thomas Brown of 944 3D Heritage Path:

PB 4-16-2025

- PB 4-16-2025
- He would like to know what the primary activity is going to be.
 - Because the project referenced warehousing, he would like to know if they have an estimate of the traffic coming in and out.
 - He also wanted clarification on what they mean by accommodating warehousing and complementary commercial uses.
 - He inquired whether materials would be placed on pallets and not involve the dumping of products, dump trucks, or tailgates.

Pat Dolan of 9421 Douglas Fir:

- His biggest concern is the buffer and the impact that it is going to have on his yard from his previous experiences with other neighboring properties that have cleared land.
- He is also concerned about how close the proposed pond will be.

Chairman Sackett requested Mr. Sheedy back to the podium.

Chairman Sackett asked Mr. Sheedy to talk a little more about the primary activity, complimentary uses, lighting, and the pond, and who would regulate that.

Mr. Sheedy stated that the primary use of the building will continue to be by the Zangs' current business, as they own and operate an electrical equipment and distribution company. An additional use of the building is for soccer training. The intention for the proposed project is for the athletic facility, as they have gained a lot of interest in sports. He is unsure of the Truck traffic and would have to confirm with the client. He also explained they will be submitting the landscape plan to the Landscape Committee and will do their best to keep the existing vegetation. The pond located on the northern side of the proposed parking area will be designed as a dry pond to collect stormwater runoff from the new parking lot addition. This will be captured and then routed to a catch basin on Pine Breeze Lane. The dry pond will be about 2 feet deep, and there will be a planted buffer along the property line between the pond and the roadway, along with the existing vegetation.

Chairman Sackett said he was vague on the activity and asked if he would be more specific about the types of activity, the hours of activity, and note truck traffic versus pedestrian and car traffic during the coordinated review. He is also asking for a letter addressing the intent for lighting and the buffer zone.

Mr. Sheedy agreed to include the information requested.

ACTION:

Motion by Jason Lahti, seconded by Gregory Todaro, that pursuant to Article 8 of the Environmental Conservation Law, to **accept** the Part 1 Environmental Assessment Form as amended and to seek Lead Agency status and **commence a coordinated review** among involved and interested agencies on the Zang Ventures project at 6204 Goodrich Road. This Unlisted action involves a building addition to accommodate existing warehousing and complementary uses in the Commercial zone.

Daniel Tytka	Aye	Jason Lahti	Aye	Gregory Todaro	Aye
Wendy Salvati	Aye	Richard Bigler	Aye	Robert Sackett	Aye

MOTION CARRIED

Zang Ventures, Inc. 6204 Goodrich Road. Southwest corner of Goodrich Road and Pine Breeze Lane. This is a 2.1-acre parcel containing an existing business operation in the Commercial zone. The applicant is requesting preliminary conceptual review of a proposed 9,000 sq ft warehouse addition to the rear of the existing building, with associated facilities. The space is proposed to be used for complimentary business operations such as warehousing, athletic training, and sales. A referral to the Planning Board would allow for a thorough review of this proposal. The applicant is requesting a side yard setback variance for the proposed addition, which will be subject to review and approval by the Zoning Board of Appeals.

Michael Zang was present to answer any questions.

Mr. Zang explained the plan would be to add a 9,000 sq ft addition onto the current space which is approximately 10,000 sq ft. The goal would be to make this congruent with the current

3/12/25
TB
building from a setting stand point so it would be right in line and the same width of the current building and running from the east part of the building over west into the back acre of our property. The purpose of this is twofold. Currently our family business is stationed in the rear 4,000 sq ft of the current building. Our operations are such that we are in need of more space, primarily for inventory but also for some personnel. The plan would be to acquire a portion of that new space, approximately 3,000 sq ft. The remaining 6,000 sq ft would be dedicated to local business, similar to what is renting the front portion of our building. Currently we have a sports trainer who does small volume work.

Supervisor Casilio said the only thing he is concerned about with these types of set ups is all of a sudden we have outside parking for lawnmowers, trailers and things like that. That will be something that is discussed at the Planning Board level. I'm not saying it is impossible, but if that is something you need it would have to be fenced off with a privacy fence.

Mr. Zang said there is a forty-five-foot green space built around this space on the north and west side to protect the neighbors and with our family business residing there, the aesthetics are significant to us and we would be against anything being stored in that space. To that point, when the building was acquired in 2018, we also acquired the tenant that was there. That tenant was storing quite a bit in that parking lot, which was an eyesore. Our first step was to clean all that up and that has been our standard since we have been there.

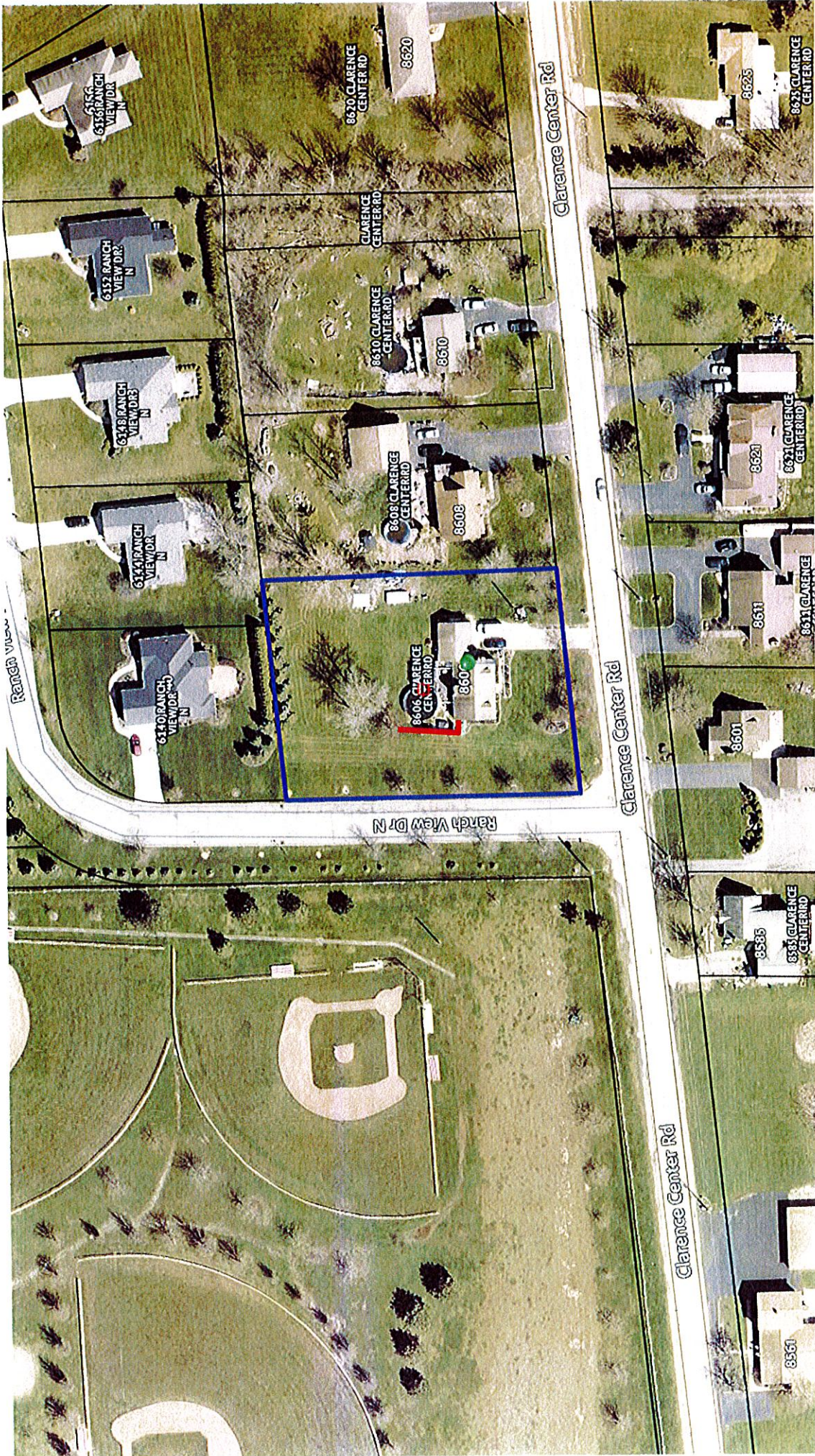
Supervisor Casilio commented, since your ownership the site has improved. You have done a lot of work cleaning it up and making it better.

Councilman Shear agreed. You have done a nice job on that piece of property. When this goes to the Planning Board, they will have a discussion with you on the amount of metal proposed on the building. Just so you know that discussion is coming.

Motion by Councilman Shear, seconded by Councilman DiCostanzo to refer the request of the applicant Zang Ventures, Inc. at 6204 Goodrich Road, to the Planning Board for preliminary conceptual review of a proposed building addition to accommodate warehousing and complimentary commercial uses, in the Commercial zone.

Upon roll call – Ayes: All; Noes: None; Absent: Councilmen Altieri and Michnik;
Motion carried.

[illegible]

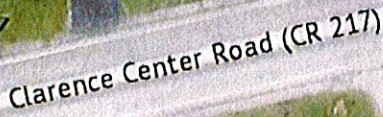


note the parcel lines displayed are approximate

8606 Clarence Center Road

Existing 8' fence located within front yard. The maximum allowed height for a fence extending into the front yard is 4'. A 4' variance is requested.

Note: A corner lot shall be considered to have two front yards from the public road right-of-way to the closest point of the principal structure.



Existing 8' fence located within front yard. The maximum allowed height for a fence extending into the front yard is 4'. A 4' variance is requested.

Note: A corner lot shall be considered to have two front yards from the public road right-of-way to the closest point of the principal structure.

[illegible]

Reasons we need an 8-foot fence:

When Tom and I put our pool in almost 20 years ago, we also built a fence along the outside edge of what was then considered our side yard. (We have just been told that we have 2 front yards, 1 side yard, and a back yard.

We did not even know this was a thing.) Jill owned the strip next to us at the time. We ended up putting lattice across the top due to the fact that when standing on the deck, we could totally see the park, all the kids, and parents, and they could see us.

This fence stood for almost 20 years. It was painted twice, and it was repaired and reinforced numerous times. Because we live next to the park, there is no true wind barrier, and the fence took the brunt of full-on wind. Over the years, it leaned in; sometimes the boards became misshapened. We added support and replaced multiple boards. This summer, Tom said it was beyond repair. He said it was also bug-infested and that it needed to be replaced. We now knew that the supports needed to go down close to 4 feet as the winds are so strong. Also, we put the boards up back and front instead of all next to each other so that the wind could pass through better and not fight the boards, warping them. This fence is on our property only, as we purchased that side piece about 14 years ago from Jill. It doesn't come close to blocking any

view of the turn into or out of Ranchview onto Clarence Center Road. There are no houses in my neighborhood that can even see this fence from their houses, where it could obstruct their vision of anything but our pool and deck. It is just to give us privacy to swim and sit on our deck. It also protects the children from seeing us in our swimsuits.


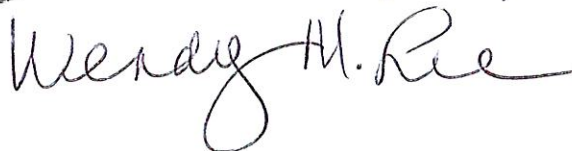
It still needs about another 4 ft. section, which we hope to then angle down to 4 ft, to then go around the back of the property. This is because we can still see the entire back end of diamond 4. I can attest that for the week or two that the old fence was down, neither I nor my children were at all able to comfortably use our deck or pool. We completely felt like we were on display.

When we bought our house, we did not even know that Ranchview was going to be built. I grew up on this street and watched most of the changes. I got married and moved away, and 10 years later, we moved to our current home, completely unaware of the plans to build that development. It was 2 years of dirt and dust and trucks basically at my front door. The Boy Scouts planted tiny evergreens one year, and we thought eventually that would be a nice barrier. Most of what survived the wind is nice. The area that the wind ruined is across from my fence.

Our Deck comes off the back of the house and steps up to another deck that is at the pool. When we are standing on the pool deck, we are 5 feet off the ground. To have built this fence any shorter would have been a true waste of time and money, as there would be no privacy whatsoever. I truly do not intend to cause any trouble. I just want for myself, my family, and any friends who come over to be able to do so comfortably in our backyard and in our pool.

We plan to paint or stain this fence as soon as possible, as the wood needs to dry out. Then, as our budget allows, we would like to plant some shrubs and flowers. I do not feel that this fence is an eyesore in any way, and everyone who has stopped tells us how nice it looks. As you will be able to see from our photos, it's not a large fence; it currently just covers most of the deck and pool area.

Sincerely,

Thomas and Wendy Lee



Photo 1: From Park

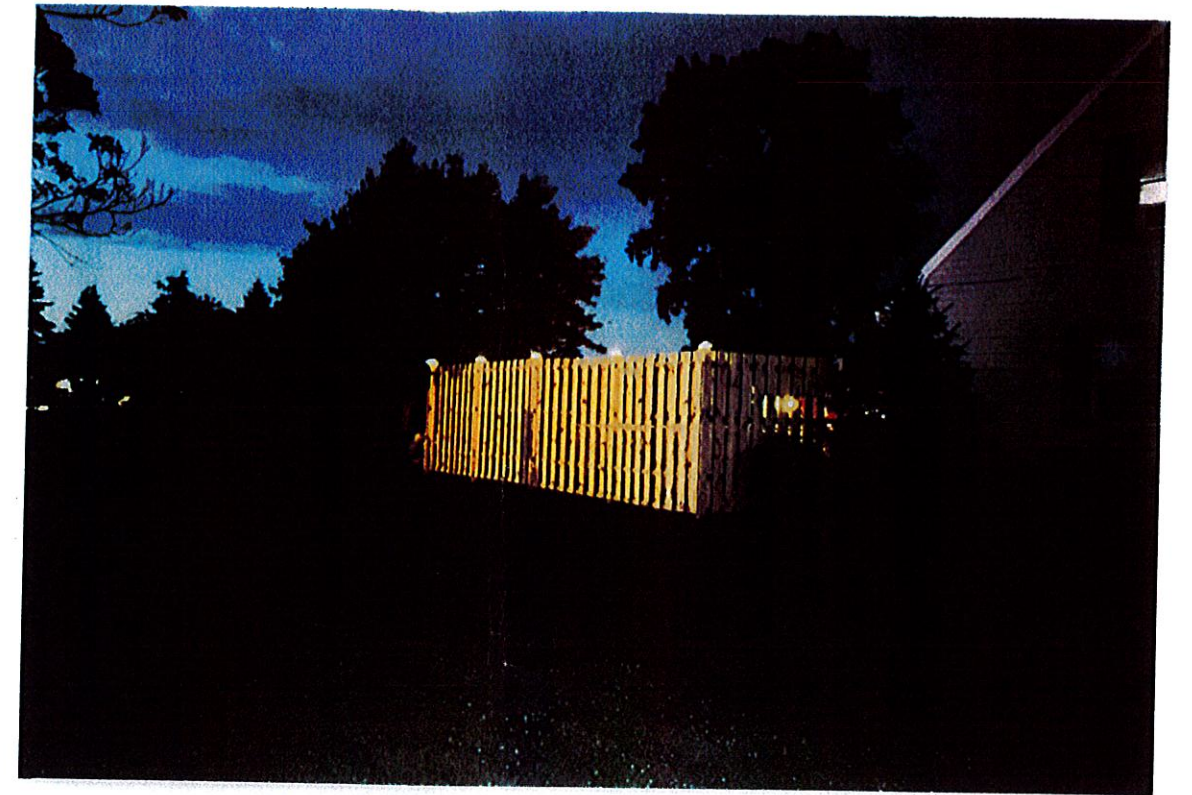


Photo 2: Lights

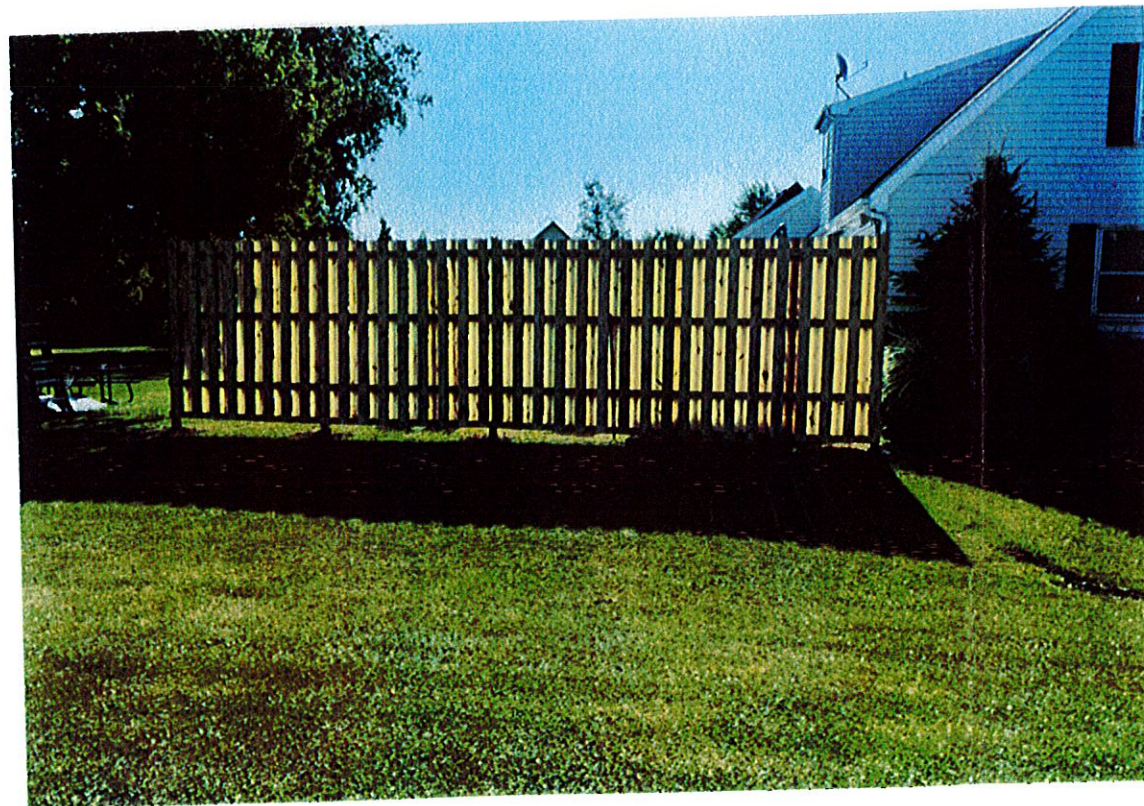


Photo 3: Fence

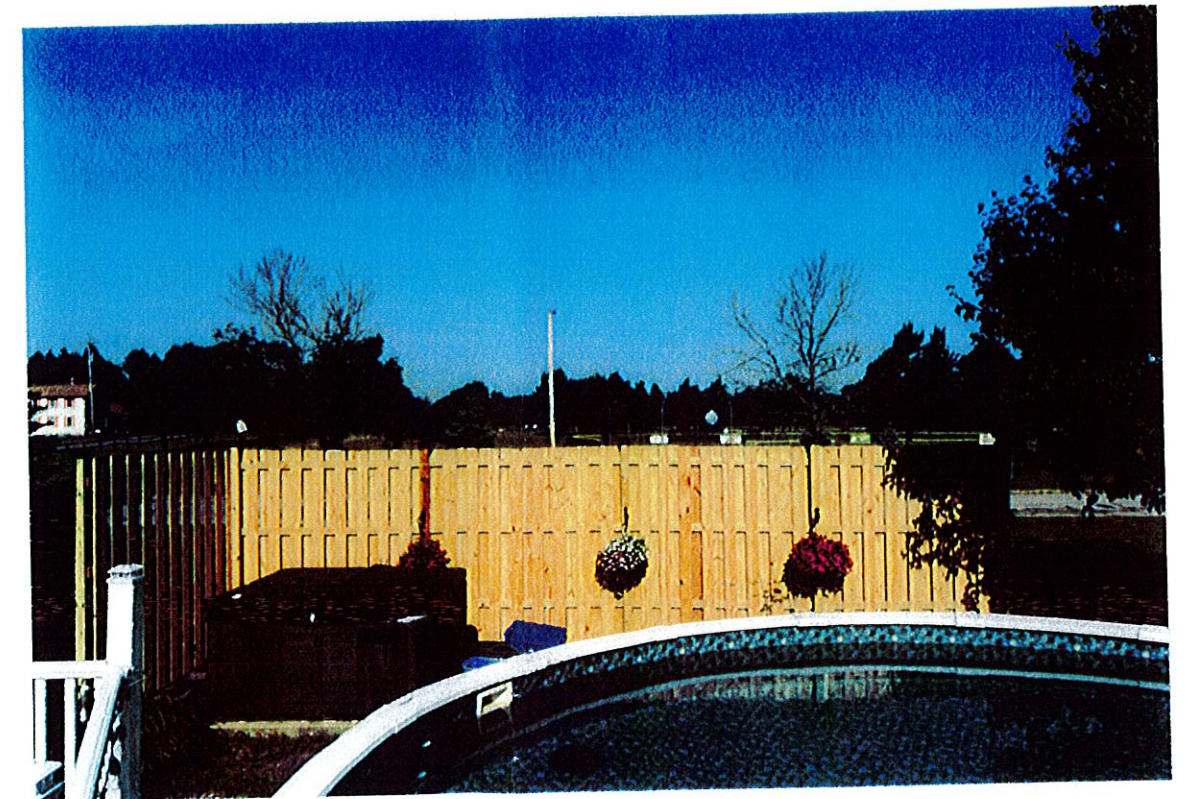


Photo 4: Inside View

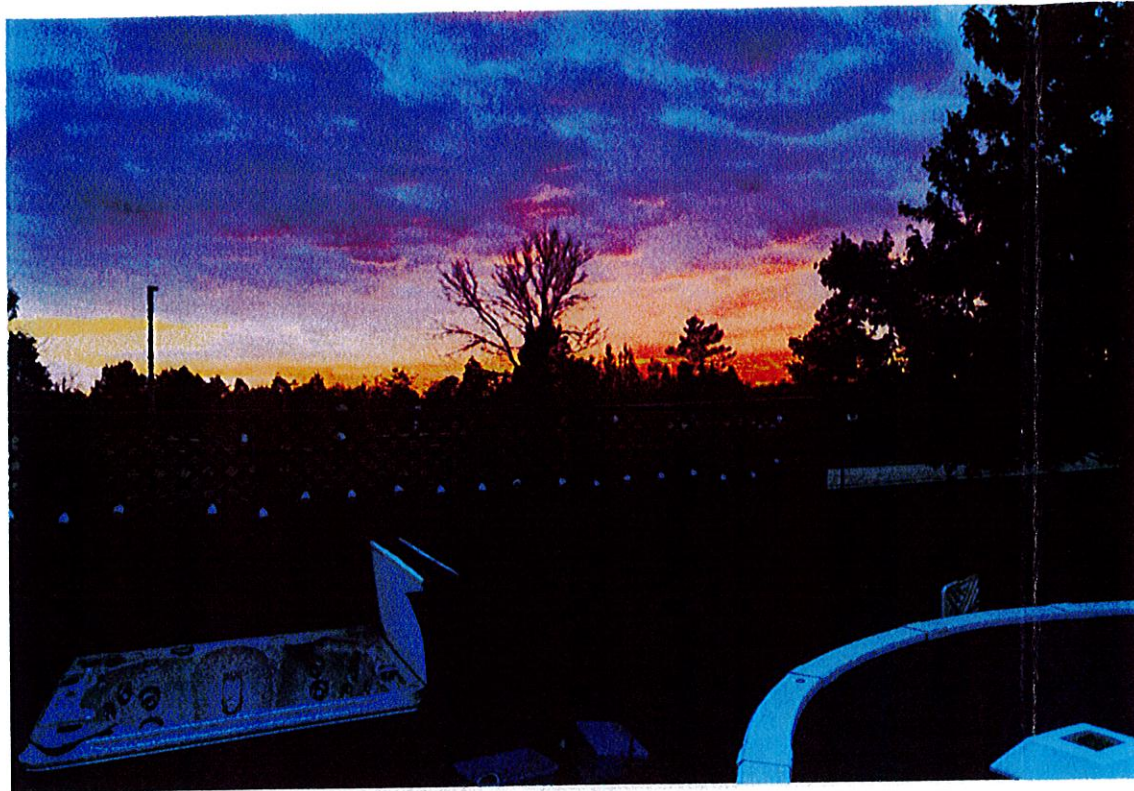


Photo 5: Old 8 ft Fence



Photo 6: Hope to add 4 more feet to cover this area ~~outside~~ in the future.



Photo 7: Fence and park



Photo 8: Dead trees across from my fence



Photo 9: From park to my fence

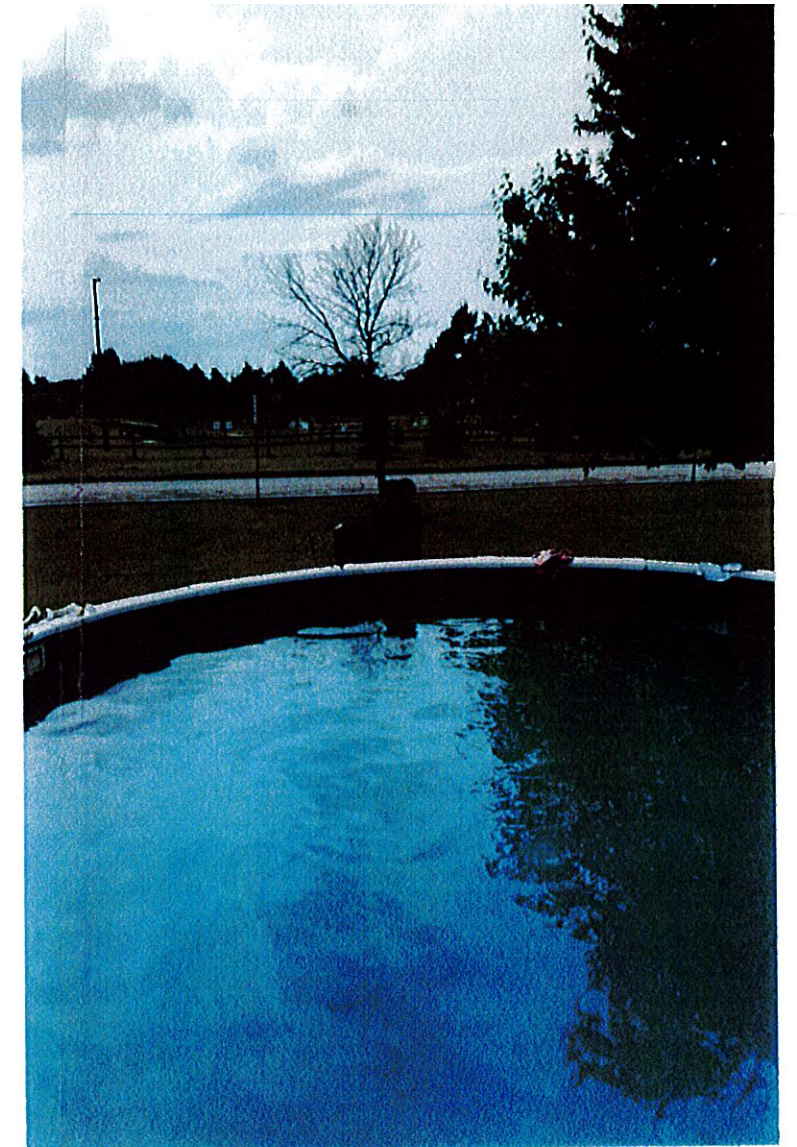


Photo 10: Without fence

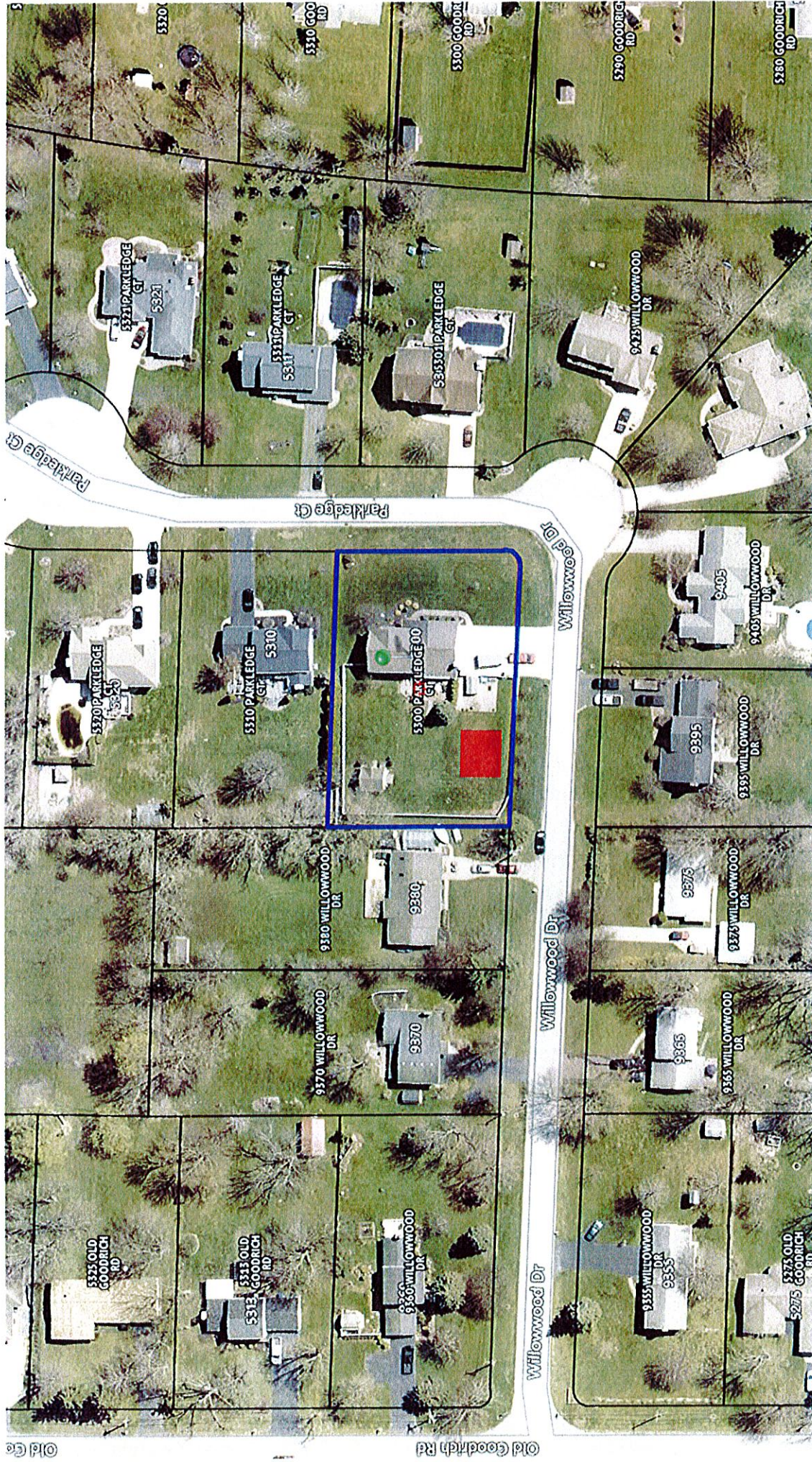


Photo 11: Standing on Ranchview Dr.



Photo 12: Missing trees due to high winds from the park

[illegible]



*** note the parcel lines displayed are approximate ***

5300 Park Ledge Court



Proposed location of a swimming pool. Swimming pools shall not be located in the front yard.

Note: A corner lot shall be considered to have two front yards from the public road right-of-way to the closest point of the principal structure.

0102





Request for Action

Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

Town Use Only

Date: 7/24/25

Received By: Jon Bleuer

APPLICANT REQUEST:

Project Address: 5300 Parkledge Ct, Clarence, NY 14031

SBL #:

Action Desired: INSTALL POOL - VARIANCE TO INSTALL POOL within front yard setback

Reason: CAN NOT PUT POOL IN BACKYARD DUE TO SEPTIC
There also was a pool in this location in the past

CONTACT INFO:

APPLICANT INFO

Name / Business: FRANK LAFRATTA

E-Mail:

Phone #:

Address:

Town:

SIGNATURE

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

Signed:

PROJECT SPONSOR INFO (If Different Than Applicant)

Name / Business:

E-Mail:

Phone #:

Address:

Town:

State:

Zip:

CORRESPONDENCE

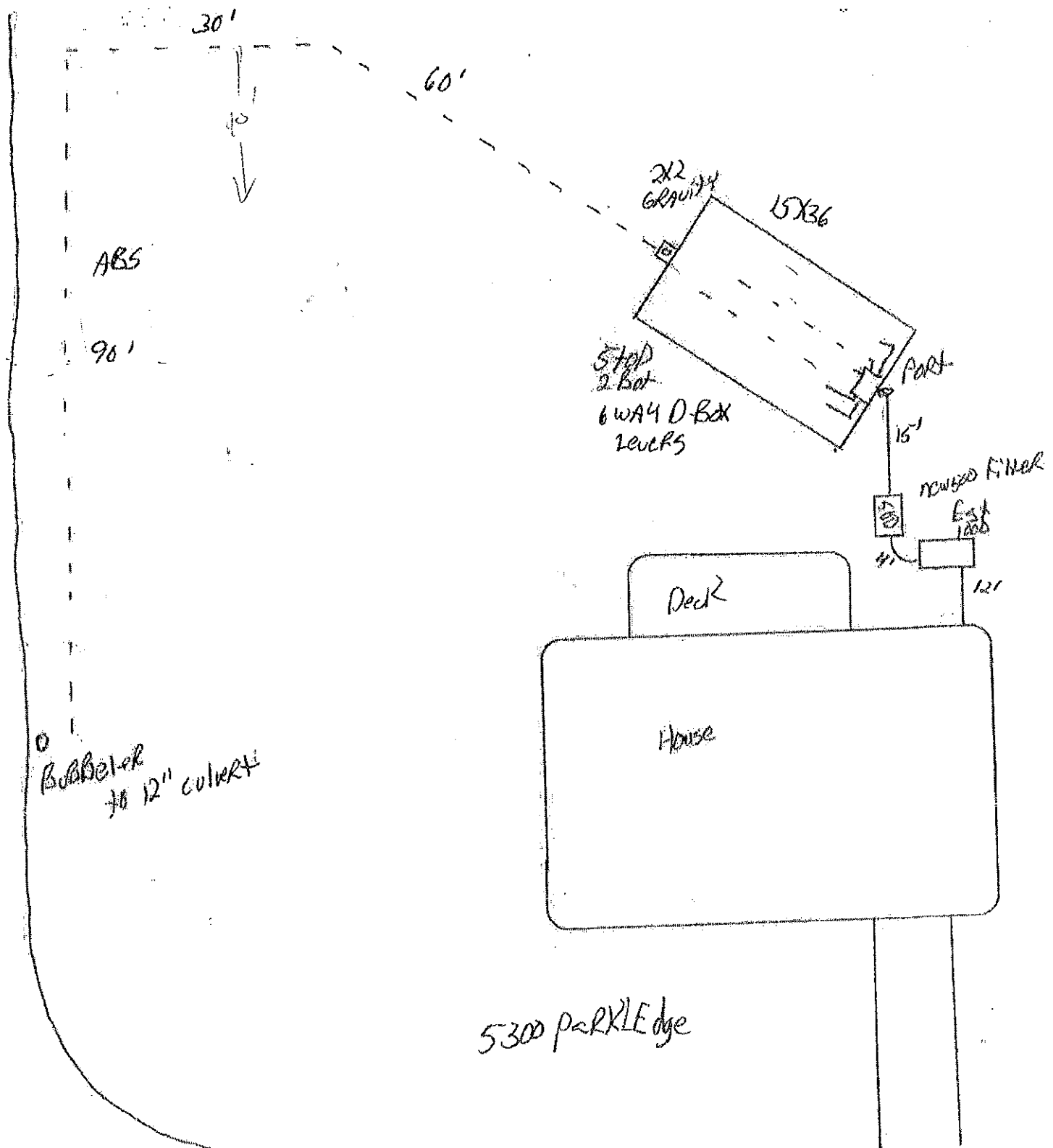
Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.

<input checked="" type="checkbox"/>	Applicant
<input type="checkbox"/>	Project Sponsor

Town Use Only:

Action: By: On: 7/24/25 Fee: \$50.00 Paid: 30 L.W.
Action: By: On: Fee: Paid:
Action: By: On: Fee: Paid:
Action: By: On: Fee: Paid:
Action: By: On: Fee: Paid:
Action: By: On: Fee: Paid:

10001



Example

WHITESAND

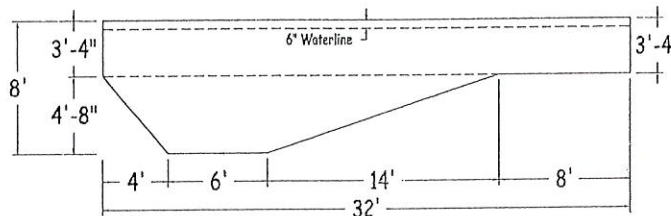
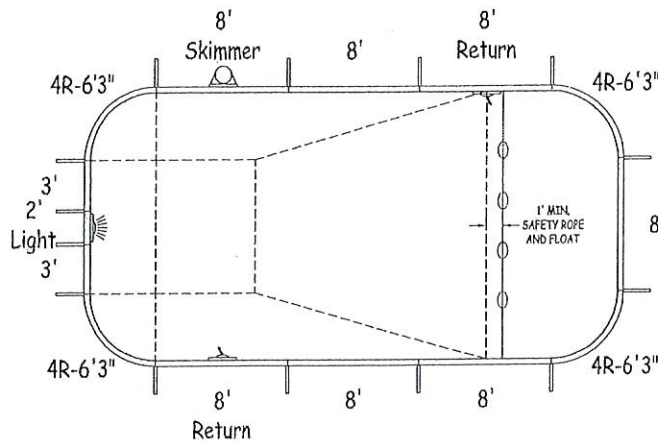
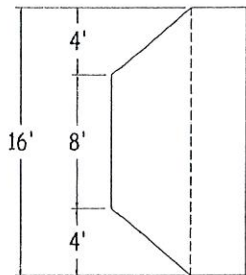


WHITEHAVEN W/ CRYSTAL QUARTZ
Destination Series / 27 Mil



LINER SHOWN: WHITEHAVEN

Example



CERT# ESR-2782

LATHAM
INTERNATIONAL

RECTANGLE-4FT RAD 16-0 X 32-0

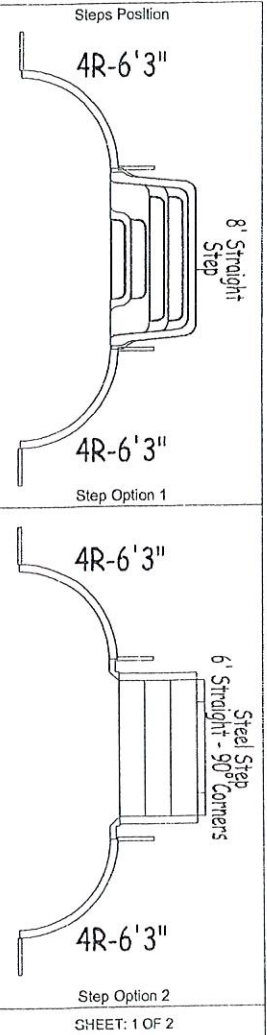
42" STEEL PANELS	PERIMETER: 89'-2"	VOLUME (US Gal): 18 000
DWG #: RE48S1632-10B	AREA (SqFt): 498	VOLUME (Litres): 68 000
PART#: RE48S1632	LINER AREA (SqFt): 512	DATE: 01/Jan/2010
	SAFETY COVER (SqFt): 612	SCALE: 1/8" = 1'-0"

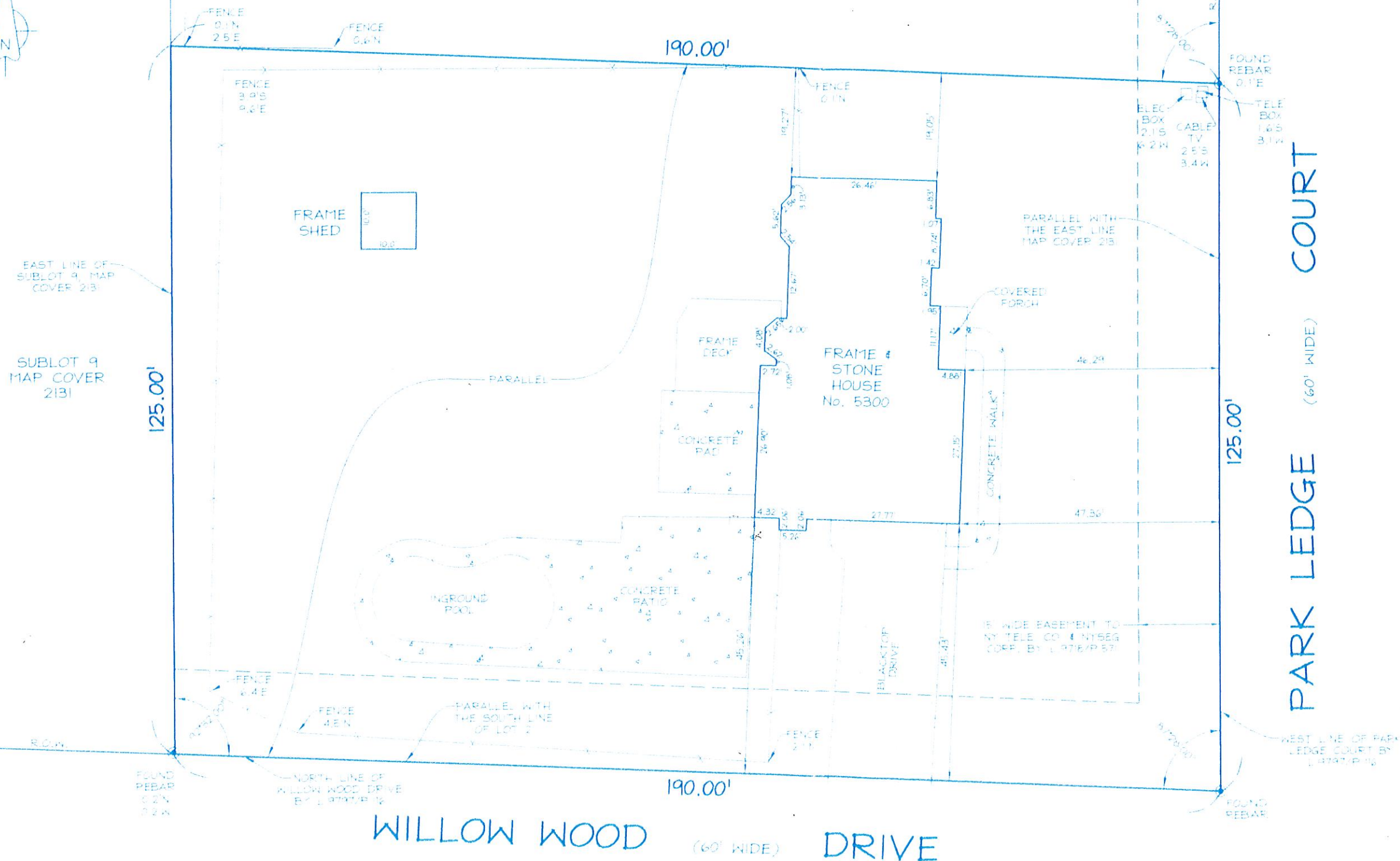
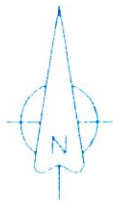


DIVING/SLIDING EQUIPMENT SHALL BE DESIGNED FOR SWIMMING POOLS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DIVING/SLIDING EQUIPMENT MANUFACTURER'S SPECIFICATIONS. PLEASE CONTACT THE DIVING/SLIDING EQUIPMENT MANUFACTURER FOR THEIR SPECIFICATIONS.

MEETS DEPTH AND SHAPE MINIMUM STANDARD ANSINSPIS-2003

RECTANGLE-4FT RAD






NO IRONS SET OR FOUND AT PROPERTY CORNERS UNLESS NOTED HEREON

This survey was prepared without the benefit of an abstract of title and is subject to any state of facts that may be revealed by an examination of such

Unauthorized alterations or additions to any survey, drawing, design, specification, plan or report is a violation of section 7209, provision 2 of the New York State Education Law.

PART OF LOT(S) : 2		SECTION : 10		TOWNSHIP : 12		RANGE : 6		
LOCATION : TOWN OF CLARENCE				COUNTY OF ERIE		STATE OF NEW YORK		SCALE: 1" = 20'
 Nussbaumer & Clark, Inc. Engineers and Surveyors 3556 Lake Shore Road Buffalo, New York 14219-494 (716) 827-8000				KIND	DATE	REQUESTED BY		JOB NO
				SURVEY	02/16/12	RANDY H. GUGINO, ATTORNEY AT LAW		12J2-0056

Accessions to the records of Grad Land Surveyors
Accessions to the records of Licensed Professional Land Surveyors

ZBA
mtg
7.10.07

Appeal No. 2

Mary Jane Dombek
Residential Single-Family

Requests the Board of Appeals approve and grant a 2' variance to allow a 6' fence in the Willow Wood front portion of an existing home/pool at 5300 Park Ledge Court.

Appeal No.2 is in variance to Section 101-3 (C2) Fence Regulations.

DISCUSSION:

Mary Jane Dombek explains that she had a 4' fence around the entire yard and around the pool. She lost parts of the fence due to the October 2006 storm; many trees which acted as a privacy fence were knocked down. She wants to install a 6' stockade fence because without the trees she no longer has privacy.

Mr. Mills asked why a 4' fence would not be sufficient. Mr. Dombek said his land slopes down and a 4' fence would not provide much privacy. Only the sloping portion of the property will be greater than 4'. The additional height is also for the benefit of the Dombek's dogs.

Mr. Michnik asked if the applicant would be willing to put a 4' fence on the Park Ledge area of the property and a 6' fence on the Willow Wood area. Mrs. Dombek asked what the reason was for this suggestion, Mr. Michnik said for safety reasons when you pull into the driveway. Mrs. Dombek said the proposed fence is not solid, you can still see through the fence. Mr. Dombek said they would prefer not to put up a 4' fence, they prefer the 6', but if they have to they will.

Mr. Henning asked if the applicant has considered shrubbery rather than a fence. Mrs. Dombek said with the pool, mosquitoes and bugs they would rather have the fence. The 4' foot fence has been there since they moved into the house, about 10 years ago, but there were also pine trees in this area to add to the privacy. Mr. Henning suggests a 4' fence and trees be installed similar to what was there prior to the October storm; Mrs. Dombek said she really does not want the bugs if additional trees were planted. Mr. Michnik suggests planting the trees on the outside of the fence. Mrs. Dombek said that is were the prior trees were and the bugs were still a problem. Mr. Henning did not see many other fences in the neighborhood, Mr. & Mrs. Dombek said there are other fences in the neighborhood.

Mr. Skaine asked if the applicant is going to put another section of fence to the south toward Willow Wood Drive. The applicant said yes.

ACTION:

Motion by Hans Mobius, seconded by Ryan Mills, to **approve** Appeal No. 2, as written.

ZBA
mtg
7.10.07

Raymond Skaine
Arthur Henning
Ryan Mills

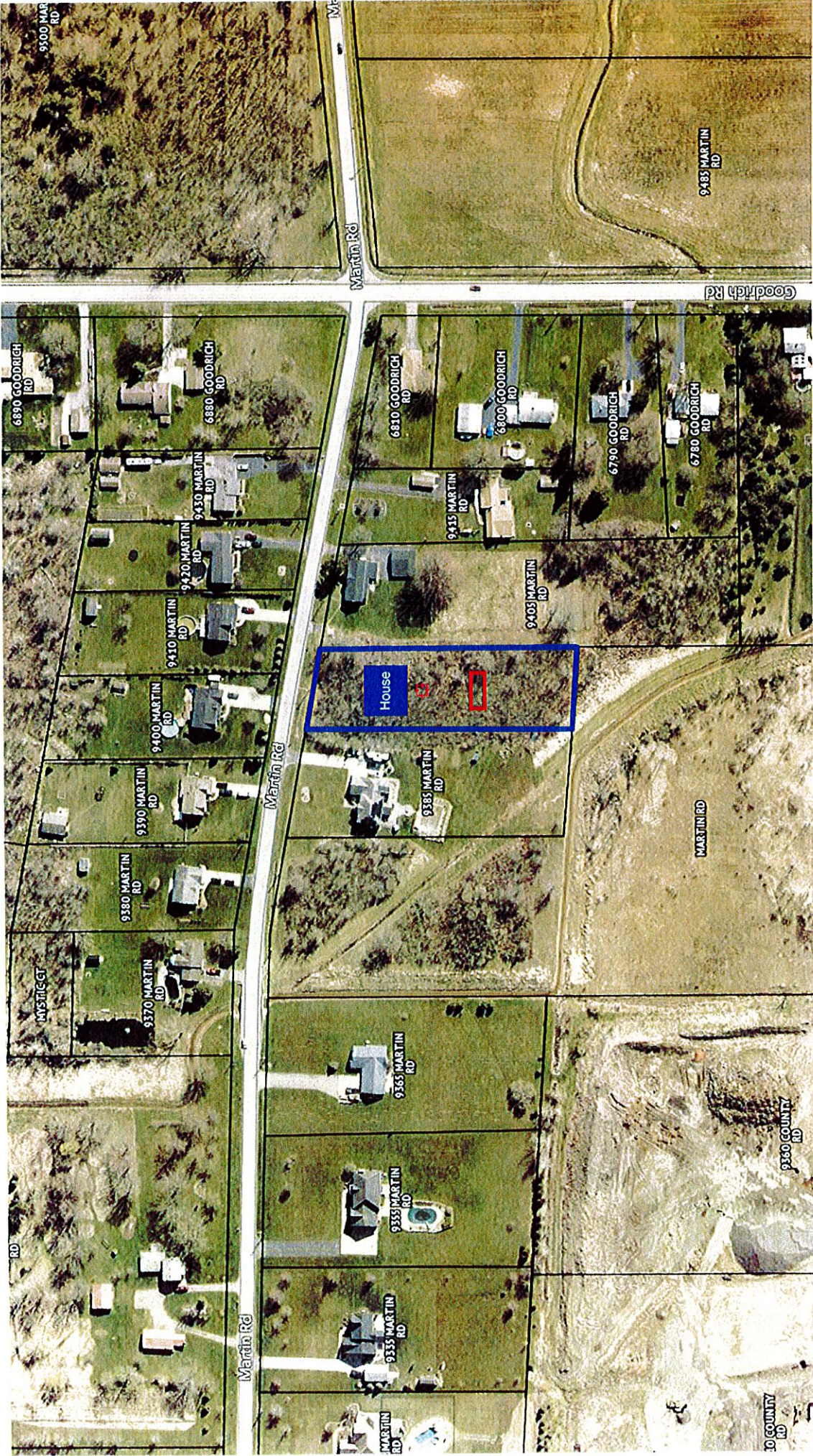
Aye
Aye
Aye

Daniel Michnik
Hans Mobius

Nay
Aye

MOTION CARRIED.

[illegible]



note the parcel lines displayed are approximate

9395 Martin Road



Proposed 8' fence located within rear yard to enclose a sports court.

The maximum allowed height for a residential fence is 6'.

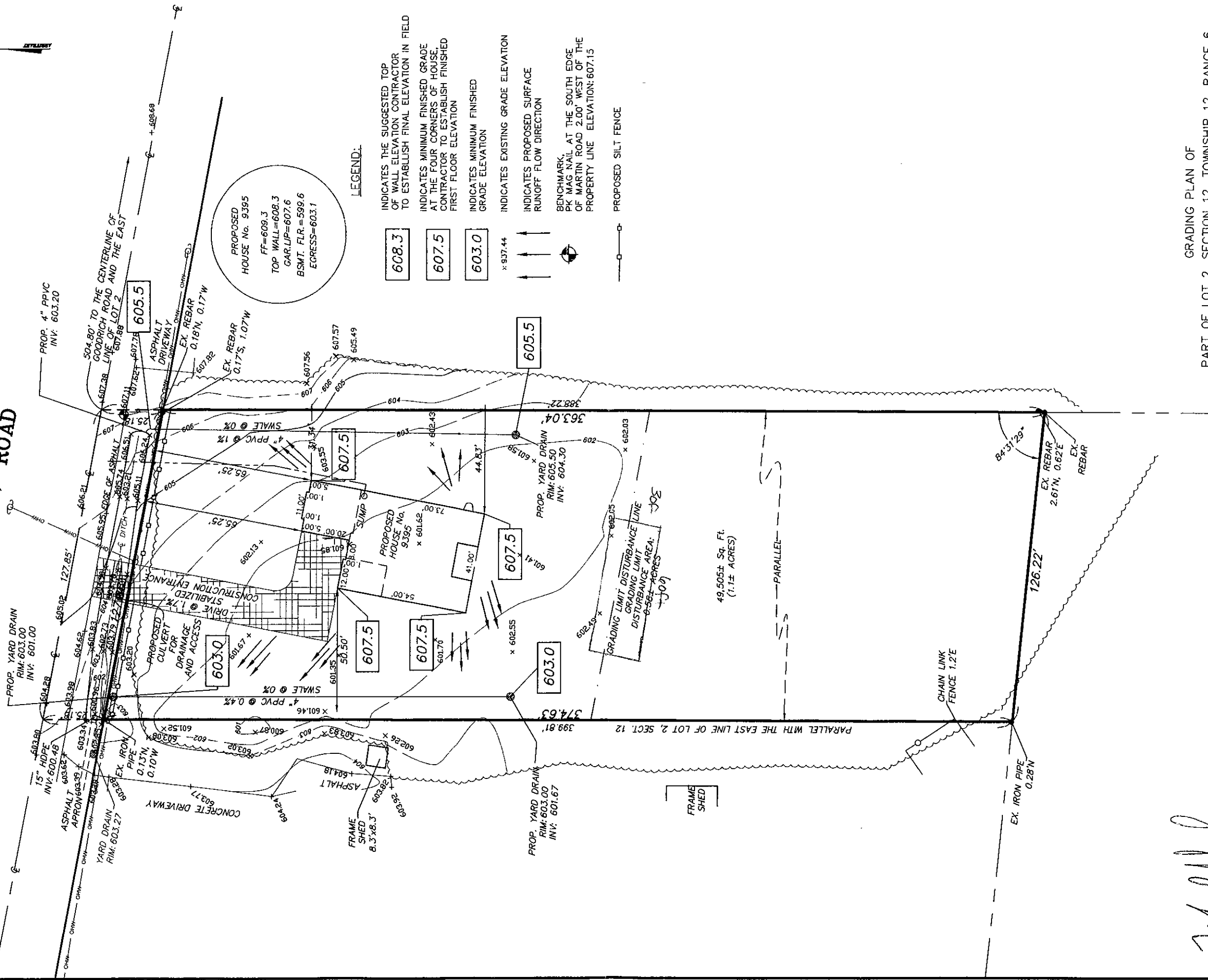
A 2' variance is requested.

Paid:

TOP OF FOUNDATION WALL TO BE NO MORE THAN THE
STANDARD 40" ABOVE CENTERLINE OF ROAD OR AS
DIRECTED BY TOWN ENGINEER.

SUMP & ROOF LEADERS TO DISCHARGE INTO PUBLIC DITCH

MARTIN (49.5' WIDE) ROAD



W. J. J.

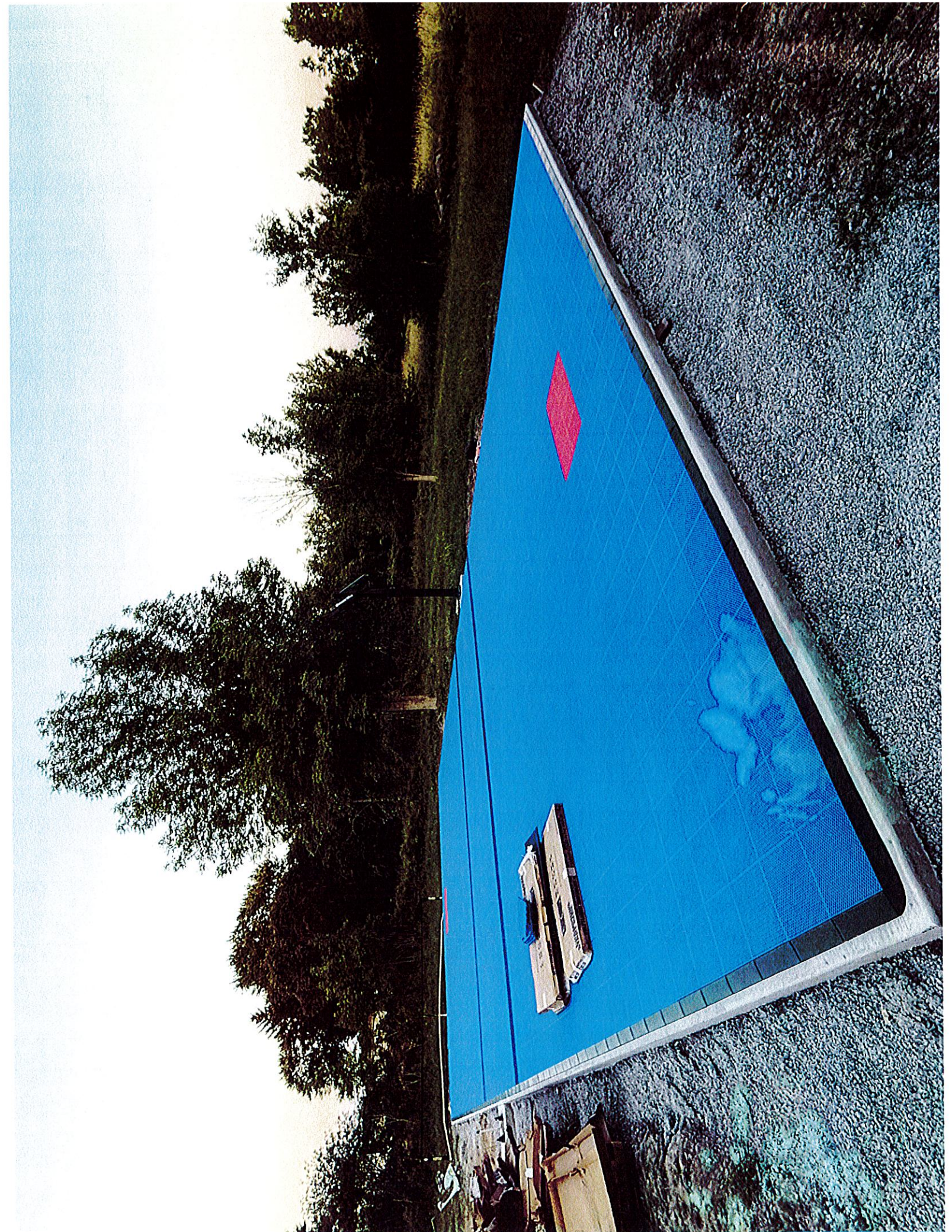
DATE	REVISION/TYPE
4/10/24	MOVE FOUNDATION

GRADING PLAN OF
PART OF LOT 2, SECTION 12, TOWNSHIP 12, RANGE 6
HOLLAND LAND COMPANY'S SURVEY
TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

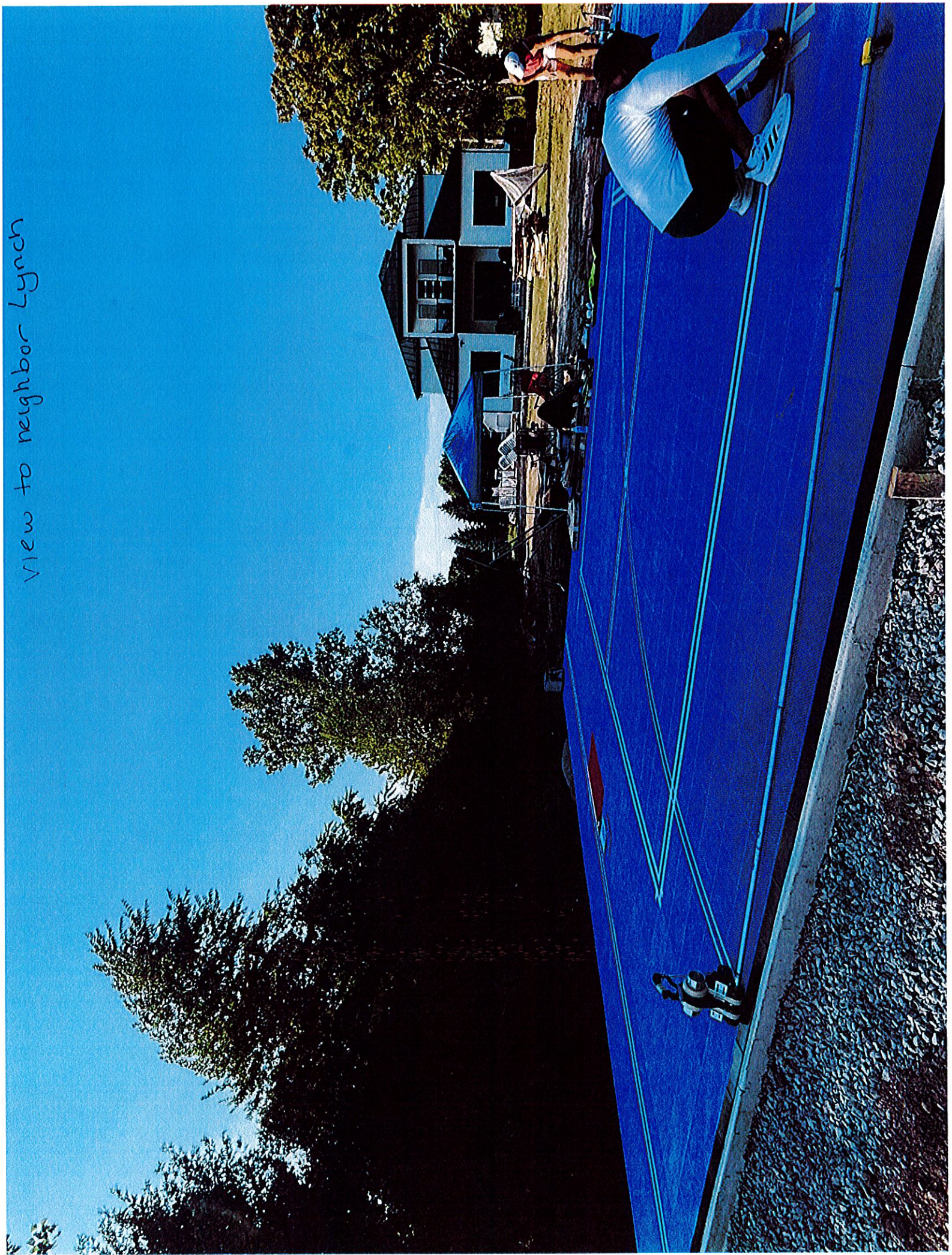


**GPI ENGINEERING, LANDSCAPE
ARCHITECTURE & SURVEYING, LLP**
ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE
4950 GENESEE STREET, SUITE 100
BUFFALO, NEW YORK 14225
(716) 633-4844 FAX 633-4840





view to neighbor Lynch



View to neighbor Grassia





Action:	By:	On:	Fee:	Paid:
Action:	By:	On:	Fee:	Paid:
Action:	By:	On:	Fee:	Paid:
Action:	By:	On:	Fee:	Paid:
Action:	By:	On:	Fee:	Paid:



note the parcel lines displayed are approximate

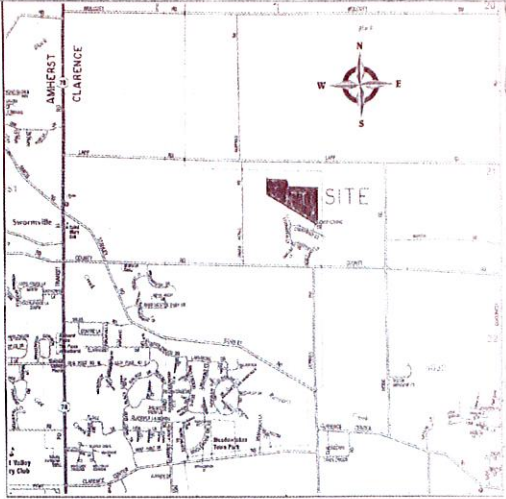
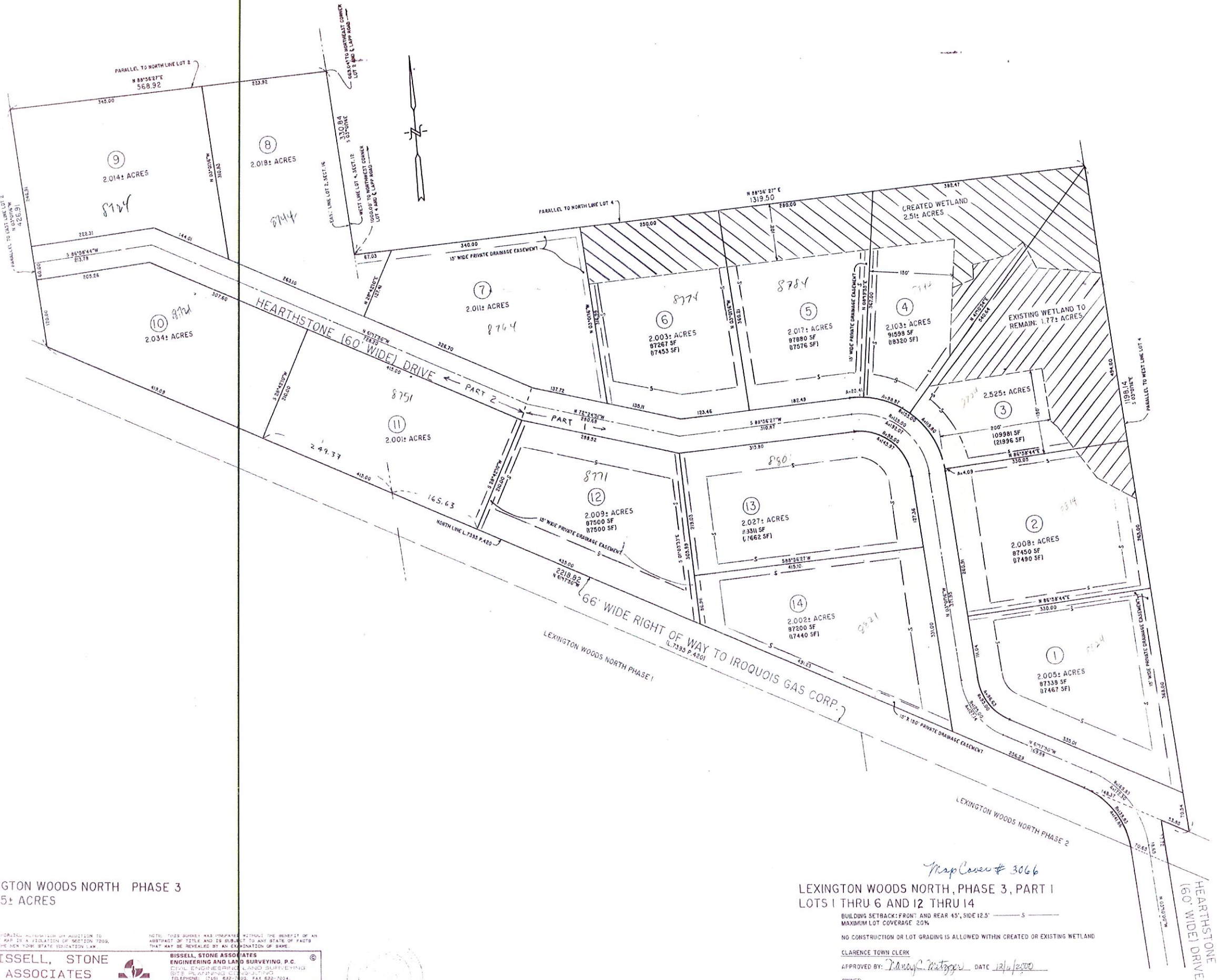
8721 Hearthstone Drive



Proposed addition to the principal structure resulting in a 15' rear yard setback.

The minimum principal structure rear yard setback is 45'.

A 30' variance is requested.



Zoning Dept

LEXINGTON WOODS NORTH PHASE 3
32.355± ACRES

Map Case # 3066
LEXINGTON WOODS NORTH, PHASE 3, PART I
LOTS 1 THRU 6 AND 12 THRU 14

BUILDING SETBACK: FRONT AND REAR 45', SIDE 12.5'
MAXIMUM LOT COVERAGE 20%
NO CONSTRUCTION OR LOT GRADING IS ALLOWED WITHIN CREATED OR EXISTING WETLAND
CLARENCE TOWN CLERK
APPROVED BY: *David A. Antognoli* DATE: 12/1/2000
OWNER
APPROVED BY: *Bernard A. Bluff* DATE: 12-12-00

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OR FEDERAL CLAIM THAT MAY BE REVEALED BY AN EXAMINATION OF SAME.	
NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OR FEDERAL CLAIM THAT MAY BE REVEALED BY AN EXAMINATION OF SAME.	
BISELL, STONE ASSOCIATES ENGINEERING AND LAND SURVEYING, P.C. CIVIL ENGINEERING AND LAND SURVEYING SITE PLANNING CONSULTING TELEPHONE: (716) 832-7000, FAX: 832-7004	
DATE: MAY 31, 2000 NOTED: 10/27/2000 ADD PART I INFO	FIELD BOOK: 456/1 DC SCALE: 1" = 80'
SURVEY OF PART OF LOT 1, SECT 16, TWP 12, RANGE 6 TOWN OF CLARENCE, ERIE COUNTY, HOLLAND LAND COMPANY	



HEARTHSTONE

(50.0' WIDE)

DRIVE

307.60'

205.36'

120.00'

- POND -

MAP COVER 3066

SUBLOT 10

2.034+ACRES

1 STY
BRICK HOUSE
No. 8721

COVERED
CONCRETE
PORCH

COVERED
CONCRETE
PORCH

CONCRETE

IN-GROUND
POOL

FENCE
6.8' H

FENCE
12' H

419.09'
N 61°17'30" W


66.0' WIDE RIGHT OF WAY GRANTED TO
IROQUOIS GAS CORP. BY L. 7395, P. 420

210.00'

249.37'
LINE OF L

PART OF LOT 2, S. 16, T. 12, R. 6 • TOWN OF CLARENCE • COUNTY OF ERIE • STATE OF NEW YORK

- UPDATE / REVISION -		
DATE	JOB	DESCRIPTION



PAUL G. PAGANO, PLS
N.Y.S. L.C. NO. 005520

PAUL G. PAGANO
PROFESSIONAL LAND SURVEYOR

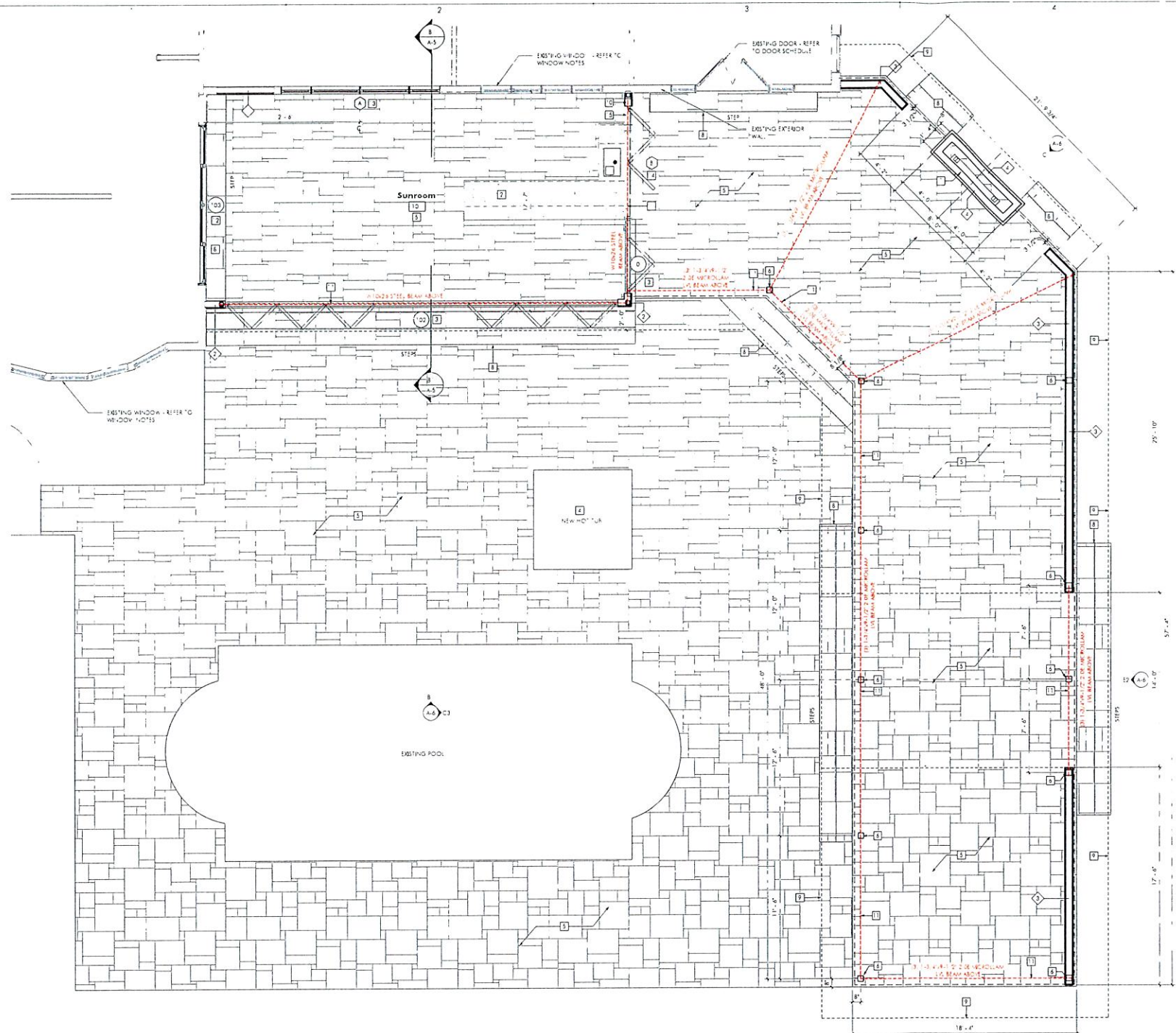
9853 SAVAGE ROAD
HOLLAND, NEW YORK 14760

DRAWN BY	MS	DATE
CHECKED BY	PLS	DATE
JOB NO	10000	DATE

THIS MAP IS A PRELIMINARY
DRAWING AND IS NOT TO BE
USED FOR ANY PURPOSES
OTHER THAN THAT FOR WHICH
IT WAS PREPARED BY AN EXAMINATION

PAUL G. PAGANO, PLS
N.Y.S. L.C. NO. 005520
14760 HOLLAND, NEW YORK

[illegible]



Construction Notes

- [illegible]

Door Schedule & Notes

- [illegible]

DOOR	TYPE	SIZE (WxH)	NOTES
01	EXTERIOR 2 PANEL, FOLDING GLASS DOOR	72"x 98"	
02	EXTERIOR 2 PANEL, FOLDING GLASS DOOR	38 1/2"x 98"	
03	EXTERIOR 4 PANEL, SLIDING GLASS DOOR	28"x98"	

Window Schedule & Notes

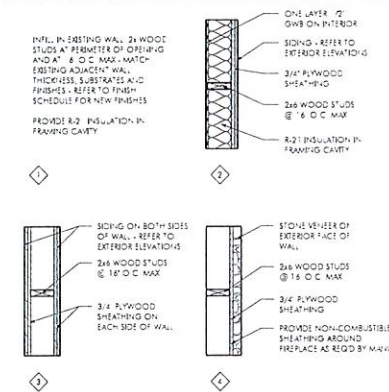
- [illegible]

WINDOW	TYPE	SIZE (WxH)	NOTES
A	CASEMENT DOUBLE FIXED CASEMENT	7'6" x 2'	
B	3 PANE, FOLDING WINDOW	10'8" x 2'	

General Construction Notes

- [illegible]

Wall Types

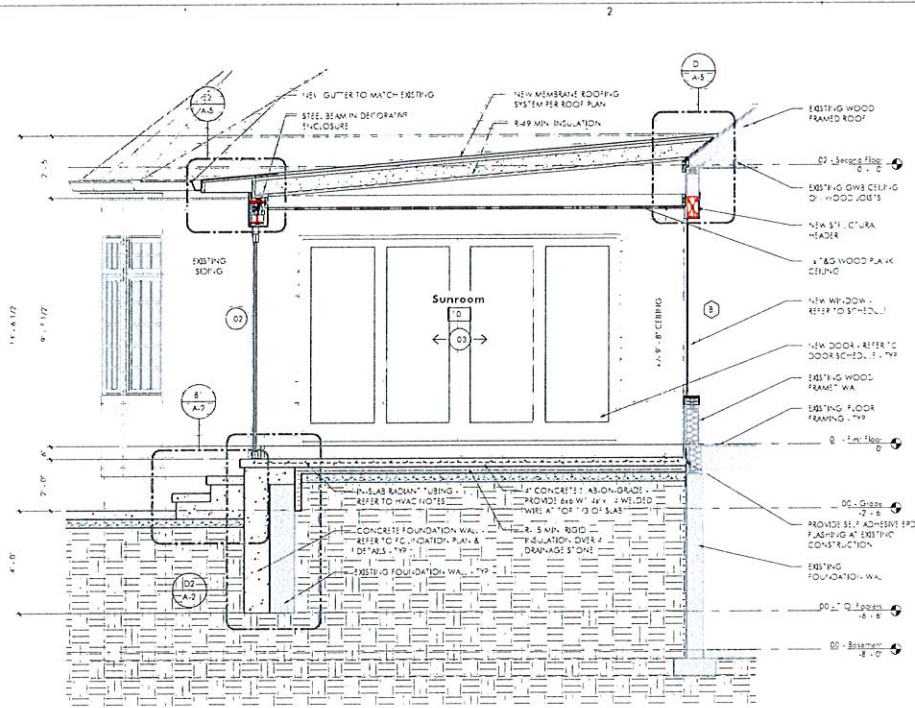


- BASIS OF DESIGN FOR - PROVIDE THE FOLLOWING OR APPROVED EQUAL
- ABOVE GRADE INSULATION
- CLOSED CELL SPRAY FOAM - AVERAGE PER NOTE OF INDIVIDUAL WALL TYPE
BATHING - 2" MINIMUM - DOWLING 2500 PSI MIN. ST. GFR. FIBERGLASS FIBER BATT
FACED IN WALL CAVITIES & UNFACED IN ATTICS
- EXTERIOR SHEATHING/WEATHER BARRIERS
- ALL SEAM EDGES, JOINTS AND PENETRATIONS SEALED WITH JOINT SYSTEMS
FOLLOWING FAST PAPER MANUFACTURERS SPECIFICATIONS AND DETAILS
- BELOW GRADE INSULATION
- OPTIMAL CONFORMING 2500 PSI EXTRUDED POLYSTYRENE (XPS) RIGID FOAM
INSULATION - 3" R-15
- NEGATIVE SIDE
- FOUNDATION WATERPROOFING
- UGL DRYLOK EXTREME BASEMENT + MASONCRY WATERPROOFER

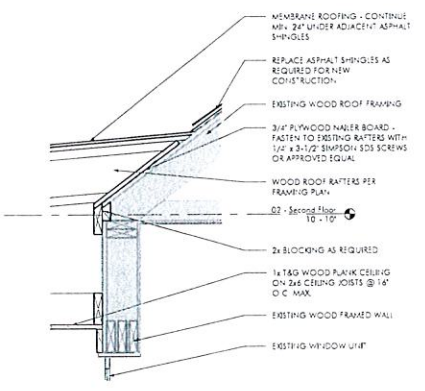
General Finish Notes

- A ALL TRIM, FINISH SELECTIONS SHALL BE COORDINATED WITH THE WISHS OF THE OWNER
- B PAINTED WOOD TRIM TO BE POPULAR - EITHER PURCHASED PRE-PAINTED OR PAINTED BEFORE INSTALLATION - FINISH COLOR TO BE APPLIED IN FIELD. STAINED WOOD TRIM IS TO A SPECIES TO MATCH EXISTING. ALL MANUFACTURERS INSTALLATION GUIDELINES WILL BE FOLLOWED FOR ALL TRIM MATERIALS.
- C PROVIDE SCHLUTER DITRA WATER-PROOFING MEMBRANE SYSTEM BE HYPO-ALLERGY ALL TILE FLOOR AND BASE FINISHES AND USE UP WALLS AT WALL TIE
- D IF EXISTING EXTERIOR SIDINGS CAN NOT BE REUSED - MATCH EXISTING IN TYPE & FINISH AT PANEL & AS REQUIRED FOR PATCH & REPAIR
- E WHERE REQUIRED SHOWER ENCLOSURE LOCATIONS - TO MEET ALL REQUIREMENTS OF ROOMS SECTION, ROBE & ALL REQUIREMENTS OF LOCAL CODES

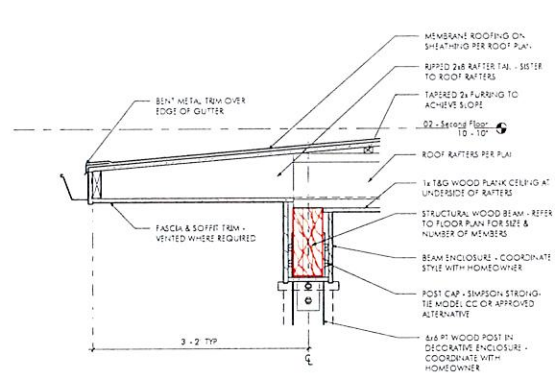
7/17/2025 9:26:09 AM P:\P25089 B721 Hearstone Drive - Residential Covered Patio.dwg
The design, conception, preparation, drawings and details are the property of Abstract Architecture PC. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Abstract Architecture PC. The digital representation of a seal will be considered acceptable.



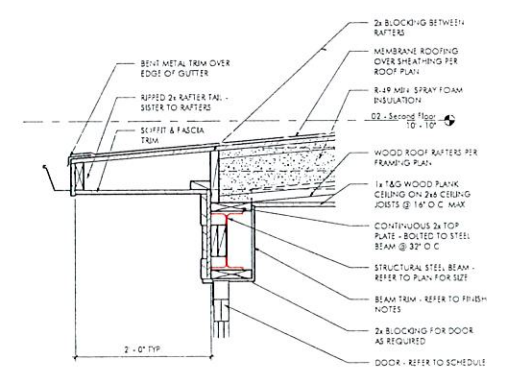
B1 Building Section
3/8" = 1'-0"



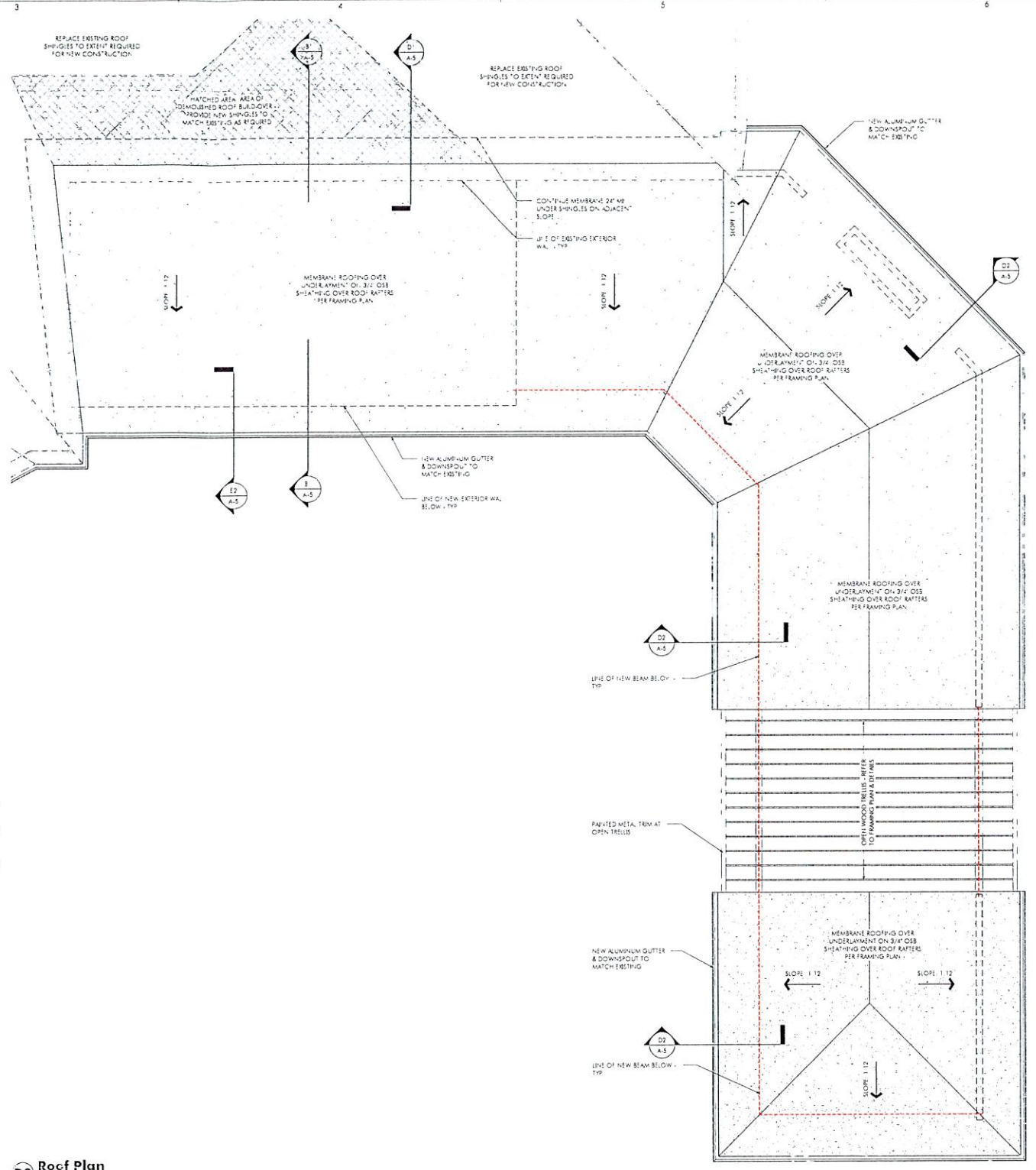
D1 Roof Detail
1" = 1'-0"



D2 Roof Detail
1" = 1'-0"



D3 Roof Detail
1" = 1'-0"



D3 Roof Plan
1/4" = 1'-0"

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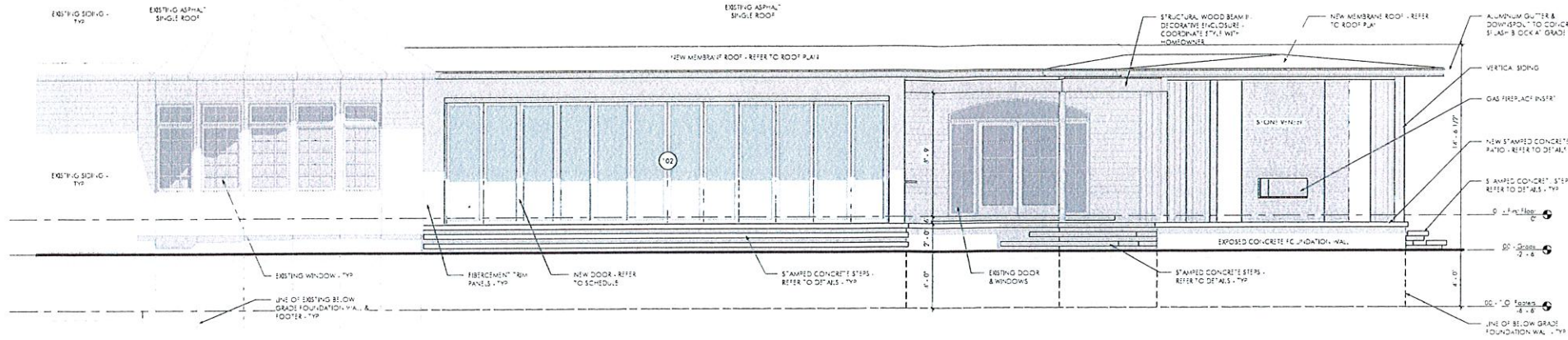


8721 Hearstone Drive - Residential Covered
Patio
Permit/Construction Documents
P. 25089

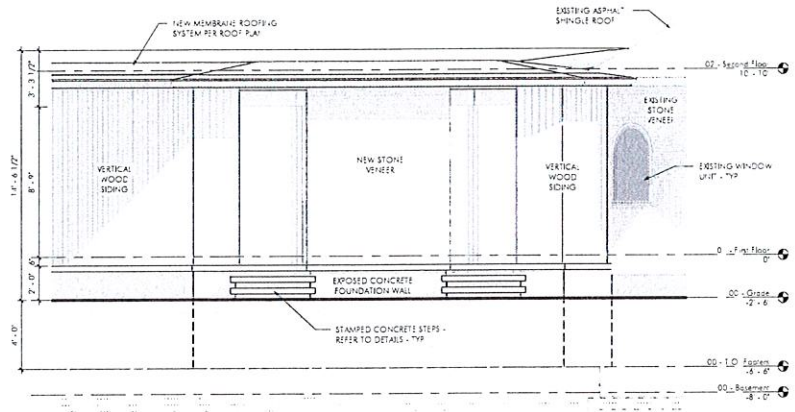
7.14.2025
Tammy & Jeffrey Aranyosi
8721 Hearstone Drive
East Amherst, NY 14051

Roof Plan & Details
A-5

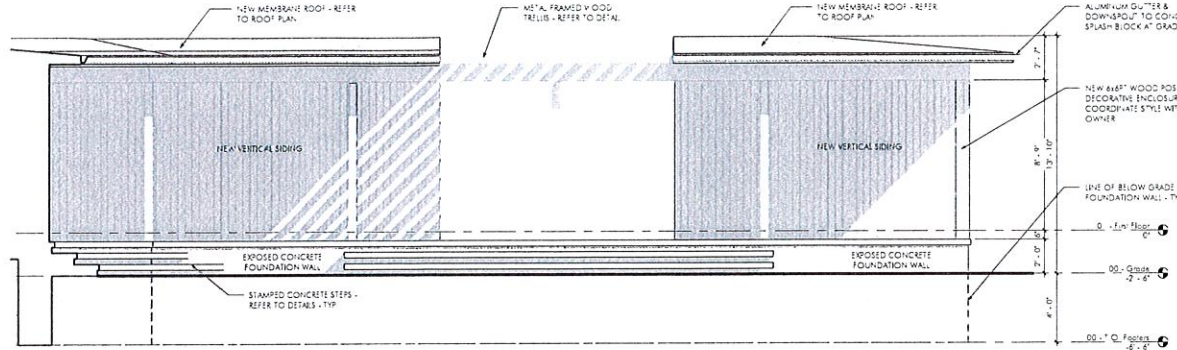
7/17/2025 8:28:23 AM P:\P25089 8721 Hearstone Drive - Residential Covered Patio\25089 RVT\P25089 8721 Hearstone Drive - Residential Covered Patio.rvt
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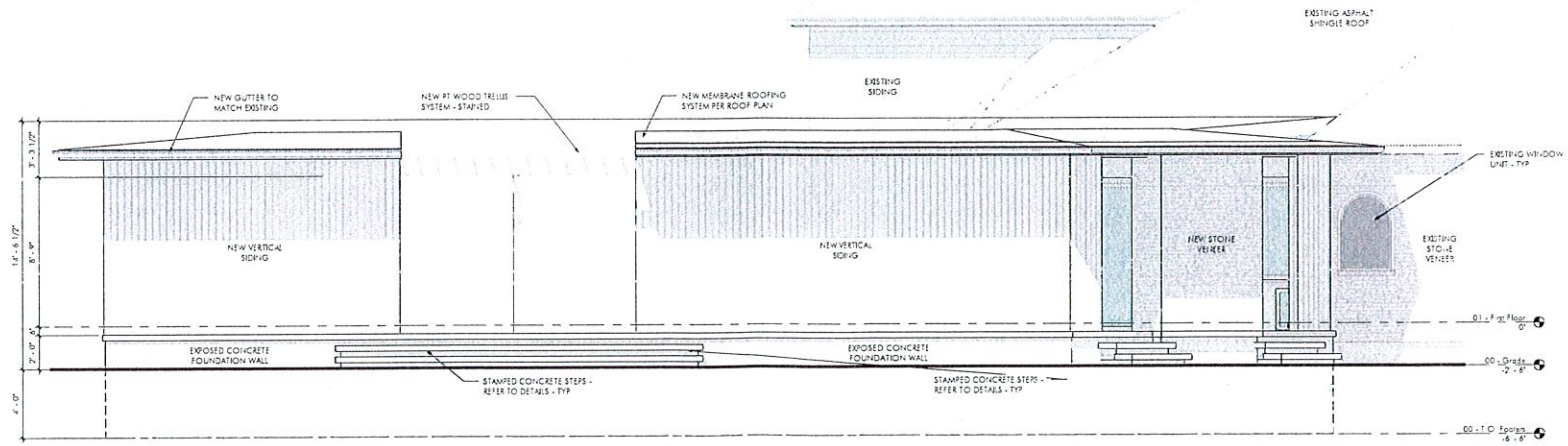
B1 South Elevation
1/4" = 1'-0"



C1 Northeast Elevation
1/4" = 1'-0"



C3 West Elevation
1/4" = 1'-0"



E2 East Elevation
1/4" = 1'-0"

Exterior Materials Schedule

1. EXTERIOR SIDING MATERIALS TO BE APPROVED BY OWNER UNDER "C" CHAIRING.
 2. ALL EXTERIOR MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAIL & THE REQUIREMENTS OF THE MANUFACTURER'S WARRANTIES.
 3. REFER TO SPECIFIC ROOF NOTES RELATED TO ROOF FINISH MATERIAL REQUIREMENTS.
- BASIS OF DESIGN:**
- MEMBRANE ROOF MANUFACTURER: GAF
STYLE: 40 ML "D"
CC: DR 180
- STONE VENEER MANUFACTURER: SELECT STONE
PROFILE: "THU" VENEER
FINISH: "BROWN JEWEL STONE"
SUE: VARIOUS
THICKNESS: 1 1/4"
- VERTICAL WOOD SIDING CLADDING SPECIES: CEDAR
SUE & WIDTH: NOMINUS
REFER: 180
- FIBERGLASS "RW" MANUFACTURER: JAMES HARDIE
STYLE: HARDIE "RW 212 A25" SMOOTH
COLOR: "PRIMED FOR PAINT"
PAINT: CC: DR 180
- ALUMINUM GUTTER & DOWNSPOUT
STYLE: 5 KASTLE
COLOR: MATCH EXISTING
DOWNSPOUT: COLOR MATCH EXISTING

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8721 Hearstone Drive - Residential Covered

Patio

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7.14.2025

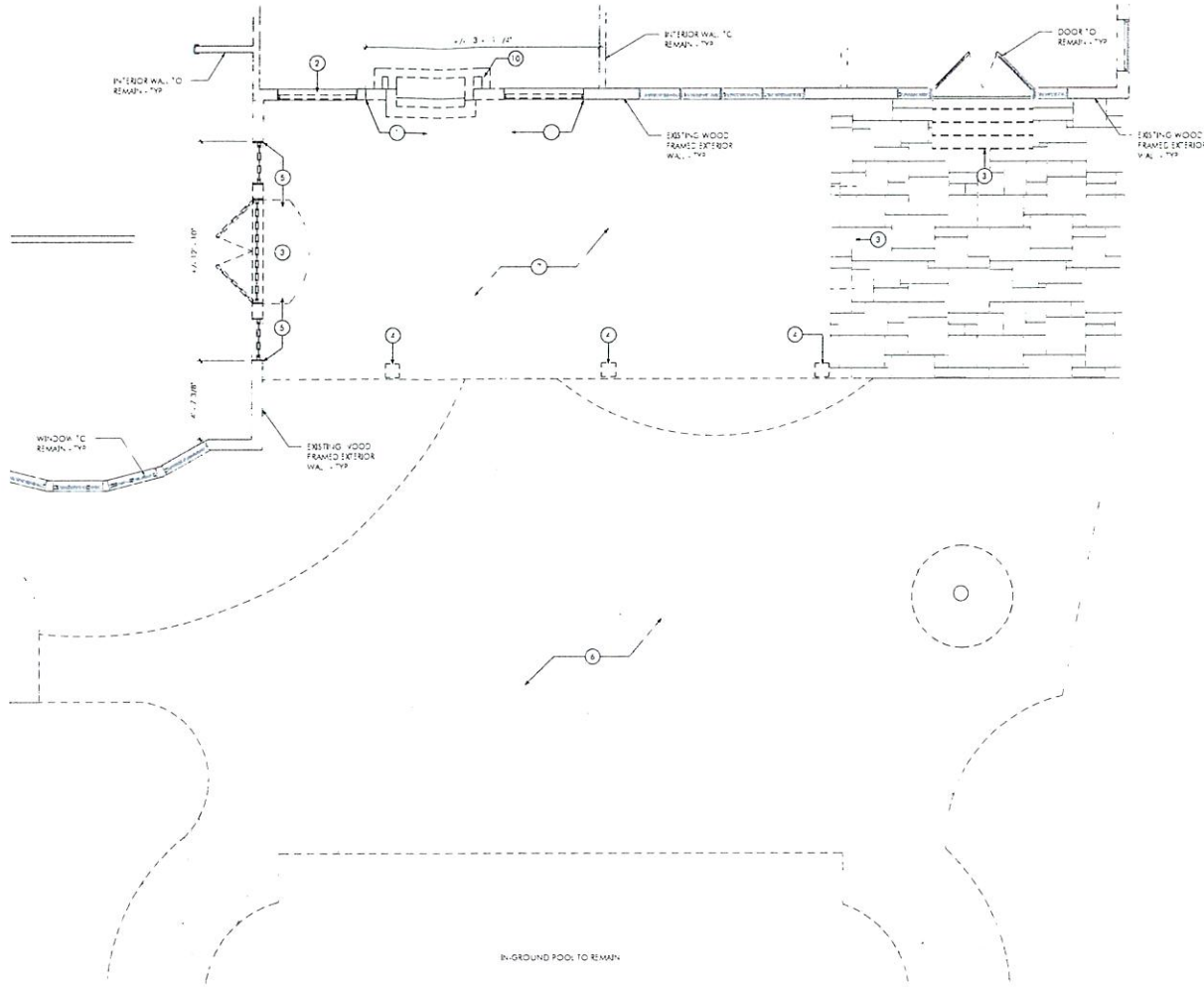


Tammy & Jeffrey Aranyosi

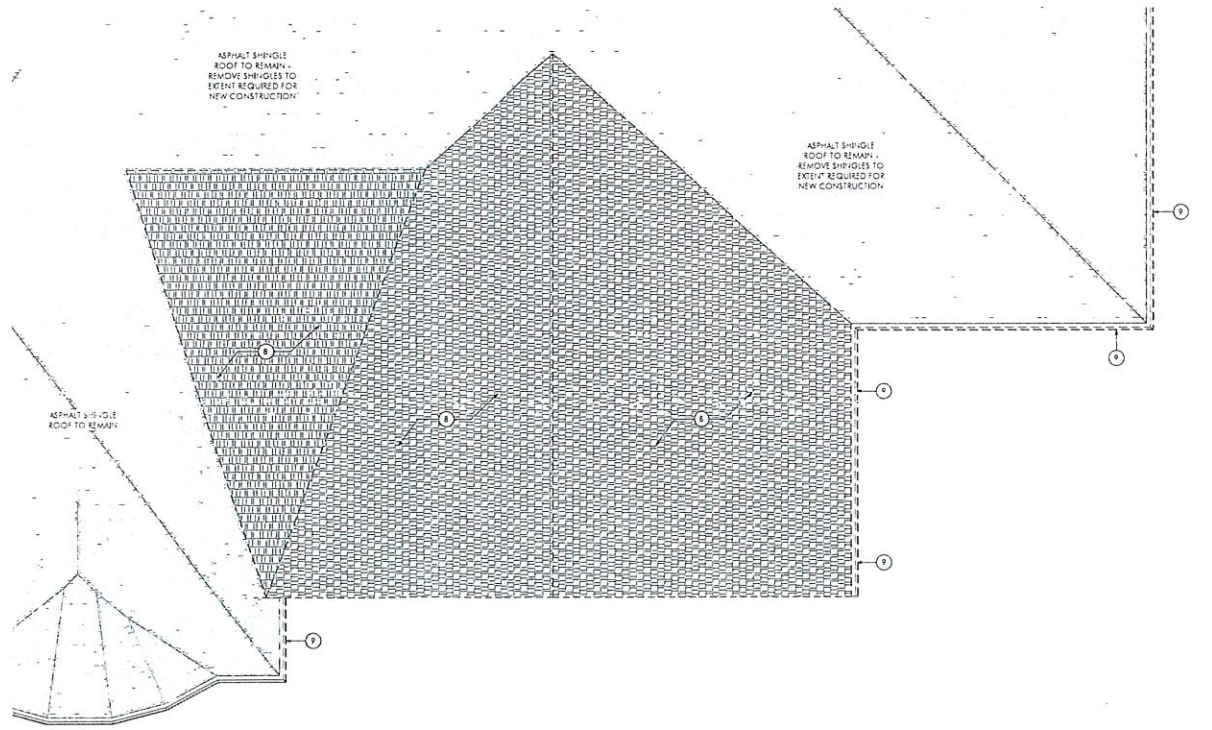
8721 Hearstone Drive
East Ayrview, NY 14051

Exterior Elevations

A-6



D3 First Floor Demo Plan
1/4\"/>



E3 Roof Demo Plan
1/4\"/>

General Demolition Notes

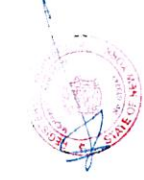
- WORK SHALL BE IN CONFORMANCE WITH THE ADMINISTRATIVE PROVISIONS AND THE NEW YORK BUILDING CODE. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK TO BE PERFORMED BY CONTRACTOR SUBCONTRACTORS AND ALL PARTIES PERFORMING WORK UNDER OTHER CONTRACTS ASSOCIATED WITH THE RENOVATION AND NEW CONSTRUCTION. CONTRACTOR IS NOT RESPONSIBLE FOR COORDINATING SITE WORK NOT INCLUDED IN THESE DOCUMENTS. CONTRACTOR TO CUT WALLS FOR SUE WORK OPENINGS & PROVIDE UNITS, WHERE REQUIRED REFER TO SUE SCHEDULE FOR UNITS, SUEING.
- DRAWINGS DO NOT INDICATE ALL DEMOLITION / REMOVALS. CONTRACTOR IS TO REFER TO DRAWINGS SPECIFICATIONS AND VERIFY FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL. REQUIREMENTS. COOPER WITH OWNER WHEN ITEMS ARE TO BE SAVED FOR OWNERS USE OR REUSE. ALTHOUGH BY CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS TO BE SAVED AND TO BE LOCATED. "RELOCATED" TO THE CONSTRUCTION. ITEMS INCLUDING SUE STORAGE OF SAME. UPON DEMOLITION, THE CONTRACTOR SHALL REMOVE ITEMS DEMOLISHED. ITEMS NOT TO BE SAVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME.
- IF DEMOLITION WORK TO COMMENCEMENT OF ANY DEMOLITION OR RENOVATION, A SURVEY SHALL BE PERFORMED FOR THE PRESENCE OF REGULATED ASBESTOS-CONTAINING MATERIALS. THE CONTRACTOR MUST DEMONSTRATE COMPLIANCE WITH OR DEMOLITION FROM NOTIFICATION REQUIREMENTS.
- CUT AND OR EXISTING OR BLOCKS IMPACTED DUE WATER SUPPLY & SANITARY UNITS AS REQUIRED BY NEW CONSTRUCTION. EXISTING WATER SERVICE LINE, GAS METER, WATER METER AND SANITARY UNITS TO REMAIN WITH EXISTING STRUCTURE. ONCE RELOCATED, CUT AND REMOVE MAP, SUPPLY AND SANITARY UNITS AS REQUIRED FOR NEW CONSTRUCTION. RELOCATE ALL TUBES AT CONCLUSION OF RELOCATION OF STRUCTURE.
- COORDINATE ALL REMOVALS WITH STRUCTURAL INDICATIONS WITH FRAMING DRAWINGS AND NOTES. BRACE AND SHORE ALL WALLS AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF REMAINING MATERIALS. SHOW ANY GUARDS ARE ABLE DURING DEMOLITION. CONTRACTOR IMMEDIATELY FOR CLARIFICATION. WHEN ITEMS ARE REMOVED PATCH SURFACES TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW FINISHES WHERE SCHEDULED. PATCHING OF NEW OR EXISTING FINISHES SHALL BE REFERRED TO "CLEAN" AREA BREAK OR TERMINATION. FOR A CLEAN UNFINISHED APPEARANCE AT THE END OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE PREP OF ALL EXISTING WALLS AND SURFACES TO REMAIN THAT ARE IMPACTED BY THE REMOVAL OF ADJACENT SURFACES. EXISTING ROOF FRAMING TO REMAIN UNLESS OTHERWISE NOTED. PROTECT ALL EXISTING CONSTRUCTION, FINISHES, LANDSCAPE OR FINISHES TO REMAIN. AVOID DAMAGE FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. ANY DAMAGE WILL BE REPAIRED OR MATERIAL REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A SAFE AND CLEAN JOBSITE AND REMOVE ALL DEBRIS GENERATED BY DEMOLITION AND CONSTRUCTION. PROCESS IN A SAFE MANNER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A QUANTIFIED ASSESSMENT.
- PROVIDE ALL REQUIRED TEMPORARY STRUCTURAL SUPPORT AND SHORING AS REQUIRED FOR RELOCATION OF EXISTING TWO STORY STRUCTURE. REMOVE EXISTING FOUNDATION IN ENTIRETY.

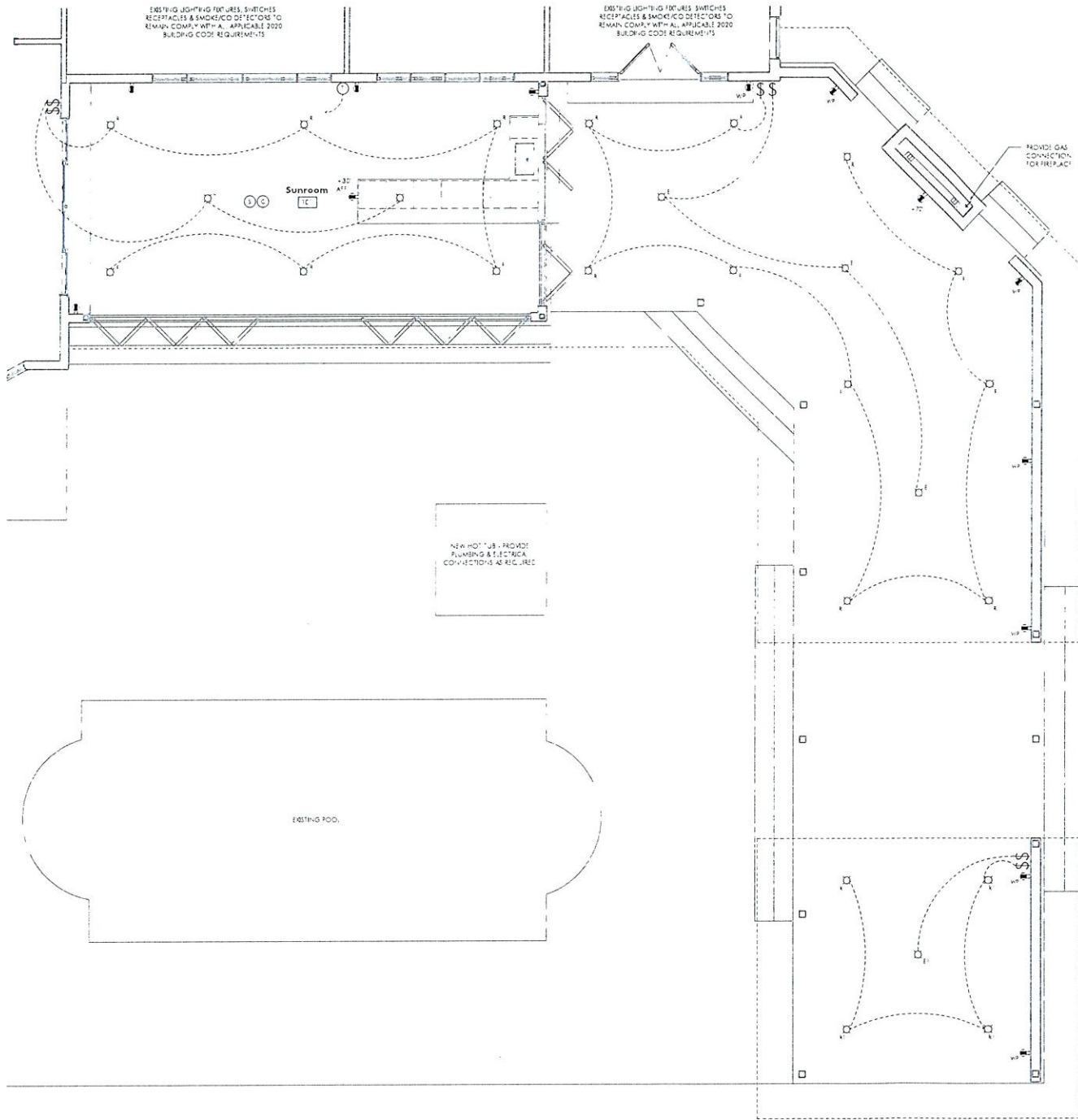
Structural Selective Demolition

- INVESTIGATIVE SELECTIVE DEMOLITION WAS NOT PERFORMED TO DETERMINE EXISTING STRUCTURAL FRAMING MEMBERS DIRECTION & SETS. STRUCTURAL ASSUMPTIONS SUCH AS DETERMINATION OF LOADS, BRACING WALL, & DIRECTIONS OF FLOOR FRAMING MEMBERS HAVE BEEN MADE BASED ON SITE VISITS & THE REVIEW OF EXISTING CONSTRUCTION. PERFORMED TO THE BEST OF THE ARCHITECT'S ABILITY & ASSUMPTIONS BASED ON RECOGNIZED CONSTRUCTION TECHNIQUES.
- WHEN CALLED FOR IN DEMOLITION NOTES THE CONTRACTOR IS TO NOTIFY THE ARCHITECT. ONCE WALL, CEILING & FLOOR CAVITIES ARE EXPOSED BUT BEFORE THE REMOVAL OF ANY STRUCTURAL SUPPORT WALL, FOR ADDITIONAL REVIEW.
- IF SHEATHINGS AND/OR SUBSTRATES ARE REMOVED & FRAMING IS FOUND TO BE DIFFERENT THAN ASSUMED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY. WHETHER CALLED FOR OR NOT IN THE CONSTRUCTION DOCUMENTS. NO LOADS, BRACING WALL, ASSUMED OR ACTUAL, ARE TO BE REMOVED BEFORE REVIEWED BY ARCHITECT.

Demolition Notes

- EXTERIOR WOOD FRAMED WALL TO BE REMOVED TO EXTENT SHOWN. REMOVE WINDOW UNIT IN ENTIRETY. PREP REMAINING OPENING AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE WINDOW UNIT IN ENTIRETY. PREP REMAINING OPENING AS REQUIRED FOR NEW CONSTRUCTION.
- CONCRETE STEPS TO BE REMOVED IN ENTIRETY. PREP REMAINING SURFACES AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE WOOD ROOF & REMOVALS IN ENTIRETY.
- EXTERIOR WOOD FRAMED WALL TO BE REMOVED TO EXTENT REQUIRED FOR NEW CONSTRUCTION. REMOVE WINDOWS & DOORS IN ENTIRETY. PROVIDE TEMPORARY SHORING.
- CONCRETE PATIO & POOL SURROUND TO BE REMOVED IN ENTIRETY.
- REMOVE CONCRETE SLAB IN ENTIRETY. PREP REMAINING FOUNDATIONS AS REQUIRED FOR NEW CONSTRUCTION.
- WOOD FRAMED ASPHALT SHINGLE ROOF TO BE REMOVED IN ENTIRETY. PREP REMAINING SURFACES AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE GUTTER & DOWNSPOUTS IN ENTIRETY. SAVE FOR POTENTIAL REUSE.
- REMOVE FIRE PLACE, HEARTH, CHIMNEY, AND ALL ASSOCIATED FRAMING IN ENTIRETY. CUT/CLIP PLUMBING SUPPLY LINES AT FIRST AVAILABLE JOINT OUTSIDE OF AREA OF CONSTRUCTION.
- REMOVE HOT TUB IN ENTIRETY. CUT/CLIP PLUMBING & ELECTRICAL LINES AT NEAREST AVAILABLE JUNCTION OUTSIDE OF AREA OF CONSTRUCTION AND PREP FOR REUSE.





D1 **First Floor Plan**
1/4" = 1'-0"

MEP Plan Legend

- ⚡ LIGHTING CONTROL SWITCH - LIGHTING MAIN SWITCHES LOCATED BY CODE
- ⚡ POLE POSITION INDICATION
- ⚡ 3 PHASE SWITCH
- ⚡ DUPLICATE RECEPTACLE
- ⚡ OHM RECEPTACLE
- ⚡ UC - UNDER COUNTER
- ⚡ OC - OVER COUNTER
- ⚡ WP - WATERPROOF
- ⚡ LIGHTING FIXTURE - REFER TO LIGHT SCHEDULE ON BRANCH CIRCUIT WHERE
- ⚡ LIGHTING FIXTURE IS LOCATED. CIRCUIT NUMBER WITH THE SAME
- ⚡ NUMBER REFERS TO THE CIRCUIT INDICATED WITH A NUMBER, TO EACH MAIN
- ⚡ CIRCUIT, CONNECT TO A TAP - PHASE CIRCUIT BREAKER
- ⚡ R - RECESSED FIXTURE
- ⚡ D - DECAHENT FIXTURE
- ⚡ I - INDOOR FIXTURE
- ① SMOKE DETECTOR
- ① CARBON MONOXIDE DETECTOR
- ① BODY SMOKE DETECTOR & CARBON MONOXIDE DETECTOR ARE TO BE
- ① ALLOWED RECESSED BODY STYLE UNITS. FACIA TO BE APPROVED BY
- ① ARCHITECT PRIOR TO ORDERING
- ① "HERMETS" ARE

Light Schedule

- ```

A. JOINTING FIXTURES AND ACCESSORIES TO BE APPROVED BY OWNER PRIOR
TO ORDERING AND INSTALLATION BY CONTRACTOR

ALL JOINTING FIXTURES TO BE IN A COMPATIBLE DIMENSION SYSTEM WITH THE
DIMENSIONS OF THE TIES

RECESS CAR, DOWN JOINTING
FIXTURE IS
MANUFACTURER WAS JOINTING
MODEL, OCCURS IN ROWING
FROM COLOR WHITE
TYP 7000
BEAM SPREAD, 1000
PROVIDES IT,
LOCATIONS APPROVED FROM EXTENSION APPLICATIONS
MODEL, GABA, VERSION A, LOCATIONS WHERE DIRECTORIAL CONTROL IS
REQUIRED BY OWNER/OWNER

DECOMPOSED JOINTING FIXTURES TO
BE SELECTED BY OWNER FOR CONTRACTOR INSTALLATION

EXTENDED JOINTING FIXTURES
TO BE SELECTED BY OWNER FOR CONTRACTOR INSTALLATION

```

## HVAC Notes

- [illegible]

## MECHANICAL EQUIPMENT BASIS OF DESIGN

- ALL MECHANICAL EQUIPMENT TO BE APPROVED BY OWNER PRIOR TO ORDERING AND  
INSTALLATION BY CONTRACTOR. ALL INSTALLATION REQUIREMENTS PER MANUFACTURERS  
INSTALLATION GUIDELINES UNLESS OTHERWISE AGREED

- BOILER  
MANUFACTURER: RHEEM  
MODEL: PRESTIGE 9.9 GPM COMBI BOILER  
BTU TBD
- TUBING - AT SUNROOM 101 ONLY  
MANUFACTURER: BLUEFIN  
SIZE: 3/4" DIA. OXYGEN BARRIER PEX-B

- HYAC INSTALLER TO CONFIRM BTU OF PROPOSED SYSTEM IS ADEQUATE FOR THE PROPOSED RESIDENCE. COORDINATE AC CONDENSER WITH BOTH FURNACE & DWELLING SIZING REQUIREMENTS.

## Electrical Notes

- [illegible]

## Plumbing Notes

- [illegible]

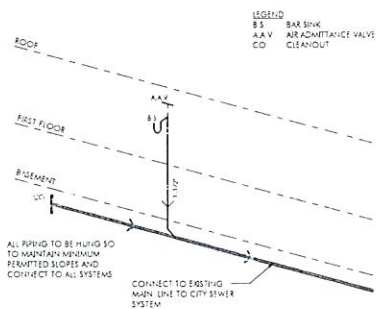
### PLUMBING FIXTURE BASIS OF DESIGN

- ALL PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER PRIOR TO ORDERING AND INSTALLATION BY CONTRACTOR. ALL FIXTURES TO BE LOW FLOW TYPE. RUN SUPPLY LINES TO LOCATIONS AS SPECIFIED BY MANUFACTURERS INSTALLATION GUIDELINES.

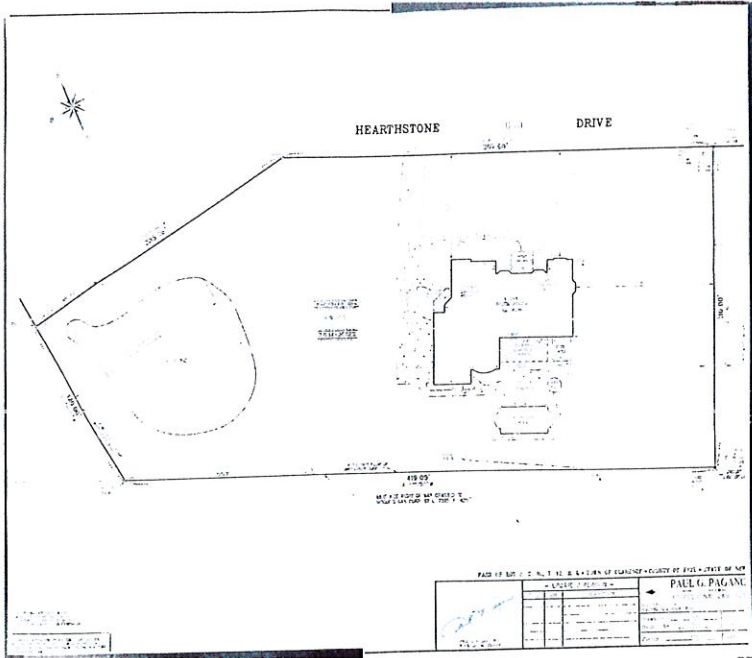
### Appliance Notes

- A. APPLIANCES WILL BE SUPPLIED BY OWNERS FOR INSTALLATION BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL, GAS, WATER, MECHANICAL AND VENTILATION HOOK UPS TO APPLIANCES
- B. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SURROUNDING CONSTRUCTION, AND FINISHES TO ENSURE CORRECT MANUFACTURER RECOMMENDED FIT FOR APPLIANCES
- C. RUN SUPPLY LINES TO LOCATIONS AS SPECIFIED BY MANUFACTURERS INSTALLATION GUIDELINES. OWNER WILL PROVIDE CONTRACTOR WITH APPLIANCE MAKE/MODEL INFORMATION ONCE DETERMINED
- D. ANY APPLIANCE REQUIRING EXHAUST DUCTING TO THE EXTERIOR MUST MEET ALL APPLICABLE REQUIREMENTS OF REVISED SECTION M1504

## Plumbing ISO







## General Site Notes

- [illegible]

|                                         |               |              |  |
|-----------------------------------------|---------------|--------------|--|
| SPE DATA                                |               |              |  |
| ZONING ADDRESS: 100A - 100B RESIDENTIAL |               |              |  |
| JOINT DIMENSIONS                        |               |              |  |
| JOINT AREA                              | REQUIRED      | EXISTING     |  |
| JOINT VENT                              | MIN: 37.93557 | 88.80157     |  |
|                                         | MAX: .35      | .35          |  |
| JOINT COVERED                           |               |              |  |
| BUILDING JOINT FRAGILE                  | REQUIRED      | PROPOSED     |  |
|                                         | MAX: 10%      | 8.7%         |  |
| BUILDING JOINT BACKS                    |               |              |  |
| FRONT PANEL                             | 45            | 70 EXISTING  |  |
| SIDE PANELS (LEFT)                      | 5             | 80 EXISTING  |  |
| REAR PANEL                              | 5             | 16 EXISTING  |  |
| HIGHLIGHT                               |               |              |  |
| BUILDING HIGHLIGHT                      | REQUIRED      | EXISTING     |  |
|                                         | MAX: 3%       | 3.0 EXISTING |  |

Site Notes, Site Plan &amp; Survey

Tammy &amp; Jeffrey Aranyosi

7.14.2025

8721  
Patio

5

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