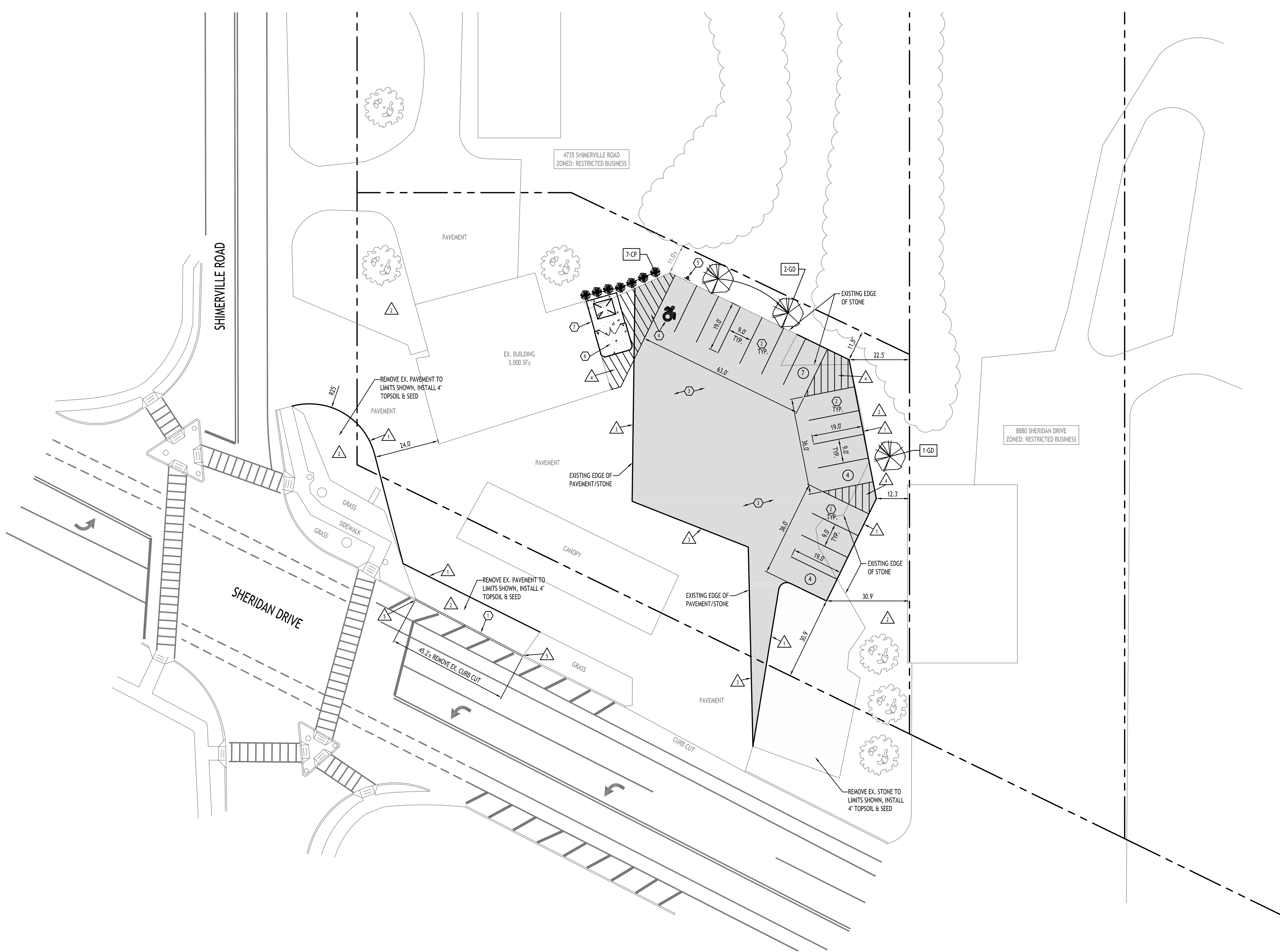


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Site Plan
SCALE: 1"=20'

PLANTING SCHEDULE - 8870 SHERIDAN DRIVE, TOWN OF CLARENCE, NEW YORK

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
		DECIDUOUS TREES			
GD	3	GYMNOCLADUS DIOICUS 'J.C. MCDANIEL'	PRAIRIE TITAN KENTUCKY COFFEETREE	2-1/2" - 3" CAL.	B&B, HT. 60", WIDTH 30"
		SHRUBS			
CP	7	CHAMAECYPARIS PISIFERA 'FARROWCGMS'	SOFT SERVE GOLD FALSE CYPRESS	NO. 7 CONT.	GRWS TO 10 FT. HGH, 6 FT. WIDE

NOTES:
1. ALL PLANT MATERIALS SHALL BE INSPECTED TWICE ANNUALLY, ONCE IN THE SPRING AND AGAIN IN THE FALL. TREES & SHRUBS THAT ARE DEAD OR ARE IN POOR CONDITION/DISEASED (LESS THAN 50% LEAF COVER) SHALL BE REPLACED BEFORE THE NEXT GROWING SEASON. TREES AND SHRUBS THAT DO NOT EXHIBIT THE CONDITIONS FOR REPLACEMENT SHALL BE PRUNED AT THE TIME OF INSPECTION TO REMOVE DEAD TWIGS & BRANCHES.

2. ALL NURSERY TAGS TO REMAIN ON PLANTS UNTIL AFTER FINAL INSPECTION AND APPROVAL OF THE LANDSCAPING.

DETAIL LEGEND SEE SITE DETAIL SHEET

①	NYS DOT CURB
②	90° PARKING STALL
③	STANDARD DUTY ASPHALT
④	HANDICAP PAVEMENT MARKINGS
⑤	HANDICAPPED PARKING SIGN
⑥	EXTERIOR CONCRETE SLAB ON GRADE
⑦	DUMPSITE ENCLOSURE

NOTE LEGEND

△	EDGE OF PAVEMENT
△	LANDSCAPED AREA - IF NOT PLANTINGS INSTALL 4" TOPSOIL & SEED
△	MATCH INTO EXISTING PAVEMENT
△	INFILL AREA W/4" WIDE YELLOW PAVEMENT STRIPES @ 2' O.C. @ 45°
△	RUNOUT CURB 2' OR MATCH EX.

SITE LEGEND

---	PROPERTY LINE
---	PROPOSED CURBING
---	PROPOSED SIDEWALK / CONCRETE PAD
Ⓣ	NUMBER OF PARKING SPACES
▼	PROPOSED SIGN
---	PROPOSED STANDARD DUTY ASPHALT PAVEMENT

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



Site Data

SITE AREA = 0.6 AC.
ZONED: RESTRICTED BUSINESS
USE: VEHICLE DETAIL/WASH BUSINESS

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT	N/A	30.9 FT
SIDE	N/A	12.3 FT MIN.
REAR	N/A	11.0 FT MIN.

PARKING STALLS	REQUIRED	PROVIDED
STALL SIZE	9x19'	9x19'
REQUIRED SPACES	15	15

GREENSPACE	REQUIRED	PROVIDED
OVERALL SITE GREENSPACE	25% (0.15 AC)	28.3% (0.17 AC)
INTERIOR GREENSPACE	8% (1,180 SF)	8.8% (1,300 SF)

PARKING CALCULATION:
"ALL OTHER COMMERCIAL"
1 SPACE PER 200 GSF OF FLOOR AREA
3,000 GSF / 200 = 15 SPACES
TOTAL SPACES REQUIRED = 15 SPACES

SITE NOTES:

- ALL RADI SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
- ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
- PROPERTY LINES AND EXISTING SITE FEATURES ARE APPROXIMATE, EXACT LOCATION TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- ALL PROPOSED PAVEMENT TO BE INSTALLED TO HAVE POSITIVE DRAINAGE TOWARD, NO RUNOFF SHALL BE DIRECTED TO THE NEIGHBORING PROPERTIES.

GENERAL NOTES:

- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ENIE, AND TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.
- REFER TO NYS DOT STANDARD SHEET 608-03 FOR DRIVEWAY ENTRANCE AND LAYOUT INFORMATION ALONG SHERIDAN DRIVE.
- ALL DISTURBED AREAS WITHIN NYS DOT R.O.W. TO BE RESTORED USING ITEM 610.1402 TOPSOIL - ROADSIDE AND ITEM 610.1602 TURF ESTABLISHMENT - LAWNS AND COMPLY WITH NYS DOT STANDARDS AND SPECIFICATIONS SECTION 713 - LANDSCAPE DEVELOPMENT MATERIALS.

CARMINA WOOD
DESIGN

Buffalo | Utica | Greensboro

Site Improvements
8870 Sheridan Drive
Clarence, NY

REVISIONS:
No. Description Date



DRAWING NAME:
Site Plan

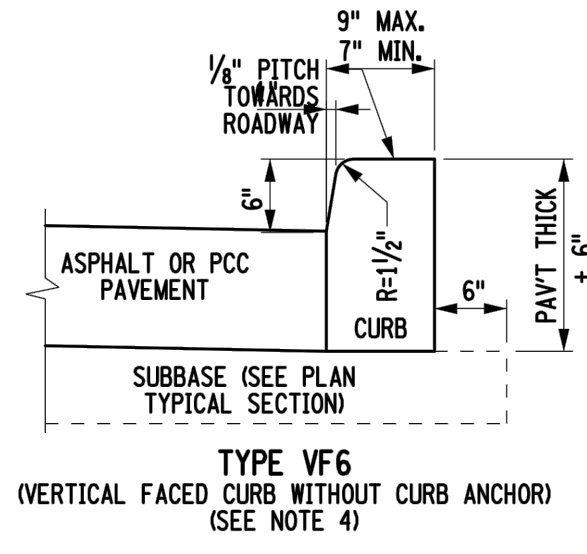
Date: 1/6/25
Drawn By: P. Sheedy
Scale: As Noted

DRAWING NO.:

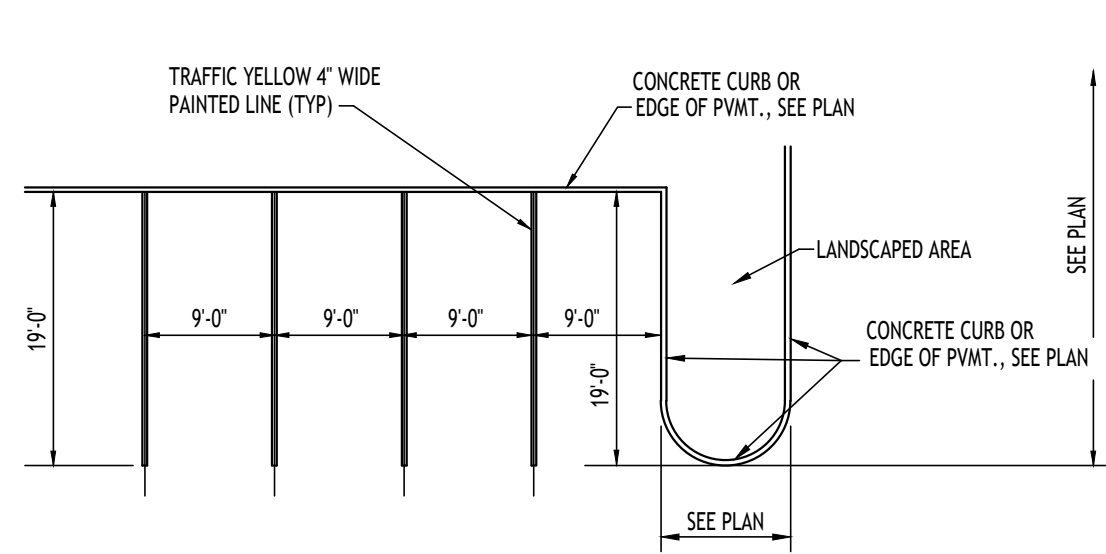
C-100

Project No: 24-4172

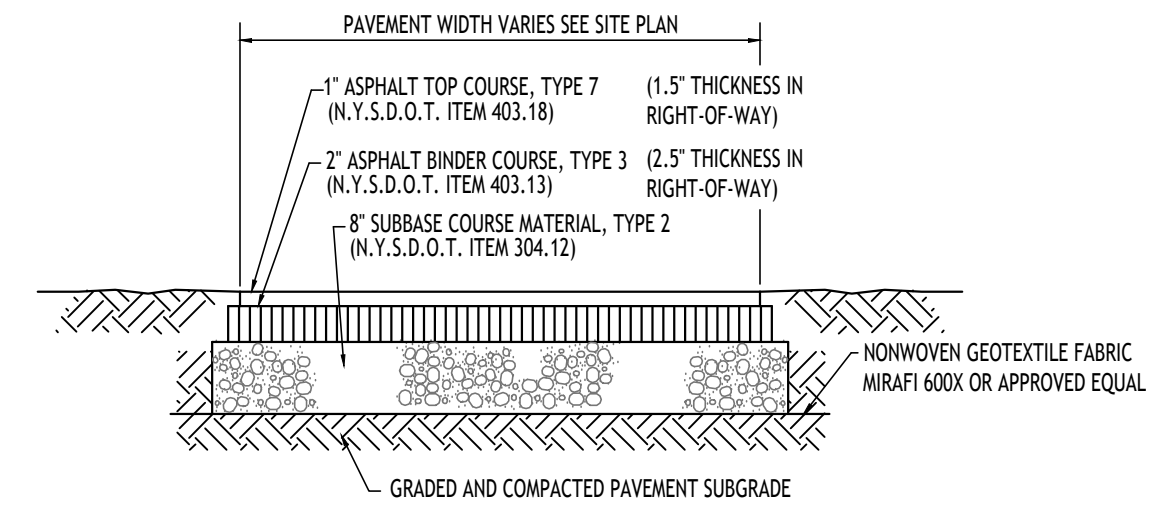
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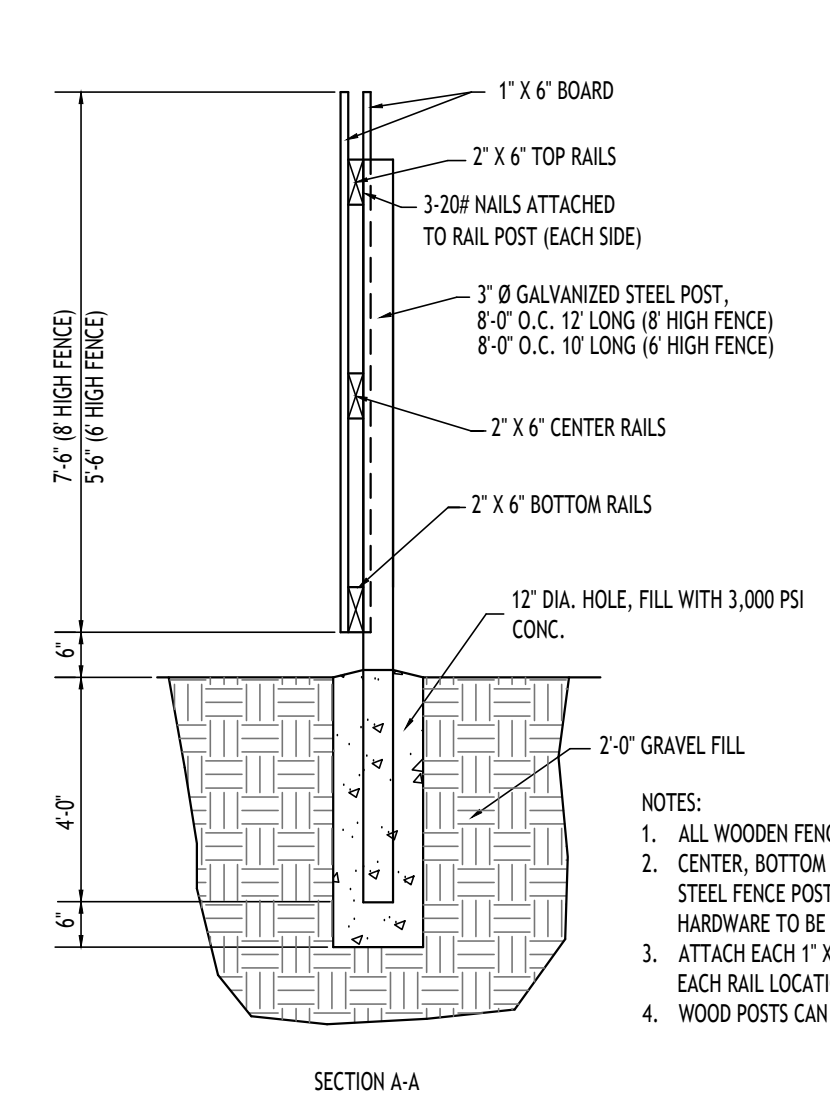
NYSDOT CONCRETE CURB - 1
NOT TO SCALE



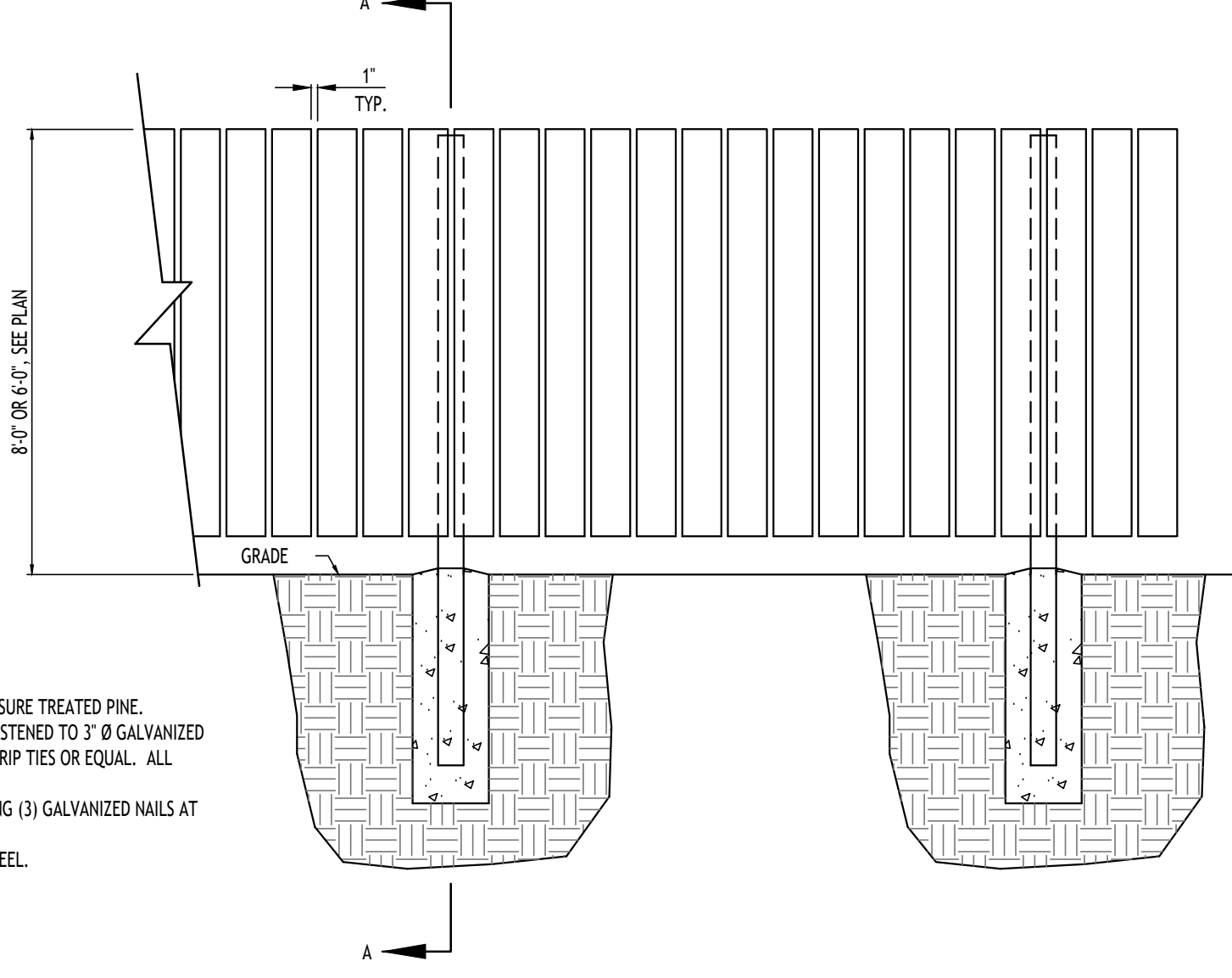
90° PARKING STALL LAYOUT - 2
NOT TO SCALE



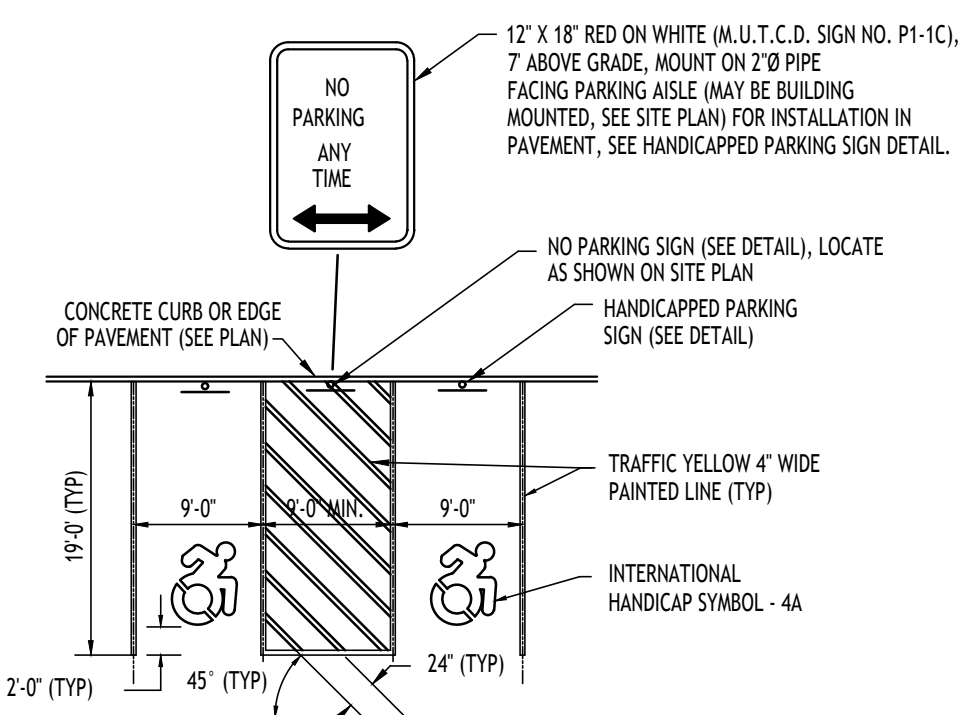
STANDARD DUTY ASPHALT SECTION - 3
NOT TO SCALE



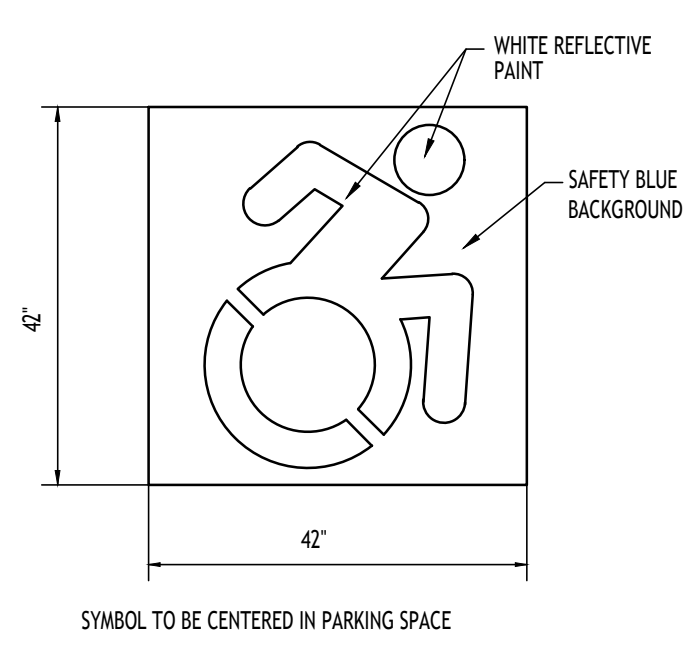
6" BOARD ON BOARD FENCE FOR DUMPSTER ENCLOSURE
NOT TO SCALE



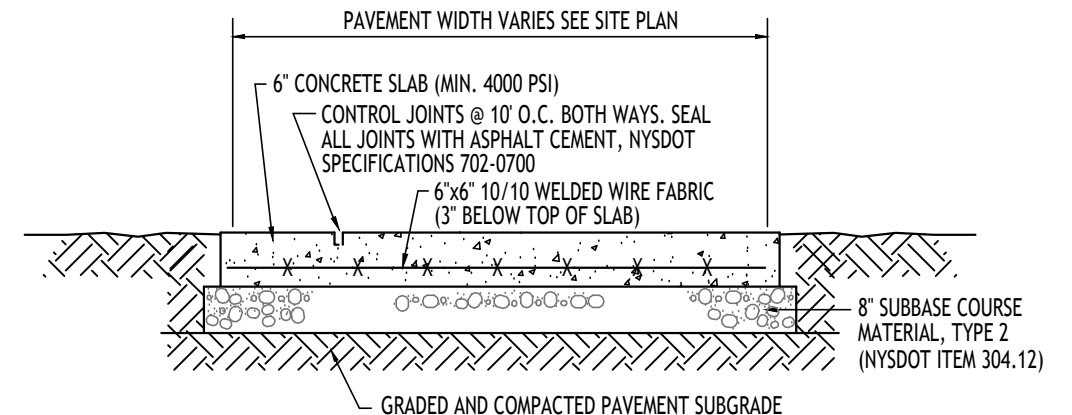
DUMPSTER ENCLOSURE - 7
NOT TO SCALE



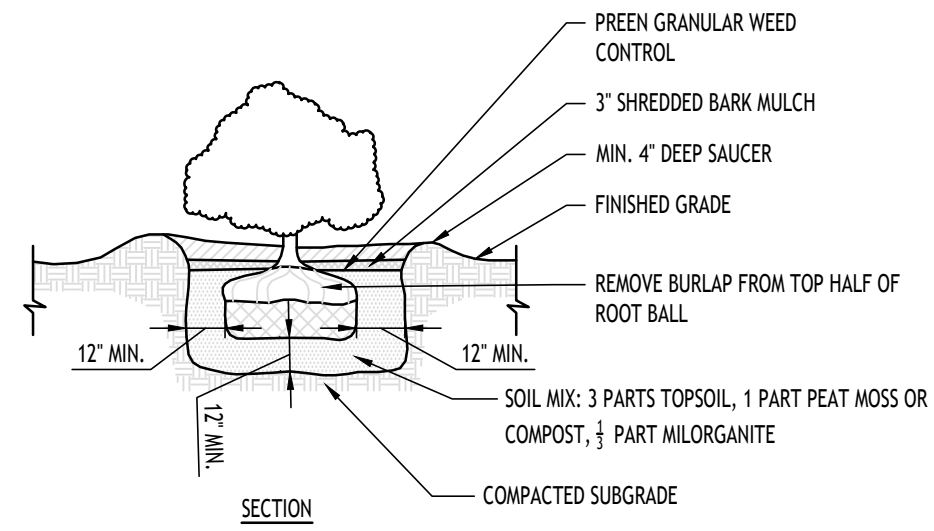
HANDICAPPED PAVEMENT MARKINGS & SIGNAGE - 4
NOT TO SCALE



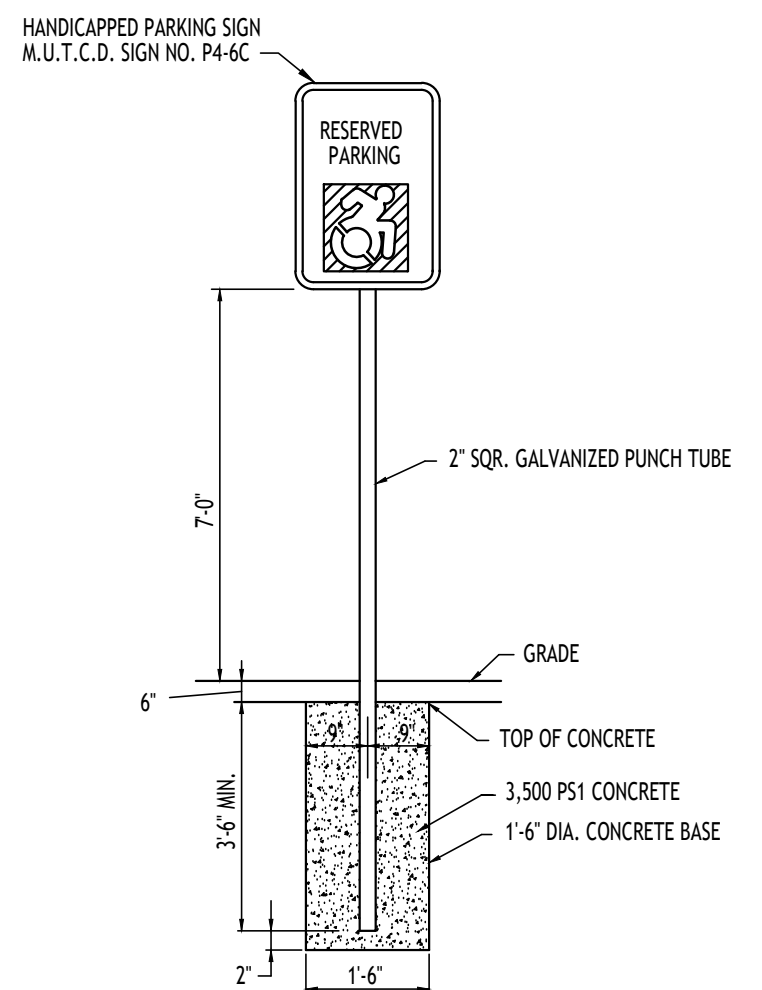
INTERNATIONAL HANDICAP SYMBOL - 4A
NOT TO SCALE



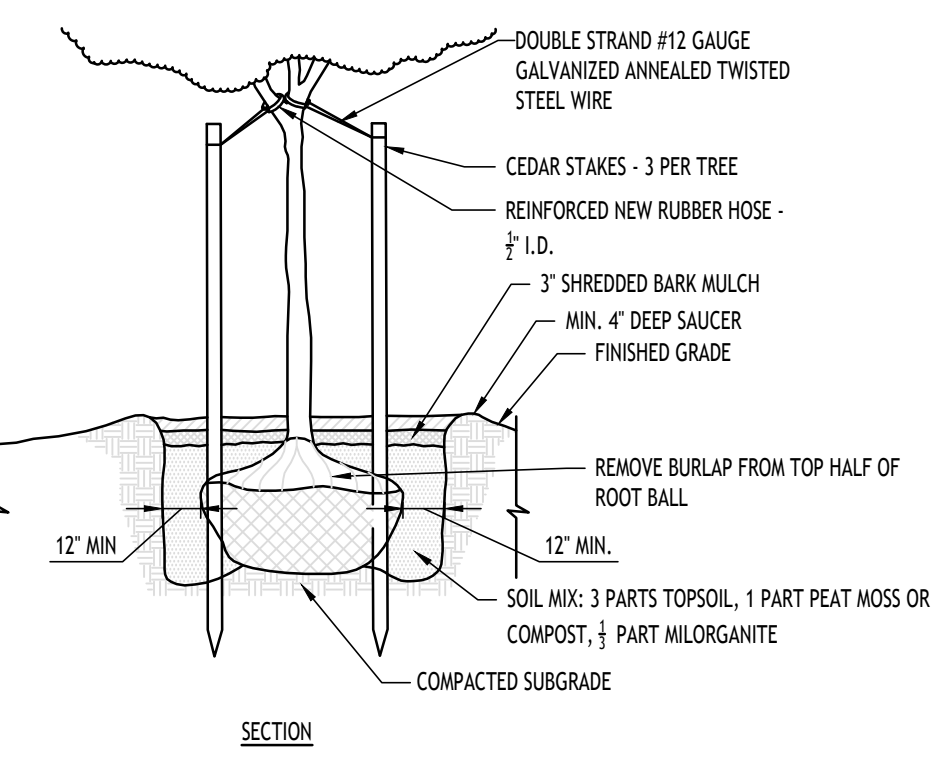
EXTERIOR CONCRETE SLAB-ON-GRADE SECTION - 6
NOT TO SCALE



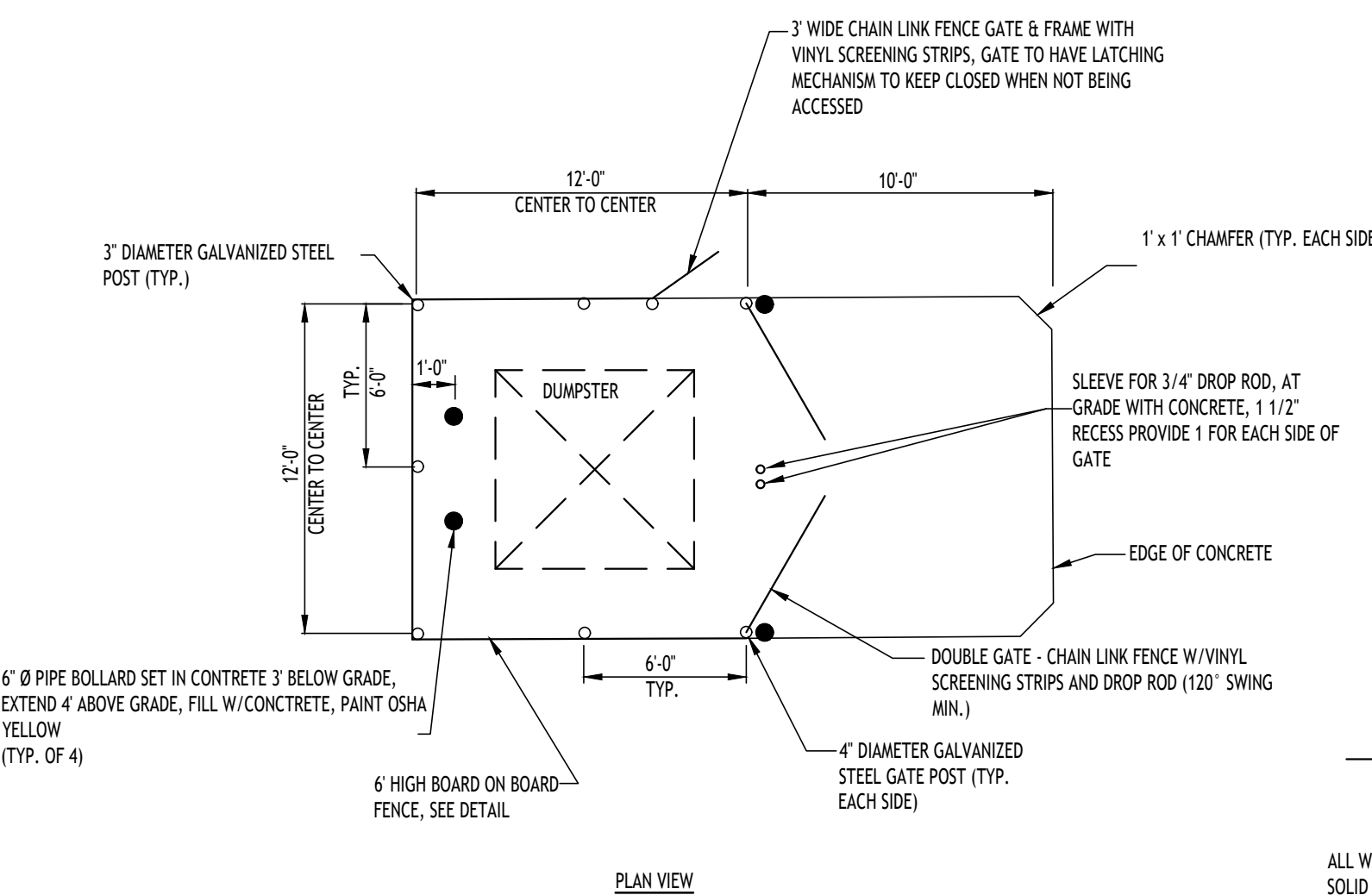
SHRUB PLANTING DETAIL
NOT TO SCALE



HANDICAPPED PARKING SIGN - 5
NOT TO SCALE

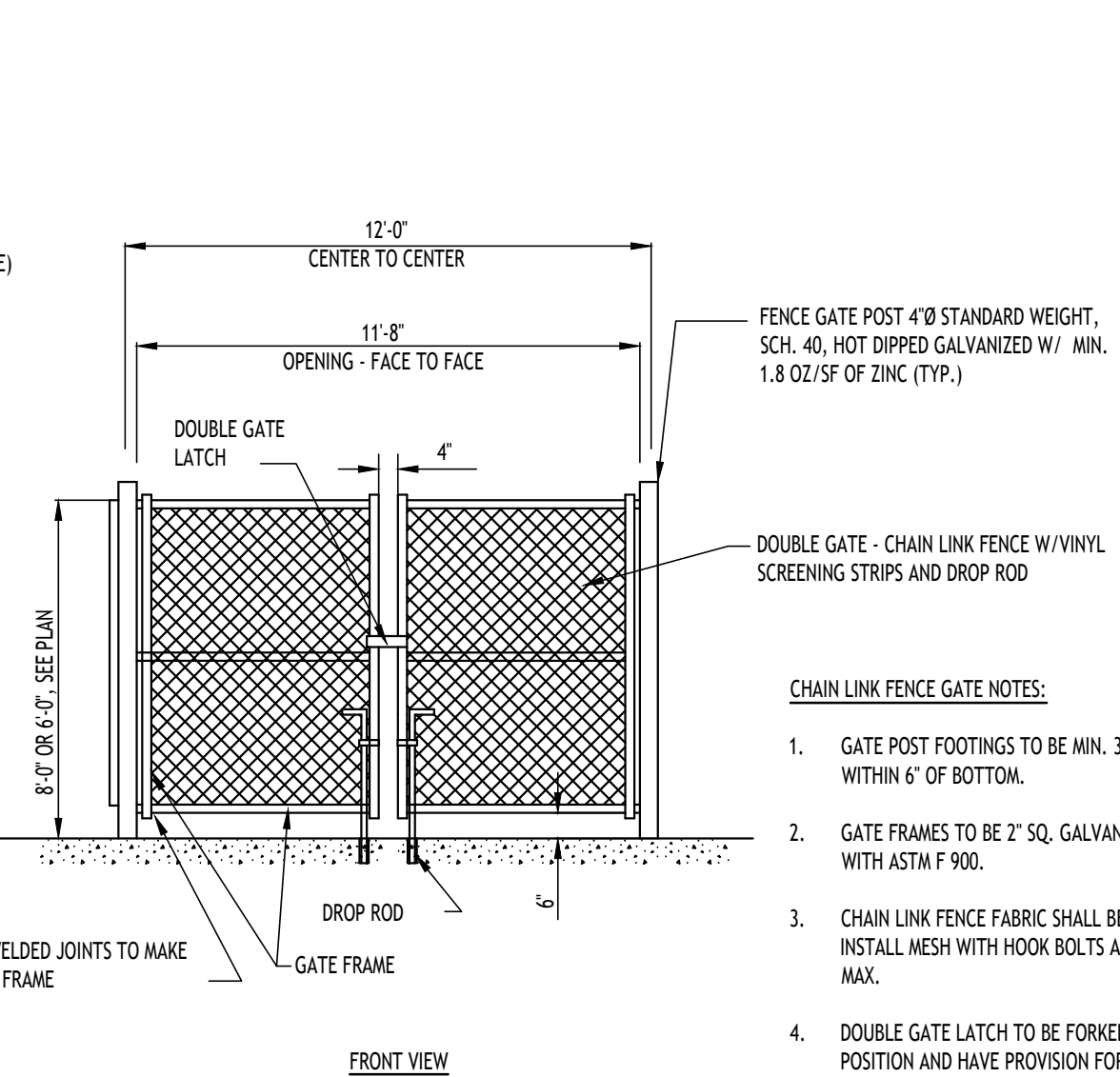


TREE PLANTING DETAIL
NOT TO SCALE



GRASS/LAWN AREA

HANDICAPPED PARKING SIGN - 5
NOT TO SCALE



- CHAIN LINK FENCE GATE NOTES:**
- GATE POST FOOTINGS TO BE MIN. 36" DEEP x (4x) POST DIAMETER, EXTEND POST TO WITHIN 6" OF BOTTOM.
 - GATE FRAMES TO BE 2" SQ. GALVANIZED STEEL, WEIGHING 2.60 LB/FT IN ACCORDANCE WITH ASTM F 900.
 - CHAIN LINK FENCE FABRIC SHALL BE 2" MESH, 9 GAUGE, ZINC COATED STEEL CORE WIRE. INSTALL MESH WITH HOOK BOLTS AND TENSION BARS ON ALL 4 SIDES, ATTACH AT 15" MAX.
 - DOUBLE GATE LATCH TO BE FORGED TYPE CAPABLE OF RETAINING GATE IN CLOSED POSITION AND HAVE PROVISION FOR PAD LOCK. LATCH SHALL BE OPERABLE FROM EITHER SIDE OF GATE.
 - ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL TO SUIT GATE SIZE.

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REVISIONS:	No.	Description	Date



DRAWING NAME:
Site Details

Date: 1/6/25
Drawn By: P. Sheedy
Scale: As Noted

DRAWING NO.
C-101
Project No: 24-4172

CARMINAWOOD DESIGN

January 8, 2025

Jonathan Bleuer
Director of Community Development
Town of Clarence Office of Planning and Zoning
One Town Place
Clarence, NY 14031

Re: Site Improvements
8870 Sheridan Drive
Clarence, NY

Mr. Bleuer:

On behalf of our client, Nash Kraft, please find enclosed the following documents for processing and review:

(5) Site Plan and Details [Drawing C-100 & C-101]

In response to the comment from the Town requesting improvements to the existing canopy, the applicant proposes the bottom 2'-3' of the six columns will be finished with a stone material complimentary to the stone material on the existing building at the storefront entrance. Additionally the structure will be freshly painted.

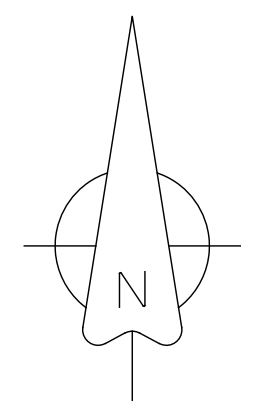
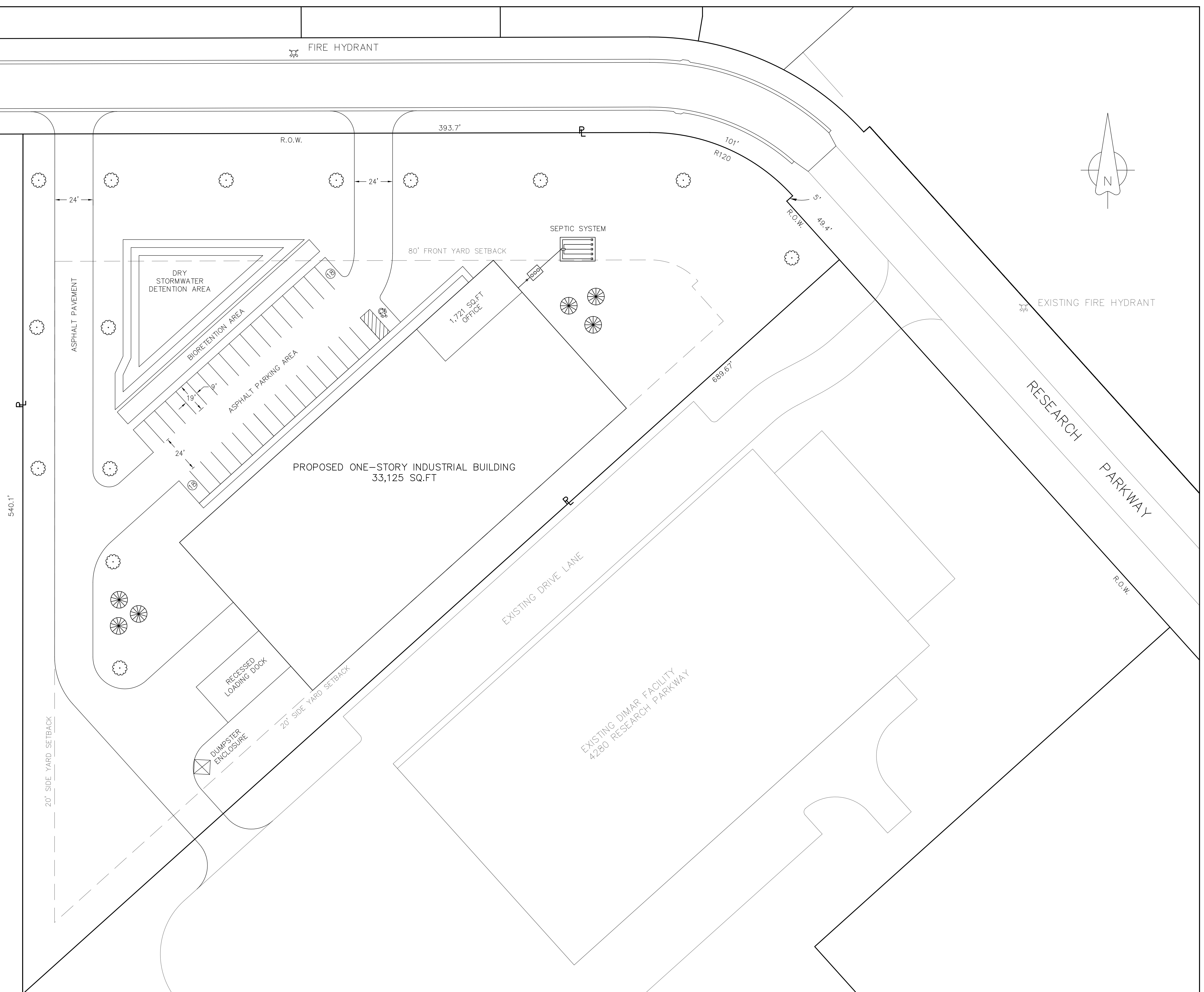
If you should have any questions regarding this letter, please contact me at (716) 842-3165 x123. Thank you.

Sincerely,



Patrick Sheedy Jr, PE | Senior Associate

SITE DATA TABLE	
ZONING CLASSIFICATION:	INDUSTRIAL BUSINESS PARK
LOT SIZE REQUIRED:	1.0 ACRE (MINIMUM)
LOT SIZE PROPOSED:	3.62 ACRES
LOT FRONTAGE REQUIRED:	125'
LOT FRONTAGE PROPOSED:	534'
LOT WIDTH REQUIRED:	125'
LOT WIDTH PROPOSED:	482'
LOT DEPTH REQUIRED:	200.0'
LOT DEPTH PROPOSED:	540' (WEST PL), 690' (EAST PL)
FRONT YARD SETBACK REQUIRED:	80.0'
FRONT YARD SETBACK PROVIDED:	80.0'
SIDE YARD SETBACK REQUIRED:	20.0'
SIDE YARD SETBACK PROVIDED:	20.0'
LOT COVERAGE ALLOWED:	75%
LOT COVERAGE PROPOSED:	21%
PARKING SPACES REQUIRED:	29
PARKING SPACES PROVIDED:	36
HANDICAP SPACES REQUIRED:	1
HANDICAP SPACES PROVIDED:	1
MAXIMUM BUILDING HEIGHT:	45'
BUILDING HEIGHT PROPOSED:	< 45'
MINIMUM FLOOR AREA:	2,000 SF
FLOOR AREA PROPOSED:	33,125 SF

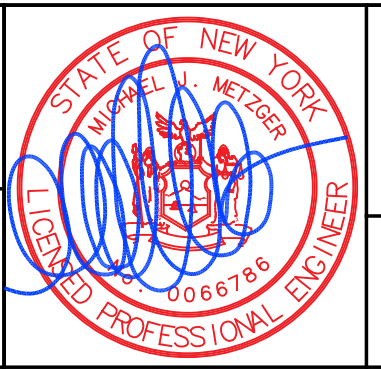


NOTES:

1) BASED ON MAP COVER PREPARED BY NUSSBAUMER AND CLARK, INC. DATED 06/28/24 AND THE TOPOGRAPHIC SURVEYS PERFORMED BY NUSSBAUMER AND CLARK, INC., DATED 12/02/22 AND 02/28/23. THIS IS NOT A PROPERTY SURVEY.

DESIGNED BY:	LKM
DRAWN BY:	LKM
CHECKED BY:	MJM
CAD FILE:	M2121
NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW	
REVISIONS	DATE BY/CHK

MCE METZGER CIVIL ENGINEERING, PLLC
 8245 SHERIDAN DR. WILLIAMSVILLE, NY 14221
 PH: 716-633-2601 FAX: 716-633-2704
 CIVIL ENGINEERING LAND PLANNING SITE DESIGN MUNICIPAL ENGINEERING



PROPOSED LIGHT MANUFACTURING BUILDING
 CLARENCE SOLAR INDUSTRIAL PARK
 RESEARCH PARKWAY SUBLot 5
 TOWN OF CLARENCE, ERIE COUNTY, NEW YORK
CONCEPT PLAN

SCALE:	1"=30'
DATE:	JANUARY 15, 2025
JOB NO:	M-2121
DRAWING NO:	CP-1

I:\Station\c\Users\mcm\OneDrive\MECE\M2121 - 10,000 Wehrle D\DWGS\DIMAR II.dwg, 1/15/2025 2:19:12 PM

METZGER CIVIL ENGINEERING, PLLC

January 15, 2025

Mr. Jonathan Bleuer
Director of Community Development
Planning Department
Town of Clarence
One Town Place
Clarence, NY 14031

Re: Dimar Manufacturing Corporation
Proposed Industrial Building
Research Parkway Sublot 5

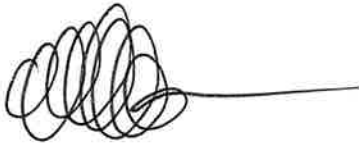
Dear Jonathan:

On behalf of our client, please find the following materials for a concept plan review for a new proposed industrial building on Lot 5 of the Clarence Solar Industrial Park, directly adjacent to (northwest of) the previously completed Dimar building at 4280 Research Parkway:

- Concept Plan CP-1 dated 01.15.25 (5 copies)
- Short Environmental Assessment Form (EAF) (2 copies)
- Request for Action Form (RFA) (2 copies)
- Building Renderings (2 copies)
- Building Floor Plan (2 copies)
- Office Floor Plan (2 copies)
- Building Elevations (2 copies)

It would be appreciated if you would place this on the next available Town Board work session agenda for referral to the Planning Board. Should you have any questions please don't hesitate to contact the undersigned at 716-633-2601 or via email at meteng@roadrunner.com.

Yours truly,



Michael J Metzger, P.E.
enc.

CC. Noel Dill
Paul Stephen

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

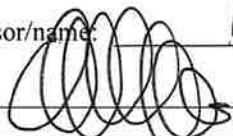
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: DIMAR II - New Light Manufacturing Building - Research Parkway Sublot 5			
Project Location (describe, and attach a location map): Research Parkway, Clarence, NY 14031			
Brief Description of Proposed Action: Construction of a 33,125 square foot light manufacturing and storage facility.			
Name of Applicant or Sponsor: Metzger Civil Engineering on behalf of Stephen Development		Telephone: 716-633-2601 E-Mail: meteng@roadrunner.com	
Address: 8245 Sheridan Drive			
City/PO: Williamsville		State: NY	Zip Code: 14221
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Clarence PB Concept & Development Plan Approval; NYSDEC Stormwater SPDES Permit; ECHD Septic Approval; ECWA RPZ Approval;			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.62 acres	
b. Total acreage to be physically disturbed?		3.40 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		314± acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO		YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO		YES
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO		YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO		YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ On-site wastewater treatment system _____	NO		YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO		YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO		YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ The wetland area on site has been determined to be unregulated. _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
<u>The use of catch basins and down spouts will direct all stormwater from impervious areas to traditional stormwater treatment facilities and will be designed in accordance with all the applicable NYSDEC stormwater regulations. Following proper treatment, stormwater will be discharged via injection wells.</u>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>DEC ID number 915243: Remediation site was a result of a fire to the facility adjacent to the project where hazardous waste was stored. Groundwater and soil samples were obtained after the fire at the facility, which were not above the allowable limits. The site was properly closed with no further action needed.</u>		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name:	<u>Michael J. Metzger, PE</u>	Date: <u>1/15/25</u>
Signature: 	Title: <u>Consultant / Agent</u>	

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



Request for Action

Town of Clarence | Office of Planning & Zoning
(716)741-8933 | 1 Town Place, Clarence, NY 14031

Town Use Only

Date: _____

Received By: _____

APPLICANT REQUEST:

Project Address: 0 Research Parkway

SBL #: 83.00-3-31, subplot #5

Action Desired:

Concept Plan approval for an industrial building focusing on distribution, warehousing, and light manufacturing.

Reason:

Further expansion of an established manufacturing business in the town.

CONTACT INFO:

APPLICANT INFO

Name / Business: Metzger Civil Engineering on behalf of Stephen Development

E-Mail: meteng@roadrunner.com

Phone #: 716-633-2601

Address: 8245 Sheridan Dr

Town: Williamsville State: NY Zip: 14221

PROJECT SPONSOR INFO (If Different Than Applicant)

Name / Business: Metzger Civil Engineering

E-Mail: meteng@roadrunner.com

Phone #: 716-633-2601

Address: 8245 Sheridan Dr

Town: Williamsville State: NY Zip: 14221

SIGNATURE

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

Signed: _____

CORRESPONDENCE

Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.

<input type="checkbox"/>	Applicant
<input checked="" type="checkbox"/>	Project Sponsor

Town Use Only:

Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
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_____	_____	_____	_____	_____



DIMAR
MANUFACTURING CORPORATION

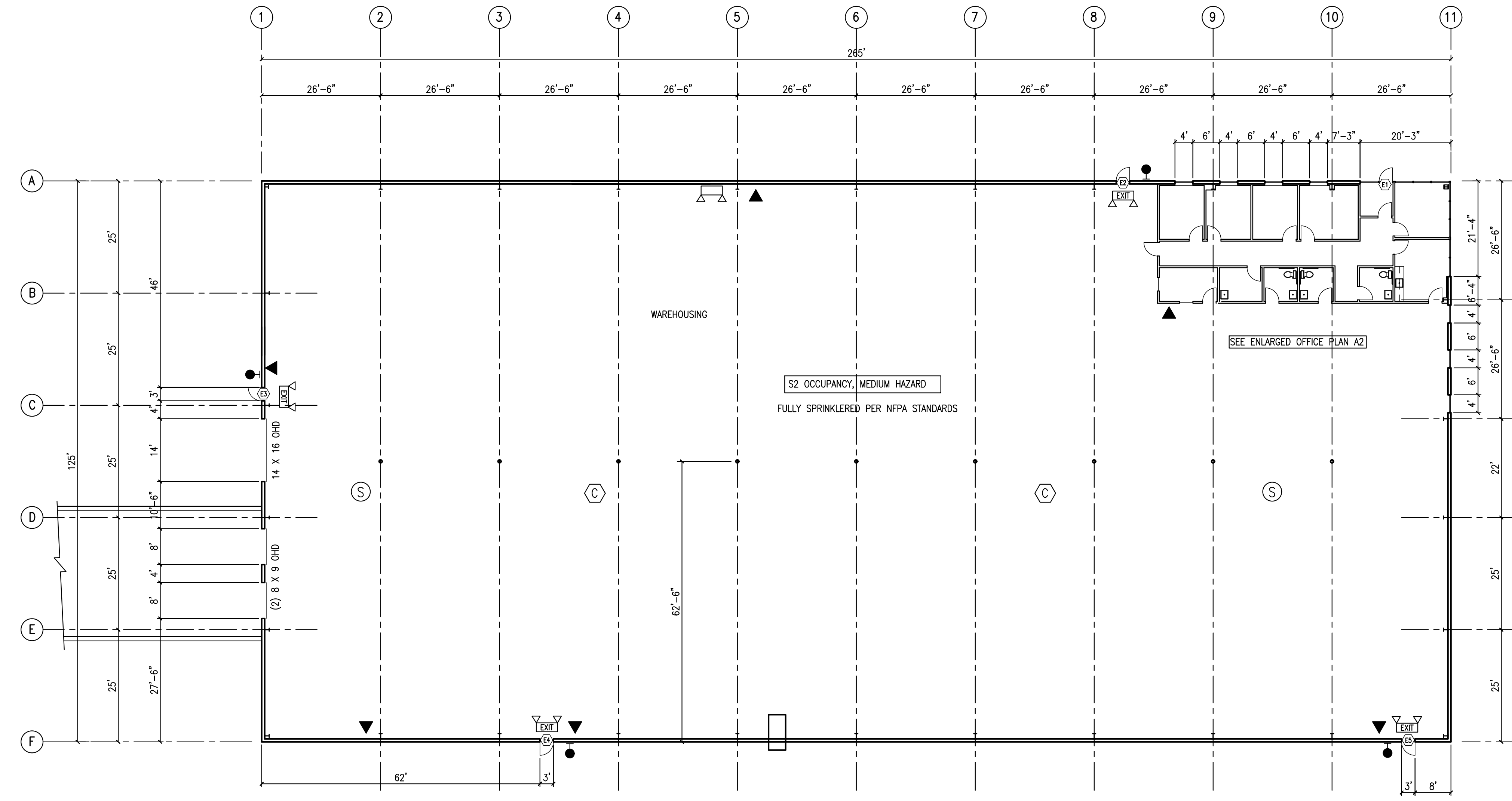








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 LAW.



FLOOR PLAN

1/16" = 1'-0"



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL, STATE AND FEDERAL CODES AS INTERPRETED BY AUTHORITIES HAVING JURISDICTION
2. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS
3. BUILDING IS A PRE-ENGINEERED METAL BUILDING MANUFACTURED BY NUCOR BUILDINGS
4. ALL LAVATORIES ARE ADA COMPLIANT.
5. ADA COMPLIANT SIGNAGE WHERE REQUIRED.

LEGEND

- EMERGENCY LIGHTING
- EMERGENCY/EXIT COMBO
- FIRE EXTINGUISHER
- EXTERIOR REMOTE EMERGENCY LIGHT
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

OCCUPANCY DESIGN CRITERIA

OCCUPANCY CLASSIFICATION	B, S2
BUILDING CONSTRUCTION TYPE	2B
TOTAL No. OF FLOORS	1
BUILDING AREA	33,125 S.F.
NUMBER OF EMPLOYEES	7

Revision	
Date	

Project: **Dimar Manufacturing Corp.**
 Research Parkway
 Clarence, New York

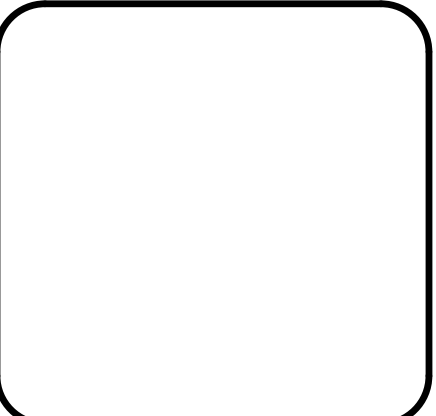
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Date	12-24	
Scale	AS NOTED	
Project No.		

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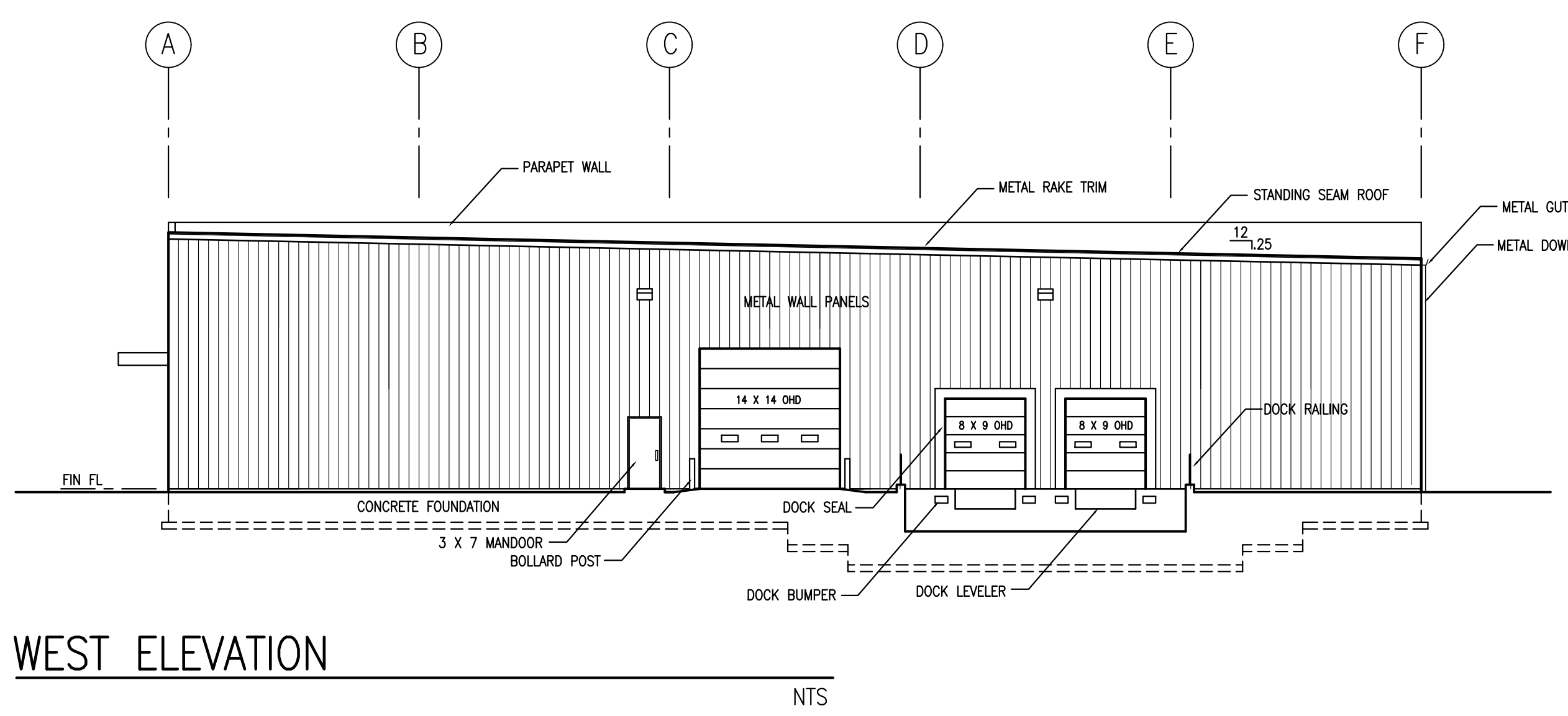
Revision	
Date	



Project: **Dimar Manufacturing Corp.**
 Research Parkway Clarence, New York

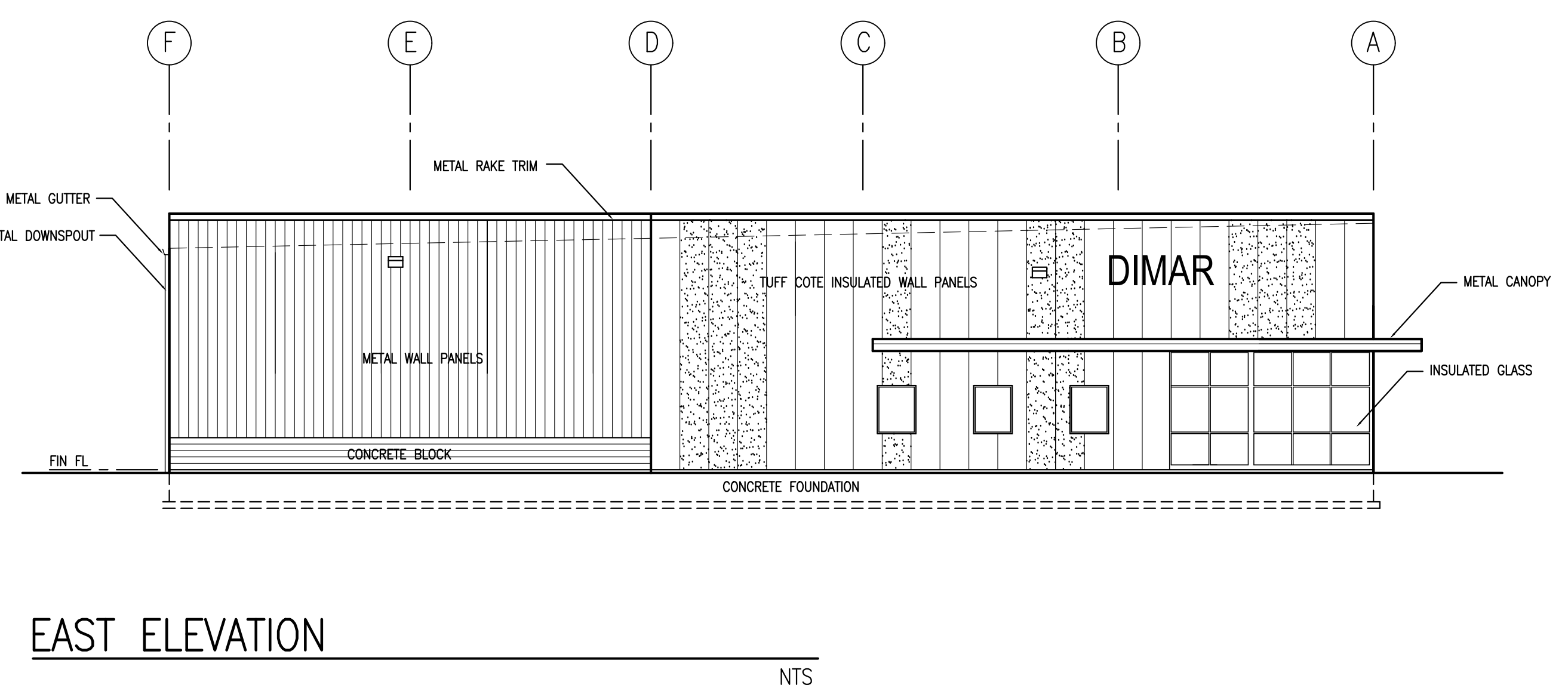
Drawing Title: **Building Elevations**

Drawn	HCS	Sheet
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Scale	AS NOTED	
Project No.		



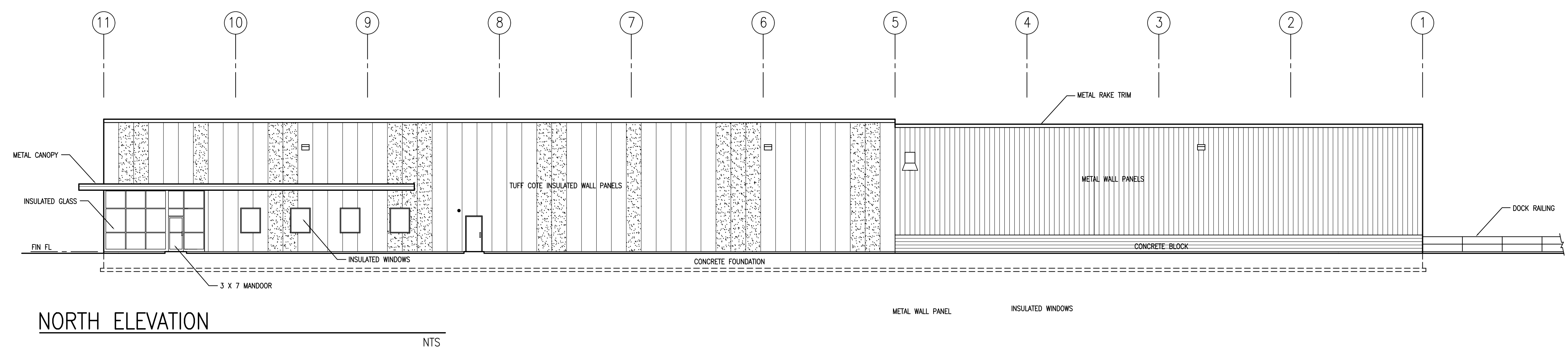
WEST ELEVATION

NTS



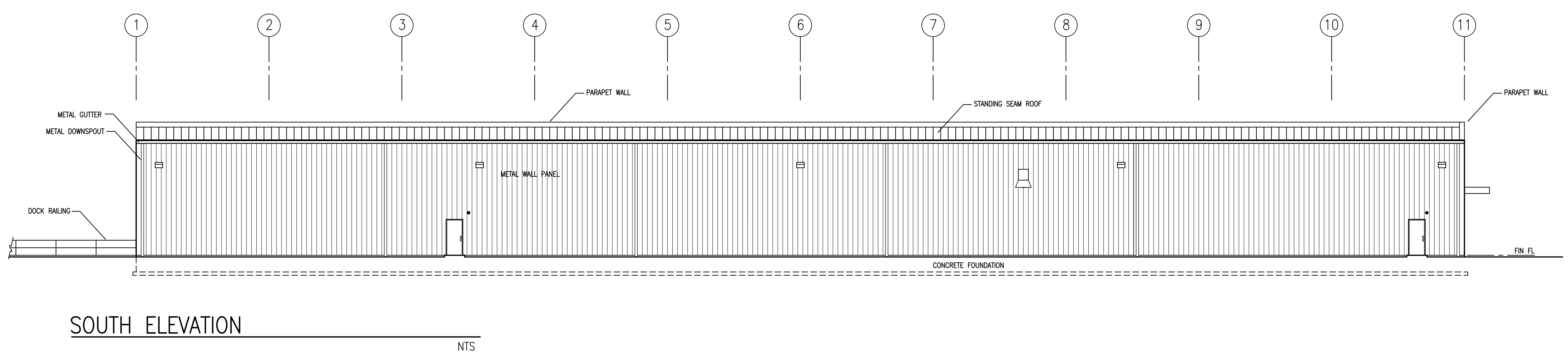
EAST ELEVATION

NTS



NORTH ELEVATION

NTS



SOUTH ELEVATION

NTS