

# PROPOSED RETAIL

## EASTGATE PLAZA

5017 Transit Road

Town of Clarence, Erie County, NY

## SITE DEVELOPMENT DRAWINGS

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C-8.0	LIGHTING PLAN	3/3/25	12/16/24

### AGENCIES:

ENGINEERING DEPARTMENT  
 NAME/TITLE: TIMOTHY LAVOCAT, P.E., TOWN ENGINEER  
 PHONE: 716 - 741 - 8952  
 E-MAIL: TLAVOCAT@CLARENCE.NY.US  
 COMPANY/DEPT: TOWN OF CLARENCE ENGINEERING DEPARTMENT  
 ADDRESS: 6221 GOODRICH RD., CLARENCE CENTER, NY 14032

### OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC  
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202  
 CONTACT: MATT OATES, P.E.  
 PHONE: 716 - 878 - 9397

UDIG NY  
 PHONE: 1 - 800 - 962 - 7962 OR (811)

### REFERENCES:

REFERENCE #1: TOPOGRAPHIC SURVEY/EXISTING CONDITIONS  
 PREPARED BY: TRUE NORTH LAND SURVEYING, PLLC  
 DWG. SET TITLE: BOUNDARY AND TOPOGRAPHIC SURVEY  
 DATE PREPARED: OCTOBER 27, 2024  
 LAST REVISED:

### UTILITIES:

SANITARY SEWER  
 NAME/TITLE: ERIE COUNTY SEWER DISTRICT NO. 3  
 AGENCY/DEPT: ERIE COUNTY DIVISION OF SEWERAGE MANAGEMENT (DSM)  
 ADDRESS: 8443 LAKE SHORE ROAD, ANGOLA, NY 14006  
 PHONE: 716 - 549 - 3161

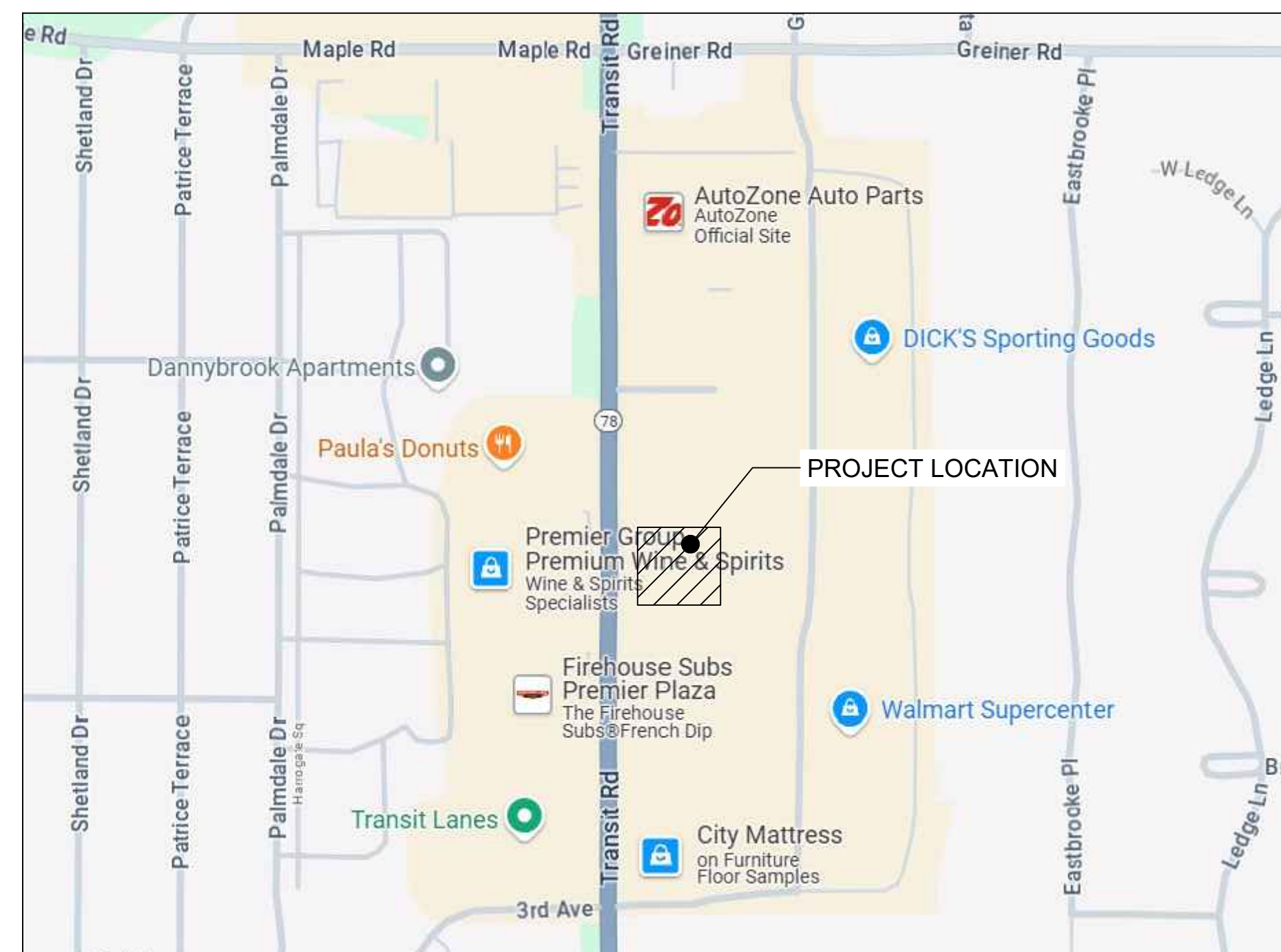
WATER DEPARTMENT  
 NAME/TITLE: STEVE DENZLER  
 COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY  
 ADDRESS: 295 MAIN STREET, ROOM 350, BUFFALO, NY 14203  
 PHONE: 716 - 685 - 8289

NATURAL GAS  
 COMPANY/DEPT: NATIONAL FUEL  
 PHONE: 716 - 857 - 7967

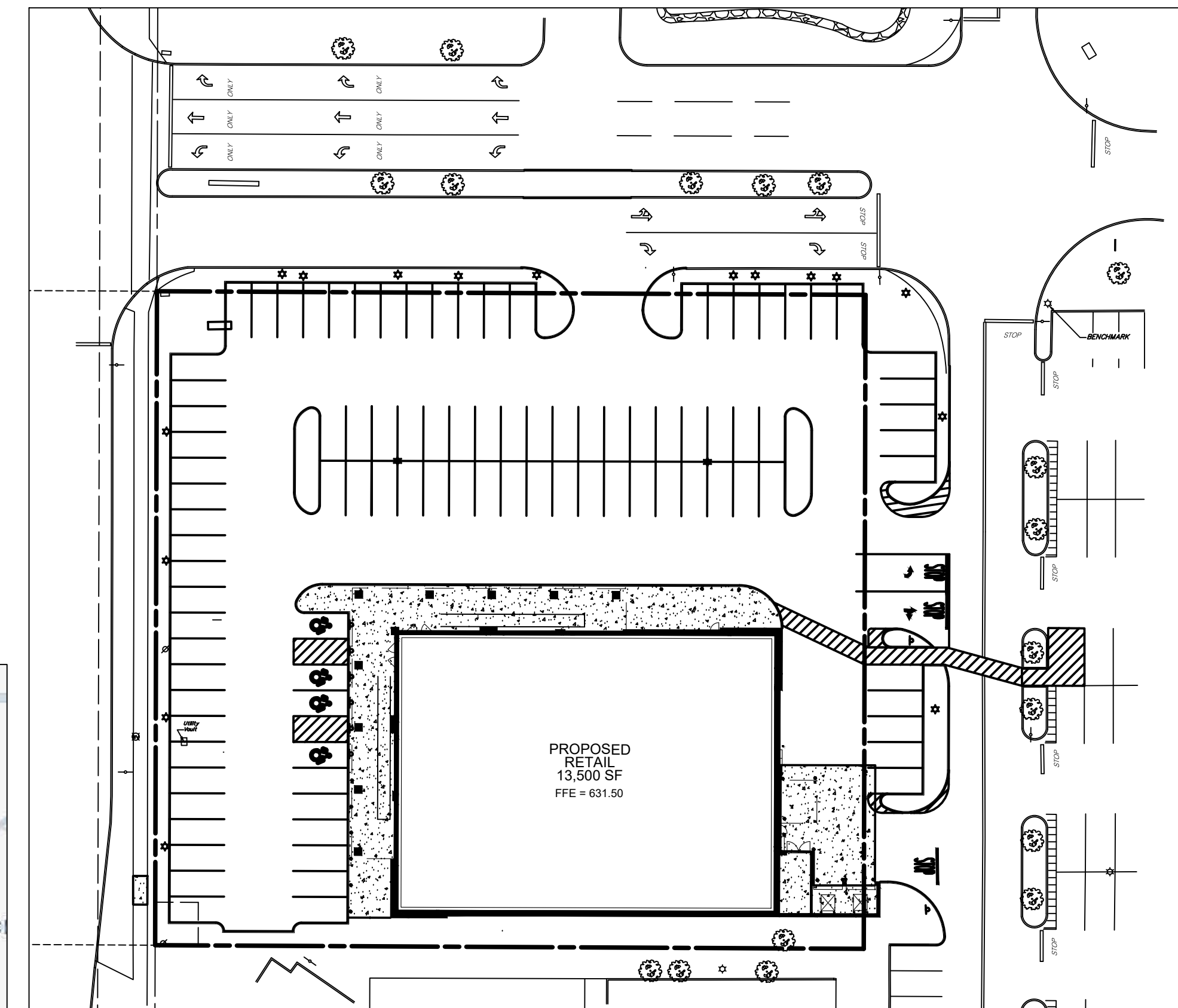
TELEPHONE COMPANY  
 COMPANY/DEPT: VERIZON  
 PHONE: 716 - 840 - 8656

ELECTRIC  
 COMPANY/DEPT: NATIONAL GRID  
 PHONE: 315 - 428 - 6319

CABLE  
 COMPANY/DEPT: TIME WARNER CABLE  
 PHONE: 800 - 262 - 8600

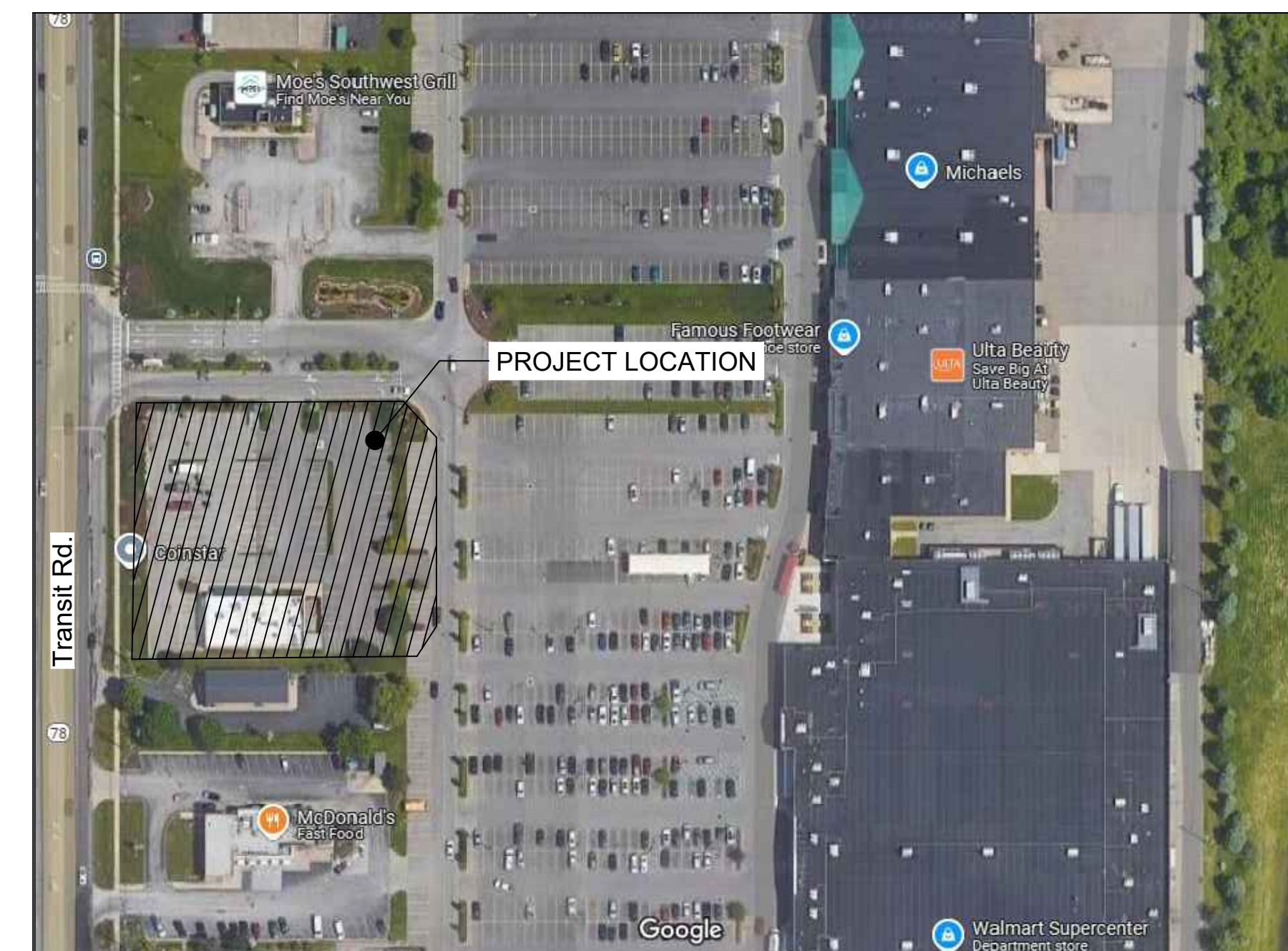


PROJECT LOCATION MAP



PROJECT KEY MAP

Scale: 1"=40'



PROJECT LOCATION MAP

Scale: 1"=400'

CONTRACTOR SHALL CONTACT "UDIG NY" @  
 1-800-962-7962 FOR LOCATION OF ALL  
 UTILITIES, AT LEAST 7 DAYS PRIOR TO  
 BEGINNING CONSTRUCTION

Revisions		3/3/25	2/26/25	2/17/25	2/17/25	1/31/25	1/13/25	1/5/25	Date
8	GENERAL REVISIONS								
7	GENERAL REVISIONS								
6	GENERAL REVISIONS								
5	UPDATED DWG. INDEX								
4	REVISIONS PER BENDERSON								
3	REVISIONS PER BENDERSON								
2	REVISIONS PER BENDERSON								
No.	Revision/Issue								

### Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE, BUFFALO, NY 14202  
 PHONE: (716) 886-0211 FAX: (716) 886-7781  
 WWW.BENDERSON.COM

PROJECT NO. 1105

Engineer's Seal

Engineer

**PWE**  
**PINEWOODS ENGINEERING**  
 LAND DEVELOPMENT & STORM WATER MANAGEMENT  
 42 Aston Villa, North Chili, New York 14514  
 Phone: (585) 361-7852

Project Name and Address

**PROPOSED RETAIL EASTGATE PLAZA**  
 5017 Transit Road  
 Clarence, New York 14221

Drawing Name

**COVER SHEET**

Sheet	1 OF 17	Drawing Number	
Date	12/16/2024		<b>C-1.0</b>
Scale	AS NOTED		



**GENERAL NOTES** (APPLICABLE TO ALL DRAWINGS IN SET)

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)  
11.1 CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - POLYSEAL WB-15 NON YELLOWING X2 COATS REQUIRED (SECOND COAT AT END OF CONSTRUCTION PROJECT).  
11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE WR MEADOWS CS 309-25 NON YELLOWING ACRYLIC - X2 COATS REQUIRED (SECOND COAT AT END OF CONSTRUCTION PROJECT).

**EROSION & SEDIMENT CONTROL NOTES**

1. PROJECT LIMITS OF DISTURBANCE (AS SHOWN) IS 0.97 ACRES. TOTAL SITE DISTURBANCE IS TO BE KEPT WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS AND UNDER 1.00 ACRES.
2. INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
3. ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION, DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
6. DIRT OR DEBRIS LEFT ON PUBLIC OR PRIVATE ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
8. THE CONTRACTOR IS RESPONSIBLY FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, WATER QUALITY UNITS AND DETENTION SYSTEMS. SILT BUILD-UP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM PIPES, WATER QUALITY UNITS OR DETENTION STRUCTURES, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
9. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.

**STORM SEWER NOTES**

1. WHERE \*DENOTED, PRIOR TO STARTING ON SITE, CONTRACTOR TO EXPOSE EXISTING PIPE TO DETERMINE EXACT LOCATION AND TO CONFIRM CONNECTION POSSIBLE AT PROPOSED INVERT.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL PIPE LENGTHS ARE SHOWN CENTERLINE TO CENTERLINE OF STRUCTURE, ACTUAL LAYING LENGTHS WILL VARY DUE TO STRUCTURE SIZE AND SLOPE. INVERTS SHOWN ARE THE INTERSECTION OF PIPE INVERT PROFILE WITH CENTERLINE OF STRUCTURE. ACTUAL PIPE INVERTS AT STRUCTURE WALL WILL VARY DEPENDING ON PROFILE GRADE AND STRUCTURE SIZE.
4. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
5. ALL ON-SITE STORM LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE REQUIRED.
6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
7. ROOF DRAINS UP TO COLLECTOR PIPE TO BE UNDERTAKEN BY BUILDING PLUMBER.

**GRADING NOTES:**

1. GRADING SHALL BE KEPT WITHIN THE LIMITS SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
2. CONTRACTOR SHALL PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
3. TEMPORARY STOCKPILES THAT WILL REMAIN IN PLACE MORE THAN ONE WEEK SHALL BE GRADED AND PROVIDED WITH COVER CROP SEEDING.
4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, BUILDING DIMENSIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS.
5. ALL UNSURFACED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
7. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**ERIE COUNTY SEWER DISTRICT GENERAL NOTES FOR NON-RESIDENTIAL PROJECTS**

- A. THE CONTRACTOR IS ADVISED A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
- B. ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, WET WELLS, CHAMBERS) OWNED BY ERIE COUNTY SEWER DISTRICT MUST CERTIFY TO THE COUNTY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
- C. CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS FOR ERIE COUNTY SEWER DISTRICTS.
- D. IF PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN FOUR (4) FEET OF COVER, THEN ON SITE PLAN AND PROFILE HATCHMARK AND LABEL, "SELECT FILL REQUIRED" IN AFFECTED AREAS.
- E. THE CONTRACTOR MUST CONTACT THE DISTRICT OFFICE 48 HOURS IN ADVANCE OF CONSTRUCTION.
- F. VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, THEN PROTECT WITH BOLLARDS (3 MINIMUM).
- G. CLEANOUTS (C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE OF DIRECTION.
- H. ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
- I. REUSE OF EXISTING BUILDING SEWERS SHALL CONFORM TO THE RULES AND REGULATIONS FOR ECSD, ARTICLE III, SECTION 304.

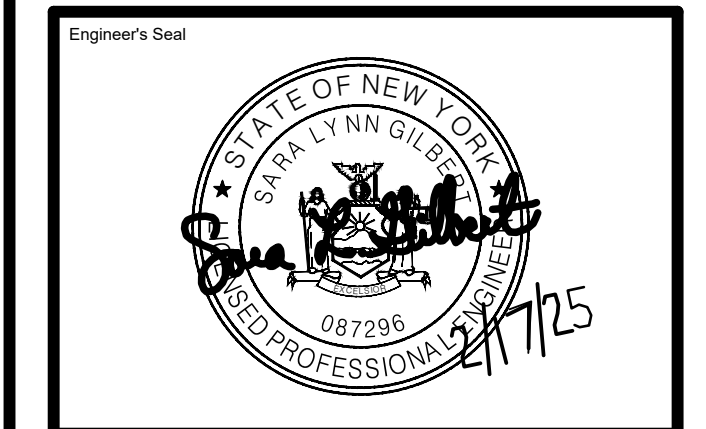
**UTILITY NOTES**

1. ALL ELECTRIC, TELEPHONE, CABLE AND GAS EXTENSIONS AND SERVICE LINES TO BE COORDINATED WITH, AND CONSTRUCTED TO, THE APPROPRIATE UTILITY COMPANY AND THEIR SPECIFICATIONS.
2. ALL WORK PERFORMED IN TRENCHES SHALL COMPLY WITH OSHA STANDARDS FOR OPEN TRENCH EXCAVATIONS.
3. CLEAN-OUTS SHALL BE PROVIDED ON THE SANITARY SEWER LINE EVERY 100 FT AND AT EVERY CHANGE IN DIRECTION ON THE UPSTREAM SIDE.
4. WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
5. PROVIDE ALL FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. ALL PIPE LENGTHS ARE SHOWN CENTERLINE TO CENTERLINE OF STRUCTURE, ACTUAL LAYING LENGTHS WILL VARY DUE TO STRUCTURE SIZE AND SLOPE. INVERTS SHOWN ARE THE INTERSECTION OF PIPE INVERT PROFILE WITH CENTERLINE OF STRUCTURE. ACTUAL PIPE INVERTS AT STRUCTURE WALL WILL VARY DEPENDING ON PROFILE GRADE AND STRUCTURE SIZE.
8. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
9. ALL ON-SITE SANITARY, STORM, AND WATER LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE SHOWN.
10. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
11. WATER SERVICE SIZE PROVIDED BY BENDERSON DEVELOPMENT COMPANY. REFER TO ARCH. PLANS FOR SIZING.
12. WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN (10) FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
13. WATER SERVICE LINES SHALL PROVIDE A MINIMUM VERTICLE SEPARATION OF 18 INCHES BETWEEN THE OUTSIDES OF THE WATER AND SANITARY SEWER PIPE CROSSINGS AND JOINTS SHALL BE OFFSET TO THE GREATEST EXTENT POSSIBLE.
14. PRIOR TO EXCAVATING NEAR GAS OR ELECTRIC LINES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY.
15. THE PROPOSED UTILITY WORK ON THIS SITE MAY REQUIRE WORK ON EXISTING MAINS CONTAINING ASBESTOS. ALL WORK INVOLVING MATERIALS CONTAINING ASBESTOS SHALL BE PERFORMED BY A SUBCONTRACTOR THAT IS SPECIFICALLY LICENSED BY THE NEW YORK STATE DEPARTMENT OF LABOR FOR ASBESTOS SERVICES. ALL WORK INVOLVING ASBESTOS MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, INCLUDING NEW YORK STATE DEPARTMENT OF LABOR CODE RULE 56.
16. ALL OTHER REQUIRED PERMITS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF ERIE, TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.
17. SANITARY AND GREASE LINES TO VENT THROUGH ROOF BY BUILDING CONTRACTOR.
18. WATER SERVICE PIPE, BACKFLOW AND METERING SIZING PROVIDED BY BENDERSON DEVELOPMENT CO. VERIFICATION OF ADEQUATE PRESSURE/FLOW AT BLDG. TO BE PERFORMED BY OTHERS.
19. ANY REQUIRED UTILITY PERMITS REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.

Revisions							
No.	Date	Revision/Issue	No.	Date	Revision/Issue	No.	Date
1	2/17/25	GENERAL REVISIONS					

**Notes & References**  
CONTRACTOR SHALL CONTACT \*DIG SAFELY NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION  
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**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE, BUFFALO, NY 14202  
PHONE: (716) 886-0211 FAX: (716) 886-7781  
WWW.BENDERSON.COM

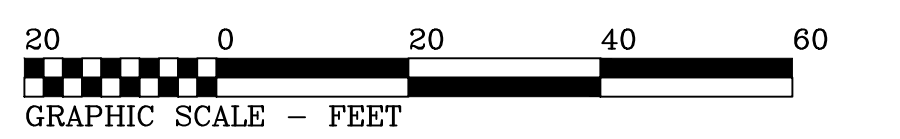
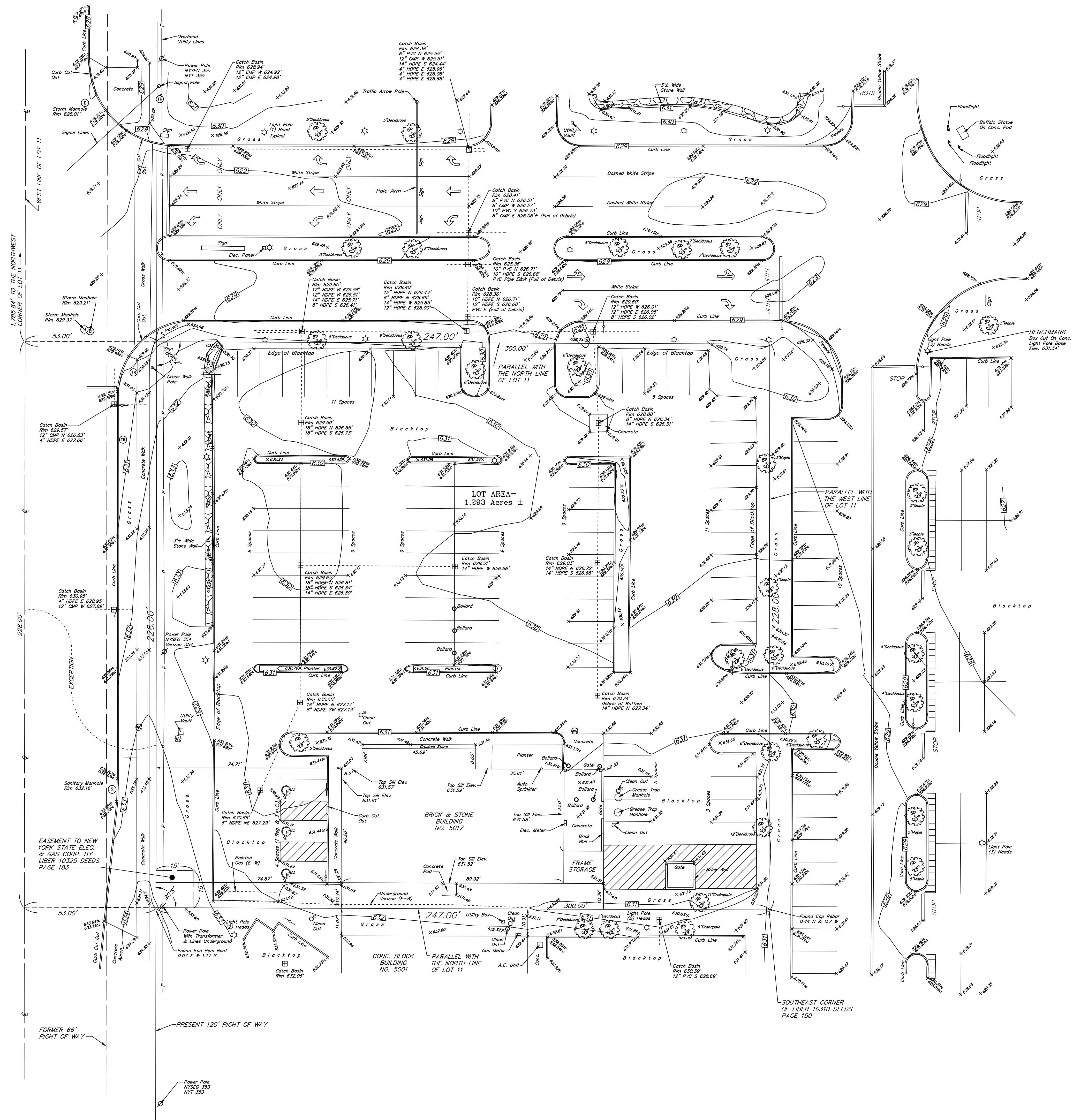


**PWE ENGINEERING**  
LAND DEVELOPMENT & STORM WATER MANAGEMENT  
42 Aston Villa, North Chili, New York 14514  
Phone: (585) 361-7852

PROJECT Name and Address  
**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

NOTES	
Sheet 2 OF 17	Drawing Number C-1.1
Date 12/16/2024	
Scale N/A	





**LEGEND**

- Ø UTILITY / SERVICE POLE
- ⊗ WATER LINE VALVE
- ⊕ FIRE HYDRANT
- ⊖ D.I. (DROP INLET - STORM)
- ⊙ MANHOLE (STORM)
- ⊕ MANHOLE (ELECTRIC)
- ⊙ MANHOLE (TRAFFIC)
- ⊕ MANHOLE (SANITARY)
- ⊙ MANHOLE (TELEPHONE)
- ⊙ GASLINE MARKER
- ⊕ GAS LINE VALVE
- ⊙ LIGHT STANDARD
- ⊙ SIGN
- H.C. HANDICAP
- R.O.W. RIGHT OF WAY
- CONC. CONCRETE
- INV. INVERT
- M.H. MANHOLE
- GAS LINE
- WATER LINE
- TELEPHONE LINE
- ELECTRIC LINE
- UTILITY LINES
- CABLE LINES
- D. DEED
- M. MEASURED
- L. LIBER
- P. PAGE

**UTILITIES**

The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

Note: Underground Utility information has been ordered from the respective utility companies. As the information is received, this map will be amended to reflect said information.

- National Fuel  
Attn: Ed Kulpa  
(716) 857-7967
- Time Warner Cable  
Attn: Chris Smith  
(800) 262-8600
- Verizon  
Attn: Mark Granschaw  
(716) 840-8656
- Erie County Water Dept.  
Attn: Steve Denzler  
(716) 685-8289
- N.Y.S. Electric & Gas  
Attn: Sam Ceppaglia  
(716) 651-5256
- National Grid  
Attn: Roy Schultz  
(315) 428-6319

**ELEVATION DATUM**

ELEVATIONS ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM:  
NAD83 (2011) STONEX S900 GPS UNIT (CONUS 12B GEOD) NAVD 88 VERTICAL DATUM

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: Liber 11167 Deeds Page 7052 & Head of Search (Property #1215)  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.  
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

<p>THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYING ADOPTED BY THE BAR ASSOCIATION OF THE COUNTY AT THE REQUEST OF <i>Christopher J. Barr</i> CHRISTOPHER J. BARR NYSPLS No. 050068</p>	<p>©COPYRIGHT 2024 BY: <b>TRUE NORTH LAND SURVEYING, PLLC</b> 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716) 631-5140 ~ Truenorthpllc@aol.com</p>	<p>AMEND: SURVEY DATE: 10-17-24 DRAWING DATE: 10-27-24 SCALE: 1" = 20' "ALL RIGHTS RESERVED" THIS MAP VOID UNLESS EMBOSSED SURVEYOR'S SEAL ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, PART 2, OF THE NEW YORK STATE EDUCATION LAW.</p>
<p><b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b></p>		
<p>PART OF LOT 11 SECTION 14 TOWNSHIP 12 RANGE 6 OF THE Holland Land Company's SURVEY - Erie COUNTY, N.Y.</p>		
<p>SURVEY OF: 5017 Transit Road, Town of Clarence</p>		
<p>SBL No. 70.05-2-10.1</p>		

TRANSIT ROAD (120' WIDE) (STATE HIGHWAY 88)

1.705.84' TO THE NORTHWEST CORNER OF LOT 11

228.00'

53.00'

FORMER 66' RIGHT OF WAY

PRESENT 120' RIGHT OF WAY

LOT AREA = 1.293 Acres ±

BRICK & STONE BUILDING NO. 5017

CONC. BLOCK BUILDING NO. 5001

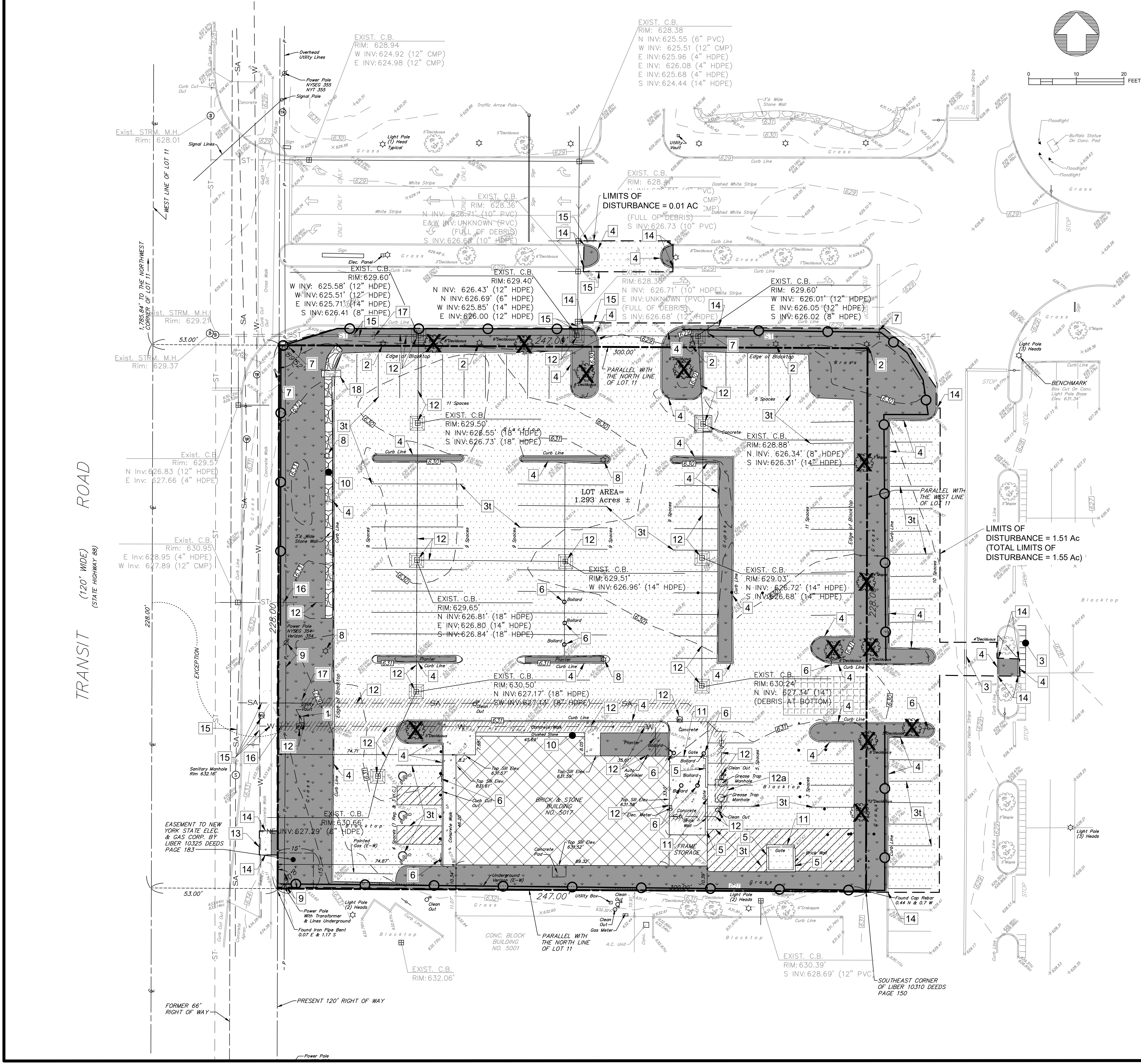
SOUTHEAST CORNER OF LIBER 10310 DEEDS PAGE 150

EASEMENT TO NEW YORK STATE ELEC. & GAS CORP. BY LIBER 10325 DEEDS PAGE 183

EXCEPTION

Power Pole NYSDO 353 NYT 353





**DEMOLITION NOTES LEGEND**

- |     |   |
|-----|---|
| 1   | EXISTING VAULT TO BE REMOVED  |
| 2   | EXISTING LIGHT POLE TO BE RELOCATED BEHIND CURB LINE  |
| 3   | EXISTING STRIPING TO BE REMOVED (I-TYPICAL)   |
| 4   | EXISTING CURB TO BE REMOVED   |
| 5   | EXISTING BRICK WALL TO BE REMOVED   |
| 6   | EXISTING BOLLARDS/SIGNS (& FOUNDATION IF APPLICABLE) TO BE REMOVED  |
| 7   | EXISTING SIGN TO REMAIN   |
| 8   | EXISTING LIGHT POLE & FOUNDATION TO BE REMOVED  |
| 9   | EXISTING ELECTRIC POLE, GUY WIRES, OVERHEAD ELECTRIC WIRES AND POLE MOUNTED TRANSFORMERS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION |
| 10  | EXISTING STONE/BOULDERS/GRAVEL TO BE REMOVED  |
| 11  | EXISTING SITE FEATURE TO BE REMOVED   |
| 12  | EXISTING UTILITY TO BE REMOVED<br>(SEE DEMO NOTE #5)  |
| 12a | EXISTING GREASE TRAP TO BE REMOVED  |
| 13  | LIMIT OF WORK/ASPHALT SAWCUT LINE IN PAVED AREAS/LANDSCAPE GROUND COVER/GRASS IN NON-PAVED AREAS.                                       |
| 14  | LIMIT OF CURB/SIDEWALK REMOVAL  |
| 15  | EXISTING UTILITY/STORM PIPE TO REMAIN   |
| 16  | CUT & PLUG EXISTING PIPE AT LIMITS OF WORK LINE   |
| 17  | CUT EXISTING PIPE FOR PROPOSED CONNECTION TO EXISTING PIPE  |
| 18  | EXISTING PYLON SIGN TO BE RE-USED   |

**SYMBOLOLOGY LEGEND**

- EXISTING BUILDING TO BE DEMOLISHED
- FULL-DEPTH ASPHALT REMOVAL
- EXISTING CONCRETE TO BE REMOVED
- EXISTING GRASS TO BE REMOVED
- CONSTRUCTION ENTRANCE, REFER TO DETAIL
- EXISTING PIPE TO BE REMOVED
- LIMITS OF WORK/ASPHALT SAWCUT LINE IN PAVED AREAS
- SILT FENCE/SILT SOCK, REFER TO DETAIL
- INLET PROTECTION, REFER TO DETAIL
- EXISTING TREE TO BE REMOVED

**ASSUMED LOCATION OF EXISTING UTILITY SYMBOLOLOGY LEGEND**

- ST — STORM SEWER
- SA — SANITARY SEWER
- W — WATER PIPE

**DEMOLITION NOTES**

- PARKING BUMPERS AND PINS TO BE REMOVED IF APPLICABLE.
- LIGHTING AND CONDUIT WITHIN LANDSCAPE AREAS TO BE REMOVED.
- LANDSCAPE WITHIN THE WORK AREA TO BE REMOVED. LANDSCAPING IS NOT SHOWN IN DETAIL ON THESE DRAWINGS.
- ANY SIGNS AFFIXED TO POLES NOTED TO BE RELOCATED SHOULD BE CAREFULLY REMOVED AND TURNED-OVER TO THE OWNER'S REPRESENTATIVE.
- EXISTING UTILITY SERVICE LINES TO THE BUILDING ARE APPROXIMATE BASED ON SURFACE FEATURES. ACTUAL SERVICES MAY DIFFER IN LOCATION, LENGTH, ETC.
- EXISTING PLANTER AREAS TO BE DEMOLISHED MAY HAVE SUB-SURFACE LAYERS CONSISTING OF PLANTING SOIL, GRAVEL AND/OR UNDERDRAIN WHICH SHOULD ALSO BE REMOVED.

Revisions	Revisions Per BenderSON	Revisions Per BenderSON	Revisions Per BenderSON	Revision/Issue	Date
	4	3	2		
			1		
				No.	

**Notes & References**

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PROJECT NO. 1105

Engineer's Seal

STATE OF NEW YORK  
SEAL OF PROFESSIONAL ENGINEERS  
16725

Engineer

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Phone: (585) 361-7852

Project Name and Address

**PROPOSED RETAIL**  
EASTGATE PLAZA  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

**DEMOLITION & EROSION CONTROL PLAN**

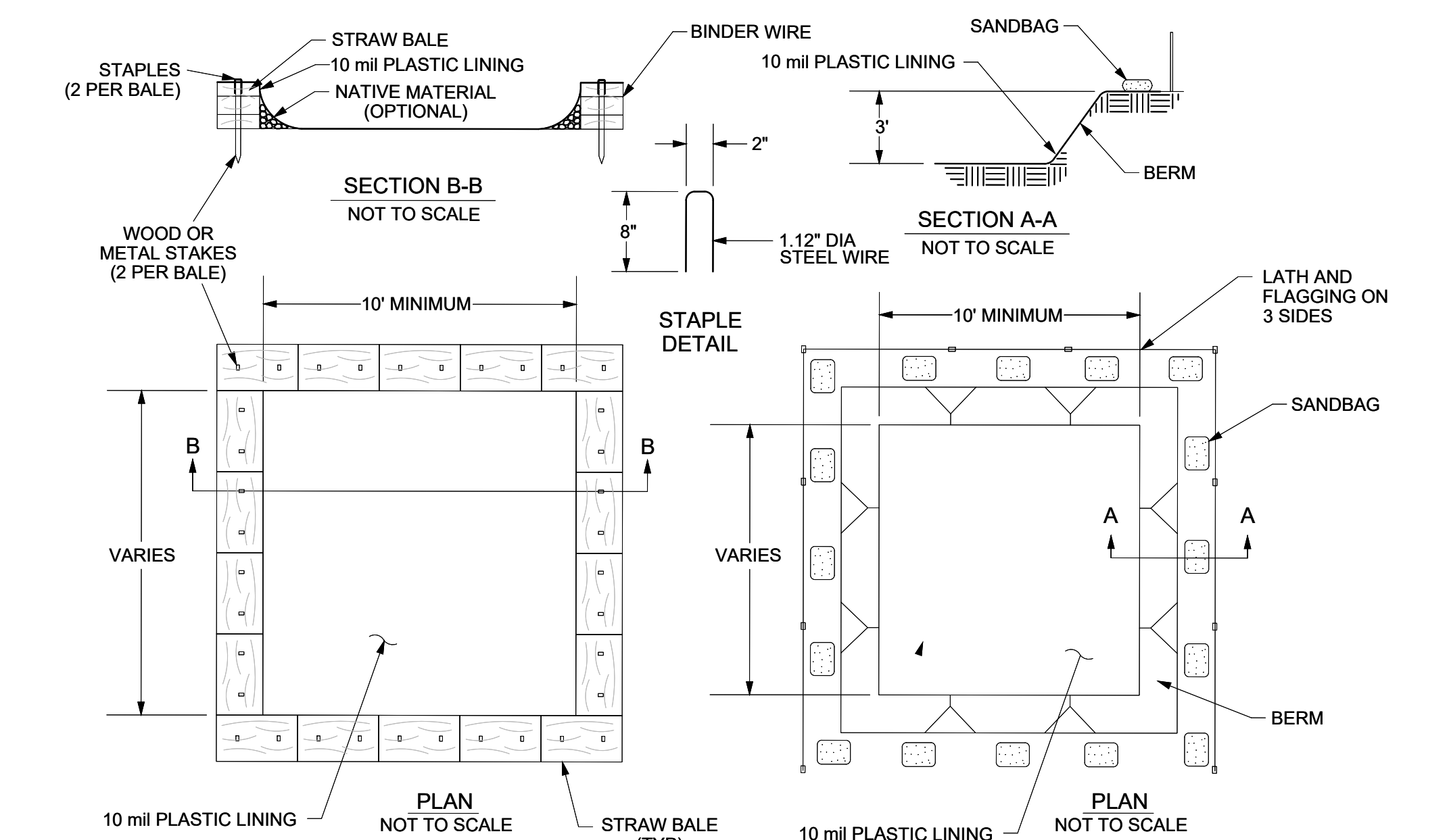
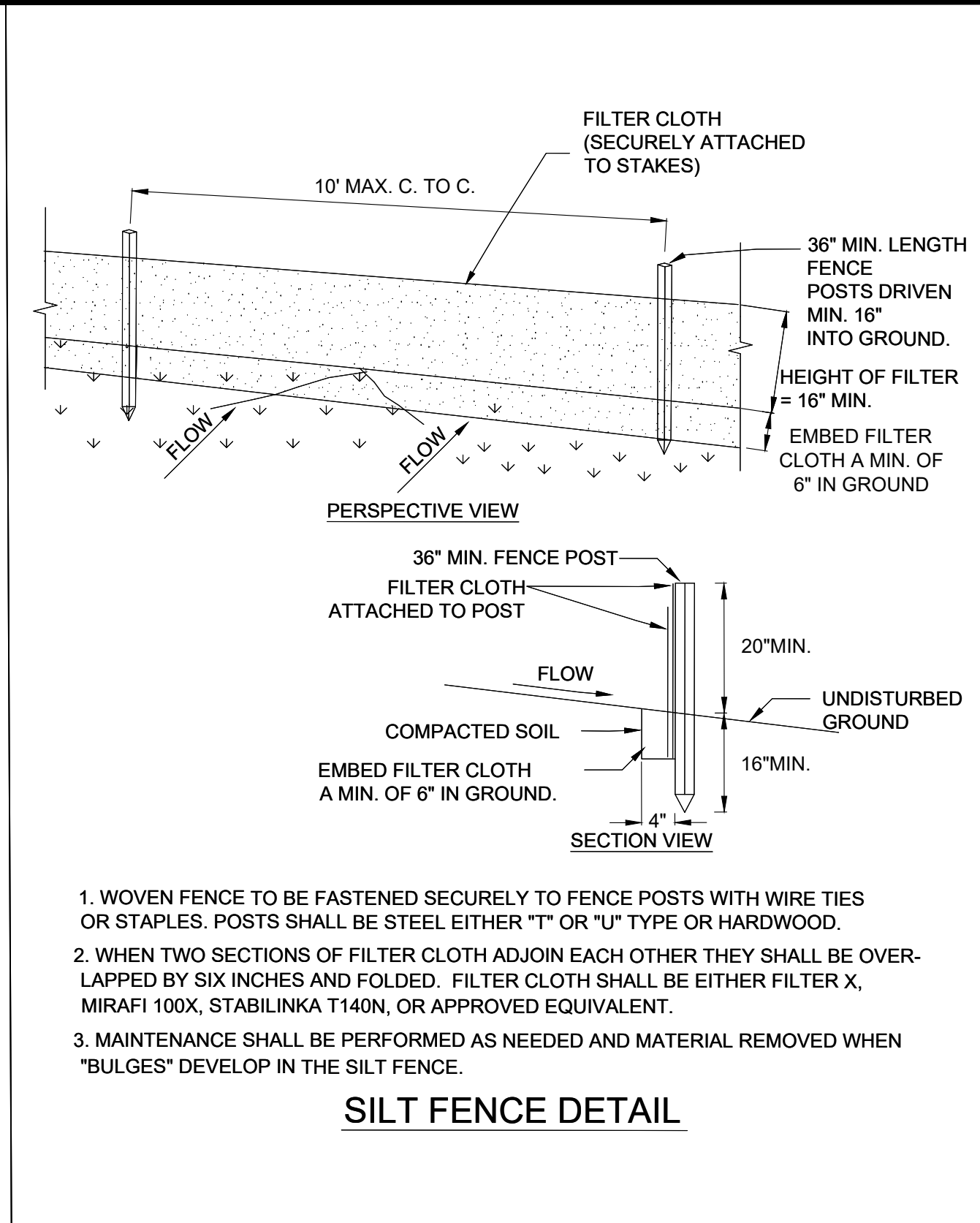
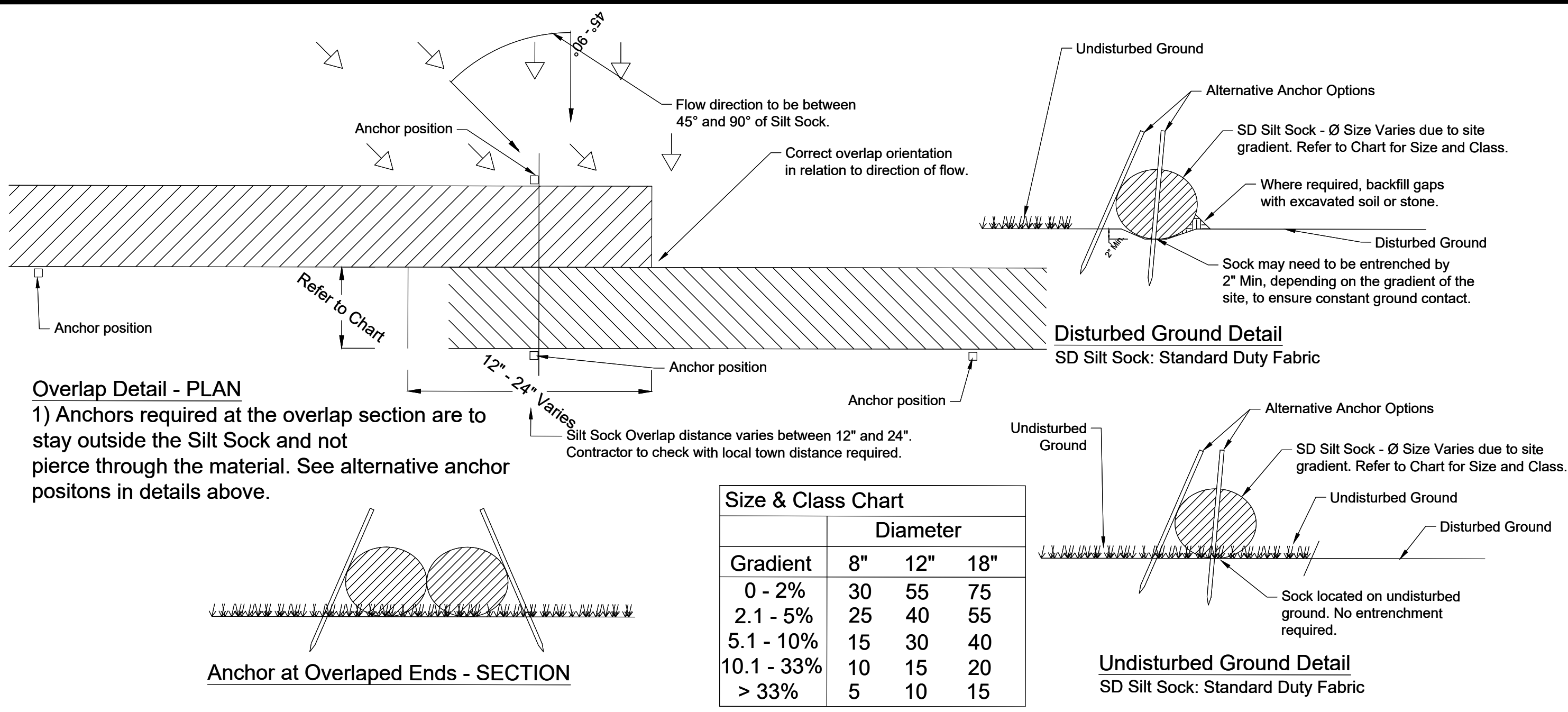
Sheet: 4 OF 17  
Date: 12/16/2024  
Scale: 1" = 20'

Drawing Number: C-3.0



**Notes:**

- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- 5 - All gaps and ruts must be backfilled with soil or sock material.
- 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below.
- 9 - Sock should be inspected and repaired as needed.
- 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 - Sock should be replaced when sediment has built up and has been removed three times.
- 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 - Sock should be installed before works commence on site.



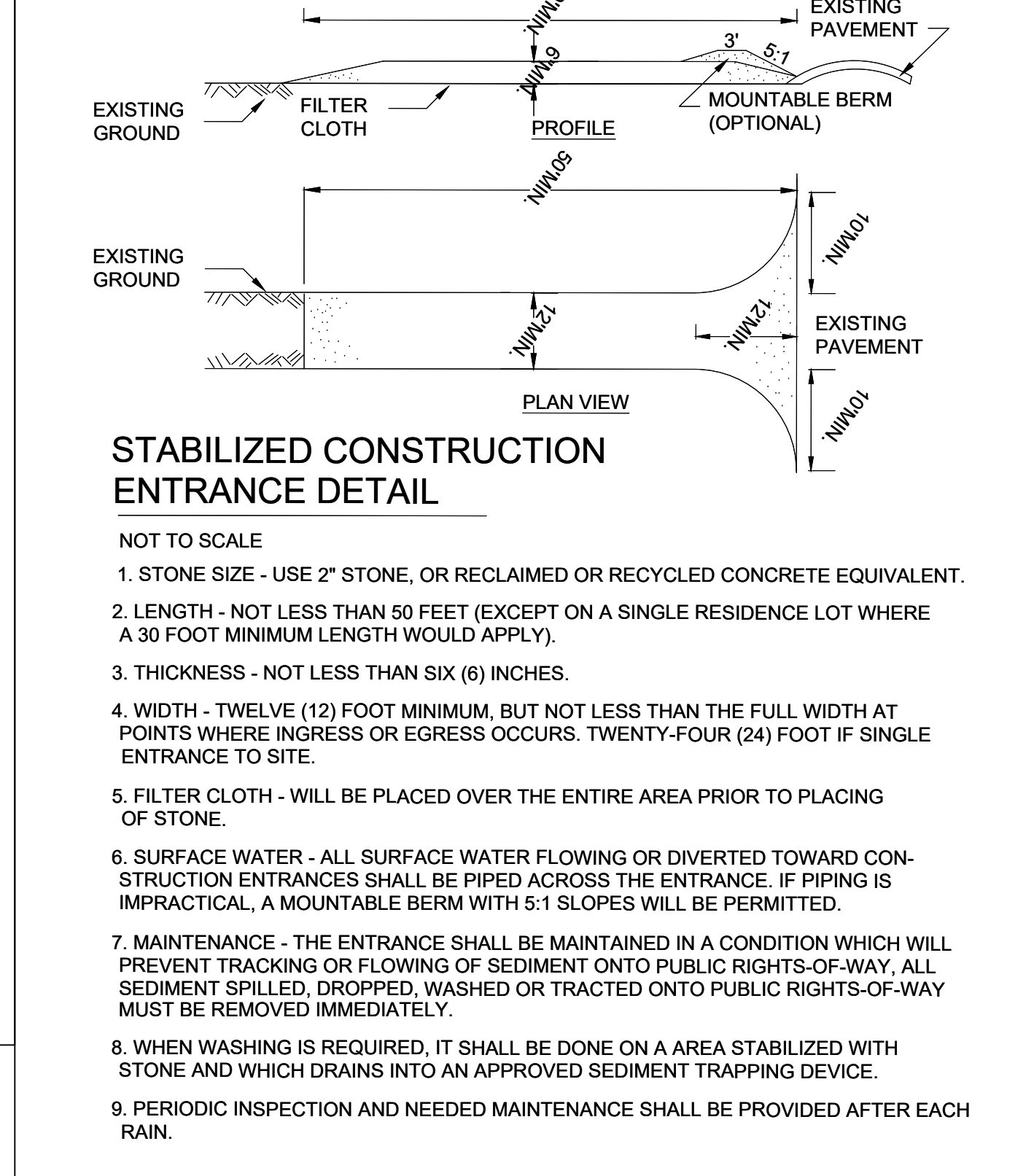
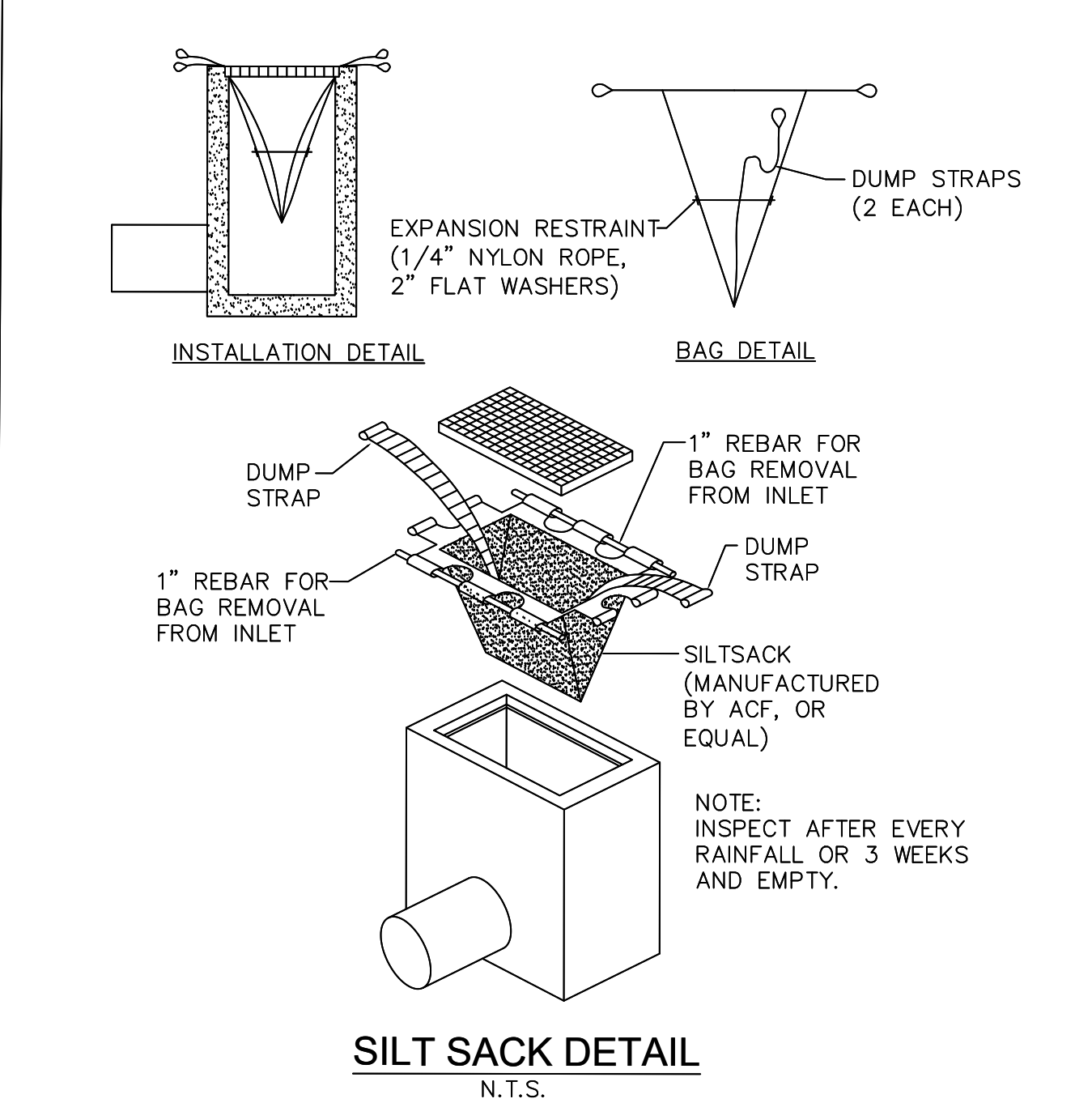
**NOTES**

1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
2. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
3. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

**CAPACITY**  
 The washout facility should be sized to contain solids, wash water, and rainfall and sized to allow for the evaporation of the wash water and rainfall. Wash water shall be estimated at 7 gallons per chute and 50 gallons per hopper of the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2 horizontal to 1 vertical.

**LOCATION**  
 Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

**MAINTENANCE**  
 All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip. Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site. Dispose of the hardened material off-site in a construction/demolition landfill. The plastic liner shall be replaced with each cleaning of the washout facility. Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.



Revisions	Revision/Issue	Date
1	REVISIONS PER BENDERSON	2/17/25

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 087296  
 PROFESSIONAL ENGINEER

Engineer

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 Phone: (585) 361-7852

Project Name and Address

**PROPOSED RETAIL**  
 EASTGATE PLAZA  
 5017 Transit Road  
 Clarence, New York 14221

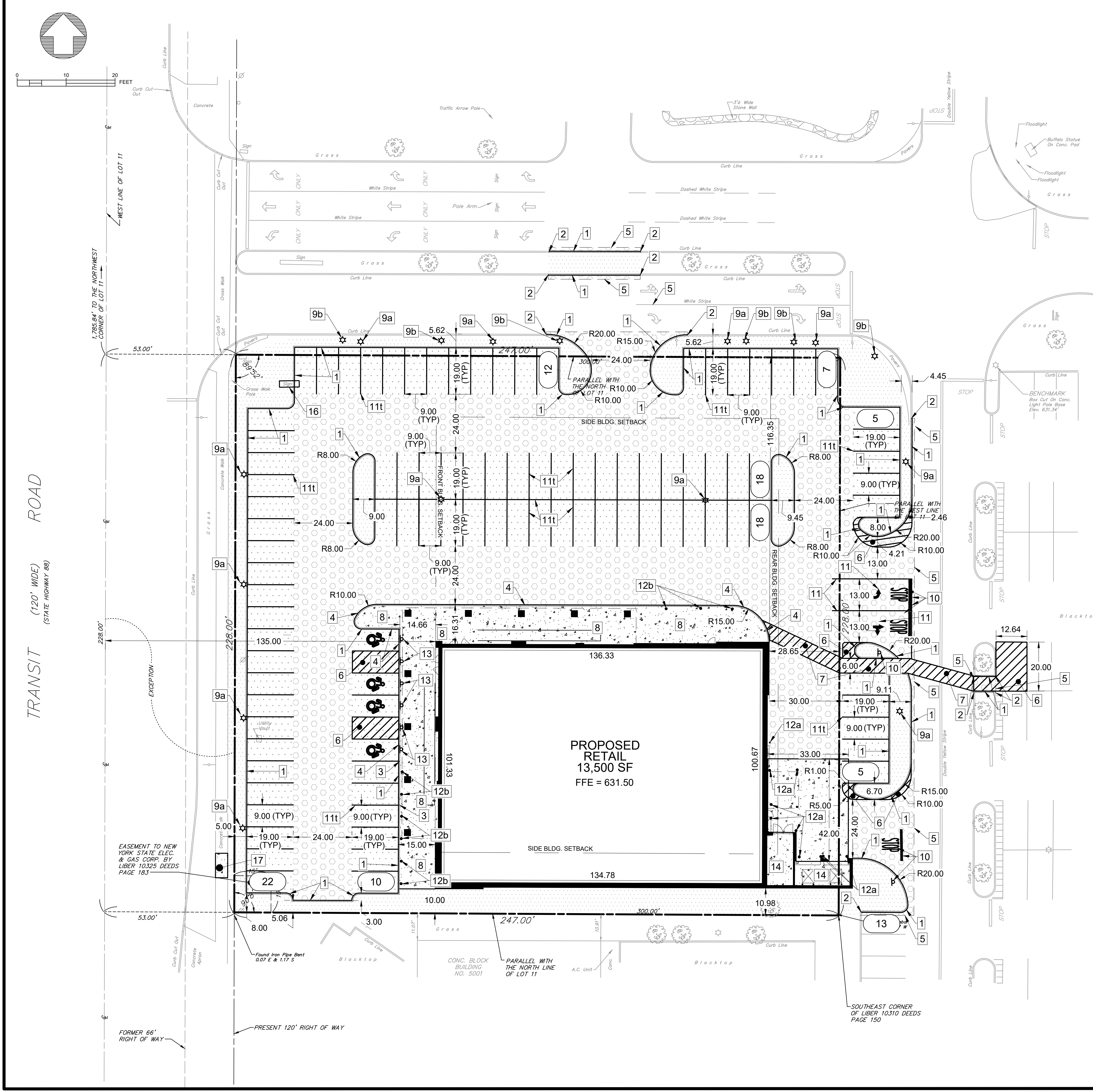
Drawing Name

**EROSION CONTROL DETAILS**

Sheet: 5 OF 17  
 Date: 12/16/2024  
 Scale: AS-NOTED

Drawing Number: C-3.1





TOWN OF CLARENCE, NY ZONING ANALYSIS

TAX ACCOUNT NUMBER: 70.05-2-10.1	PARCEL AREA: 1.29 AC	
ZONED: MA - MAJOR ARTERIAL DISTRICT	REQUIRED	PROVIDED
ZONING REQUIREMENTS	REQUIRED	PROVIDED
MIN. BLDG. SIZE	1,000 S.F.	±13,500 S.F.
MAX. BLDG. HT.	45-FT	<35-FT
BUILDING SETBACKS:		
FRONT	135 FT <sup>1</sup>	135.00 FT
SIDE	25 FT	10.00 FT
REAR	25 FT	-
INTERIOR GREENSPACE:		
	8%	8.9%
PARKING SETBACKS:		
FRONT	-	-
SIDE	5 FT	8.00 FT
REAR	5 FT	N/A
PARKING STALL SIZE (90°):	9' X 19'	9'x19'
PARKING STALL NUMBER:	68 <sup>2</sup>	98
DRIVE AISLE WIDTHS:	24 FT	24 FT

<sup>1</sup>MEASURED FROM THE CENTERLINE OF THE ROAD. CANOPY MAY ENCRoACH 12-FT INTO FRONT OR SIDE SETBACK.  
<sup>2</sup>GENERAL COMMERCIAL USE, 1 PER 200 S.F. OF BUILDING AREA, BLDG: 13,500 S.F. = 67.5 (68) SPACES REQUIRED

SITE NOTES LEGEND #

- 1 PROPOSED 6" CONCRETE CURB/INTEGRAL CURB, SEE DETAIL
  - 2 MATCH INTO EXISTING CURB
  - 3a BEGIN CURB TRANSITION
  - 3b END CURB TRANSITION
  - 4 PROPOSED 0" CONCRETE CURB/INTEGRAL CURB, (NO REVEAL)
  - 5 MATCH INTO EXISTING PAVEMENT - REFER TO TRANSITION DETAIL
  - 6 PROPOSED 4" YELLOW PAVEMENT STRIPE (@ 2'C-C IN NO PARKING ZONES) (T=TYPICAL)
  - 7 PROPOSED 6-FT WIDE YELLOW PAVEMENT STRIPE (@ 2'C-C)
  - 8 PROPOSED CONCRETE PAVEMENT, SEE BUILDING AND SIDEWALK DETAIL
  - 9a NEW LIGHT POLE BASE, SEE DETAIL
  - 9b RELOCATED LIGHT POLE BASE, SEE DETAIL
  - 10 PROPOSED STOP BAR PAVEMENT MARKINGS AND STOP SIGN, SEE DETAILS
  - 11 NEW YELLOW PAVEMENT MARKING (T=TYPICAL)
  - 12a 6" BOLLARD, 4.5' TALL, SEE DETAIL (T=TYPICAL)
  - 12b 6" BOLLARD, 3.0' TALL, SEE DETAIL
  - 13 'NO PARKING' SIGN, SEE HANDICAP PARKING DETAIL
  - 14 DUMPSTER ENCLOSURE & STORAGE, REFER TO ARCH. PLANS
  - 15 SEE CONCRETE PAVEMENT DETAIL
  - 16 RE-USED EXISTING PYLON SIGN, RELOCATE IF NECESSARY
  - 17 REPLACE SIDEWALK TO MATCH EXIST.
- \*ALL CURB RADII TO BE 3 FT. UNLESS OTHERWISE NOTED

SITE SYMBOLOGY LEGEND

- NEW PROPERTY LINE
- - - NEW EASEMENT
- [Solid Box] PROPOSED BUILDING
- [Dashed Box] PROPOSED BUILDING CANOPY
- [Oval] NEW 6" CONCRETE CURB (TYPICAL)
- [Line] NEW PARKING STRIPE
- [T-Symbol] PROPOSED SITE SIGNS
- [Dot] PROPOSED/RELOCATED LIGHT POLE
- [Circle with 8] PARKING ROW STALL COUNT
- [Dotted Box] NEW CONCRETE PAVEMENT
- [Grid Box] NEW FULL-DEPTH STANDARD DUTY ASPHALT PAVEMENT
- [Patterned Box] NEW FULL-DEPTH HEAVY DUTY ASPHALT PAVEMENT
- [Blank Box] LAWN/LANDSCAPE AREA

Revisions	3/3/25	2/26/25	2/17/25	2/17/25	1/31/25	1/13/25	1/5/25	Date								
8	LIGHTING REVISIONS	7	REVISIONS PER BENDERSON	6	REVISIONS PER BENDERSON	5	ADDED BOLLARDS	4	REVISIONS PER BENDERSON	3	REVISIONS PER BENDERSON	2	REVISIONS PER BENDERSON	1	No.	Revision/Issue

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 42 Aston Villa, North Chili, New York 14514  
 Phone: (585) 361-7852

Project Name and Address

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**EASTGATE PLAZA**  
 5017 Transit Road  
 Clarence, New York 14221

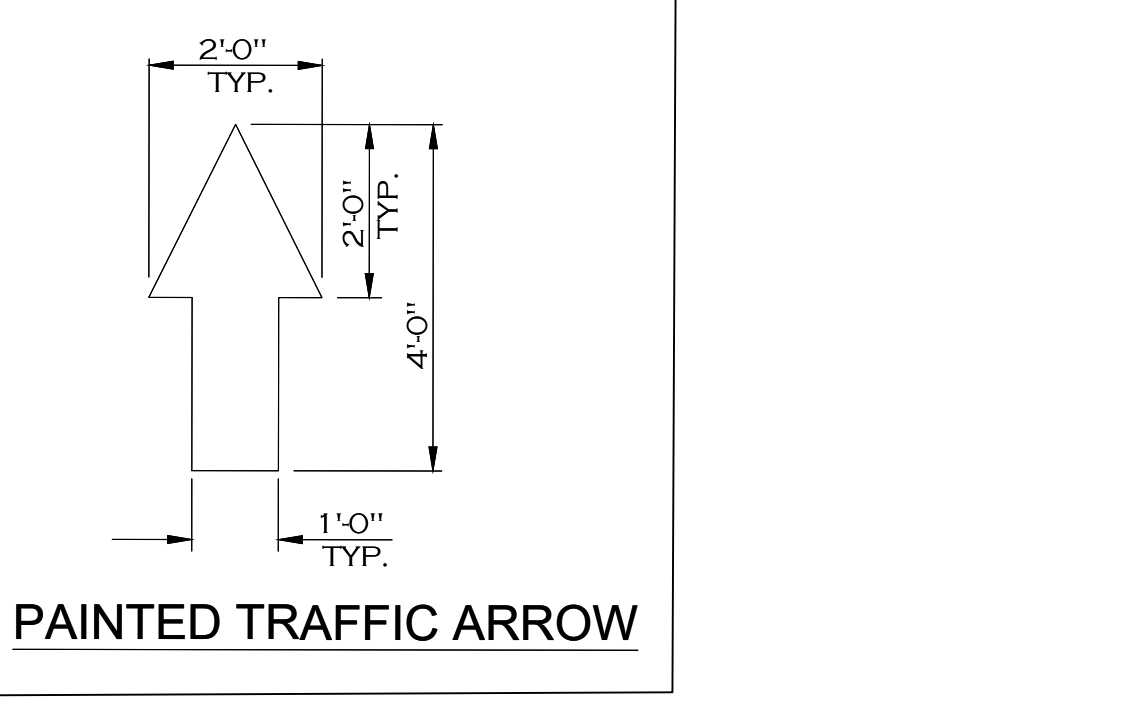
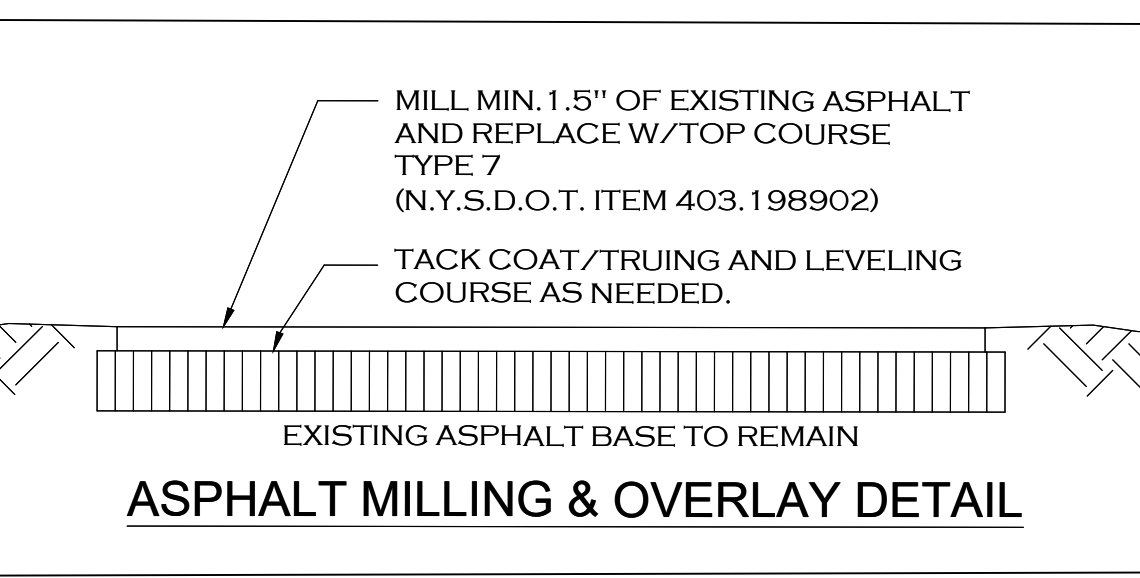
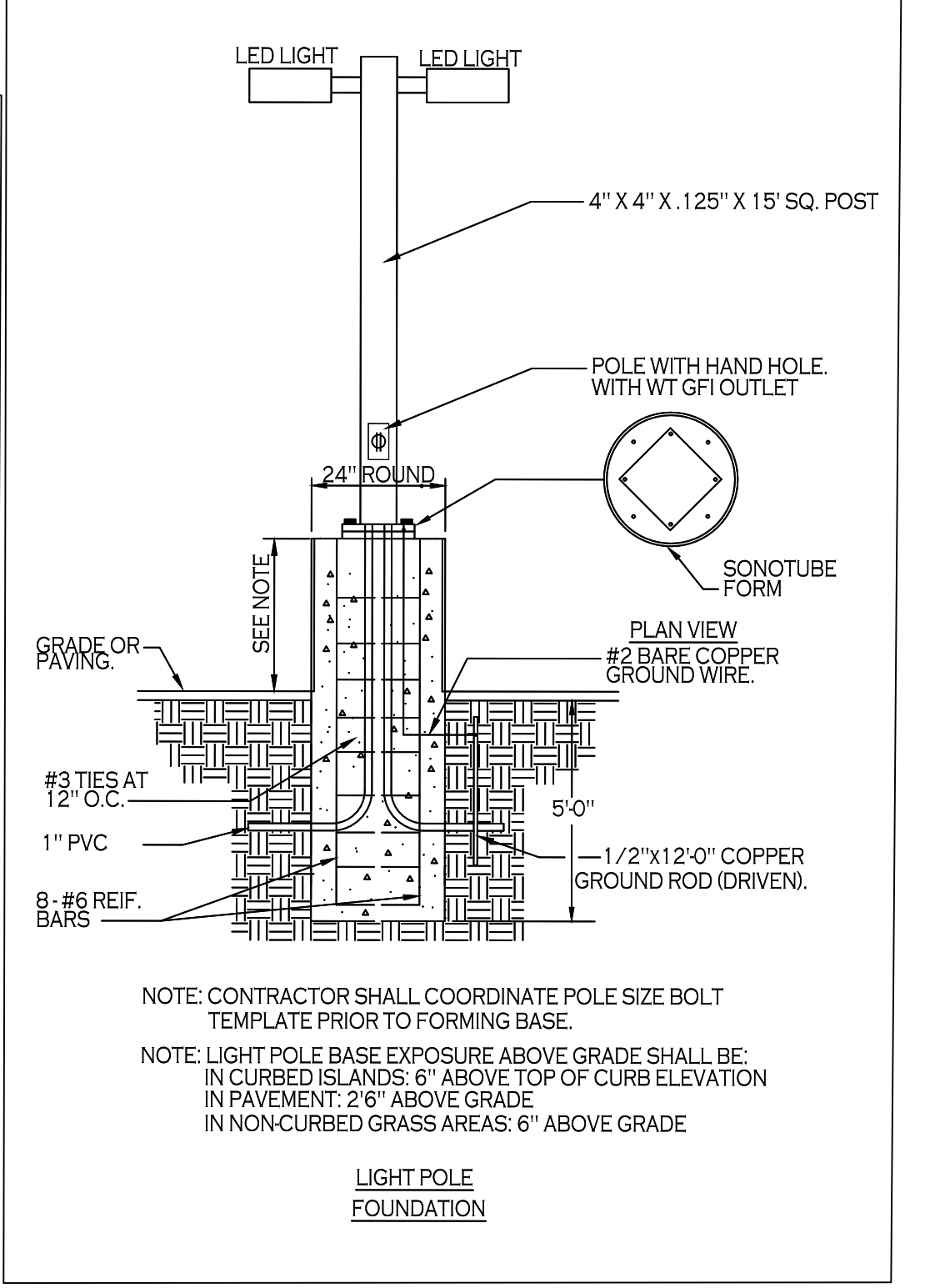
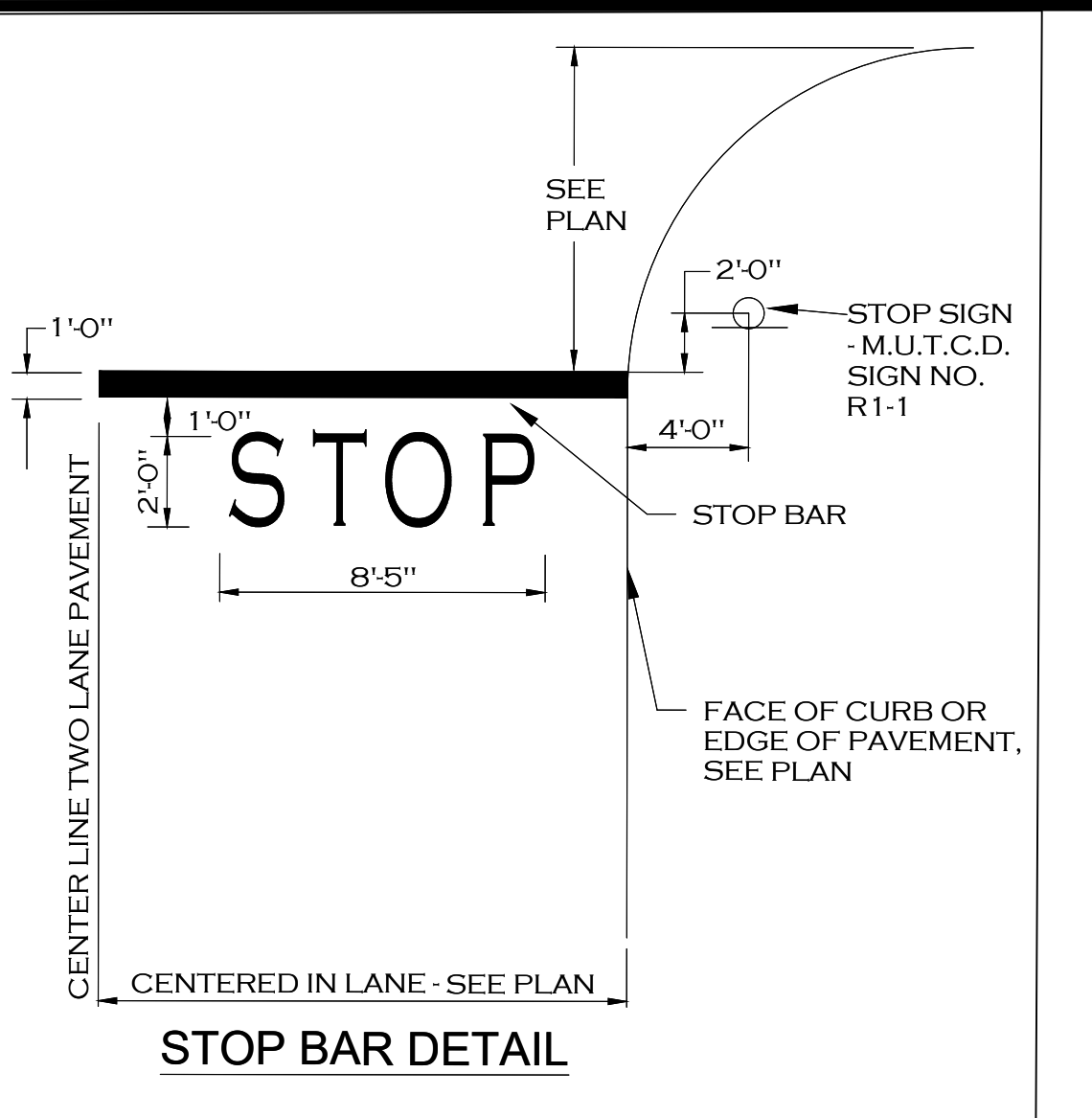
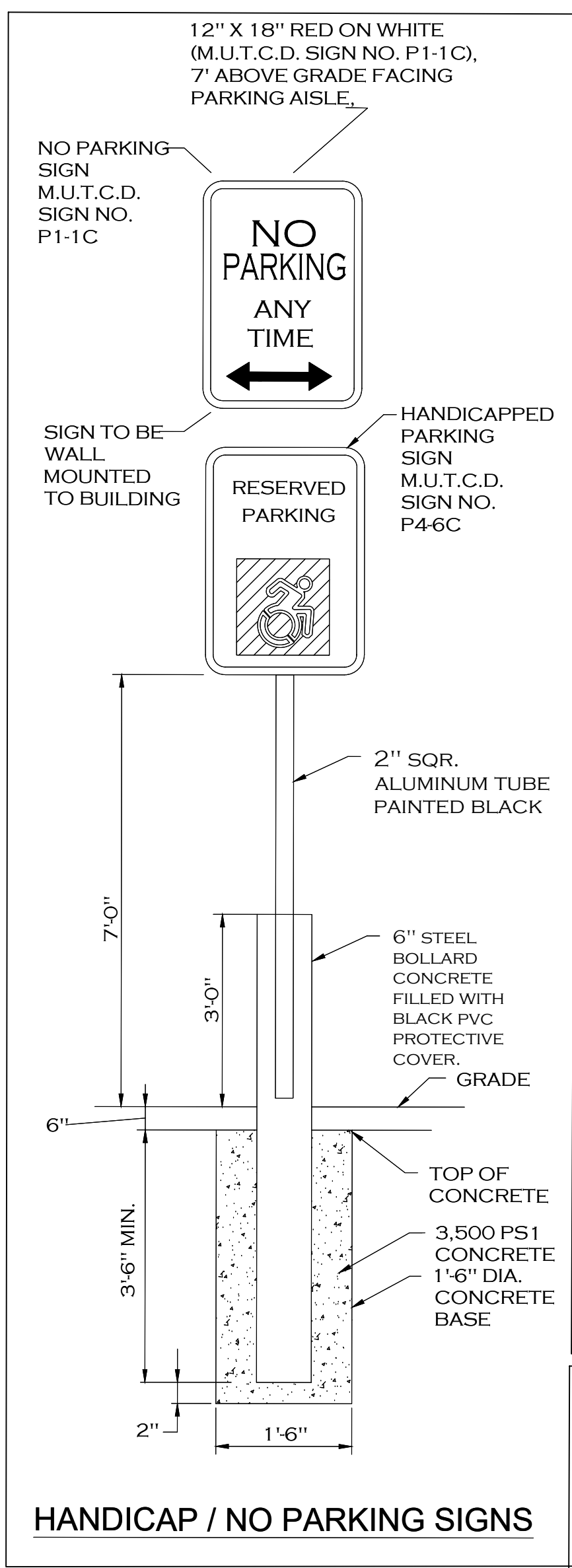
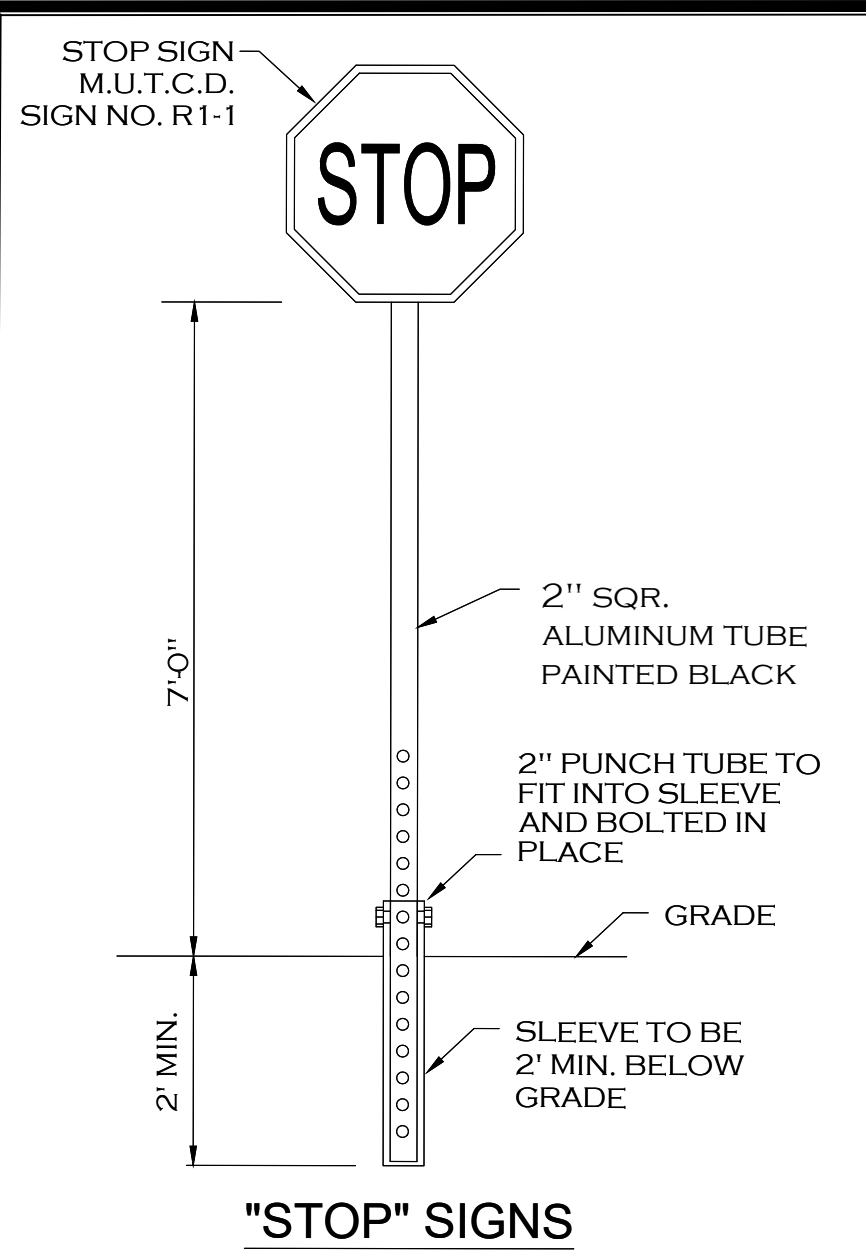
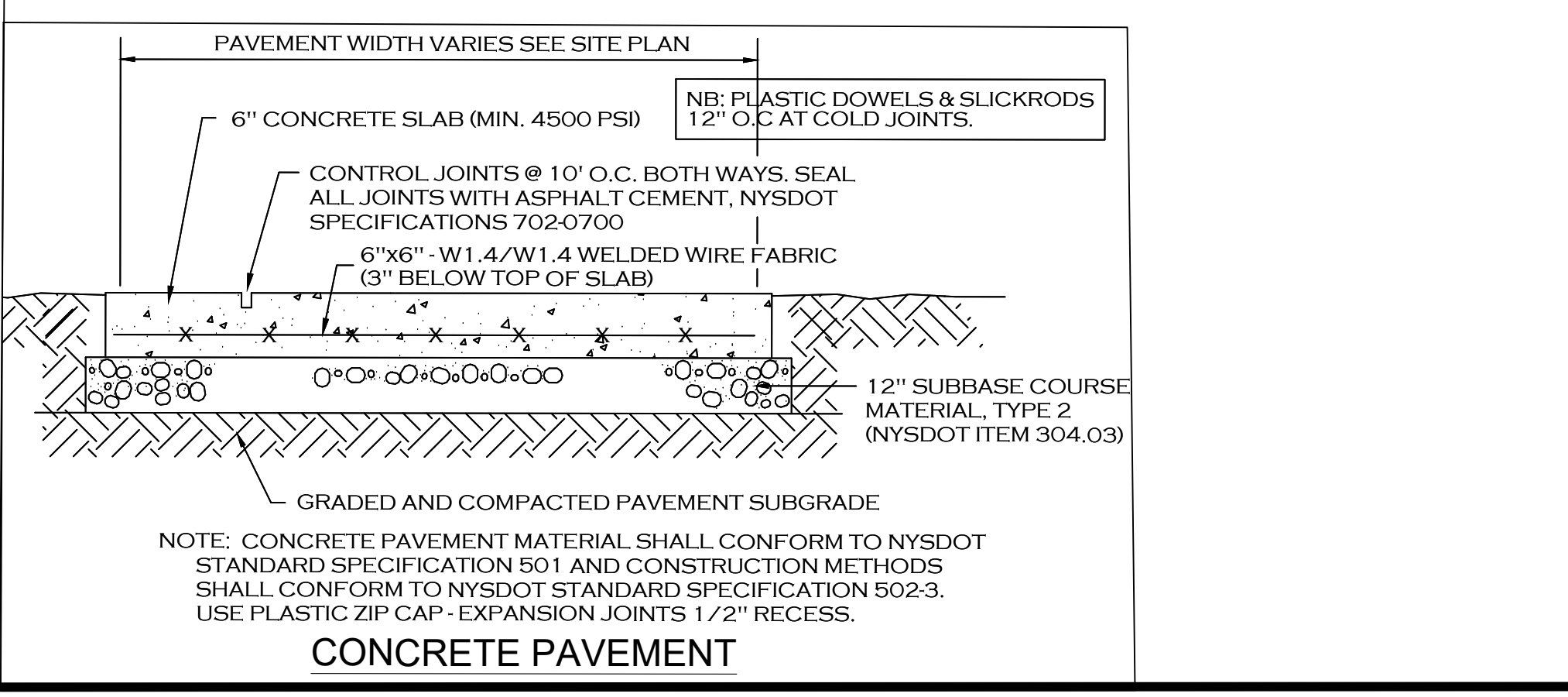
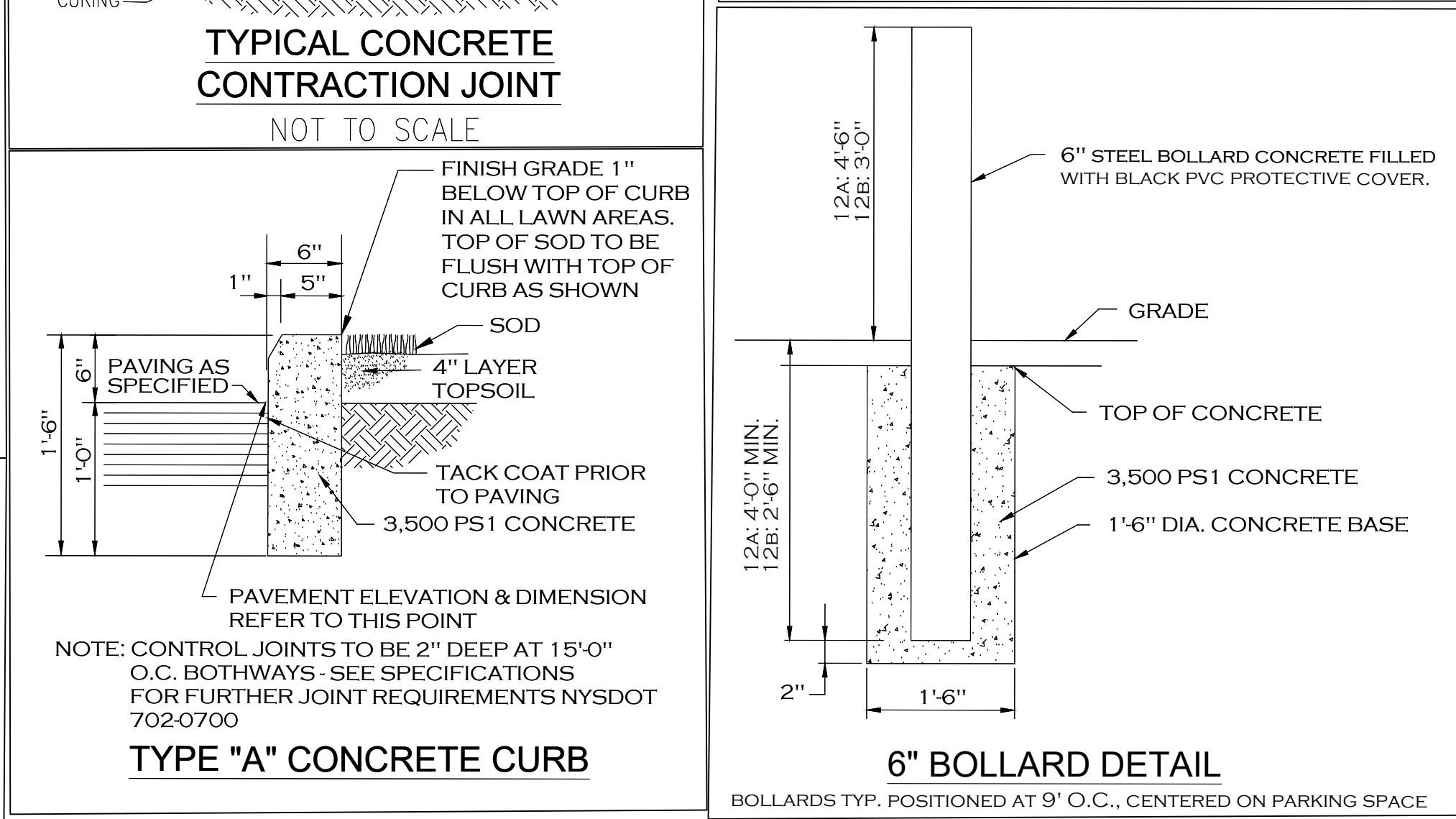
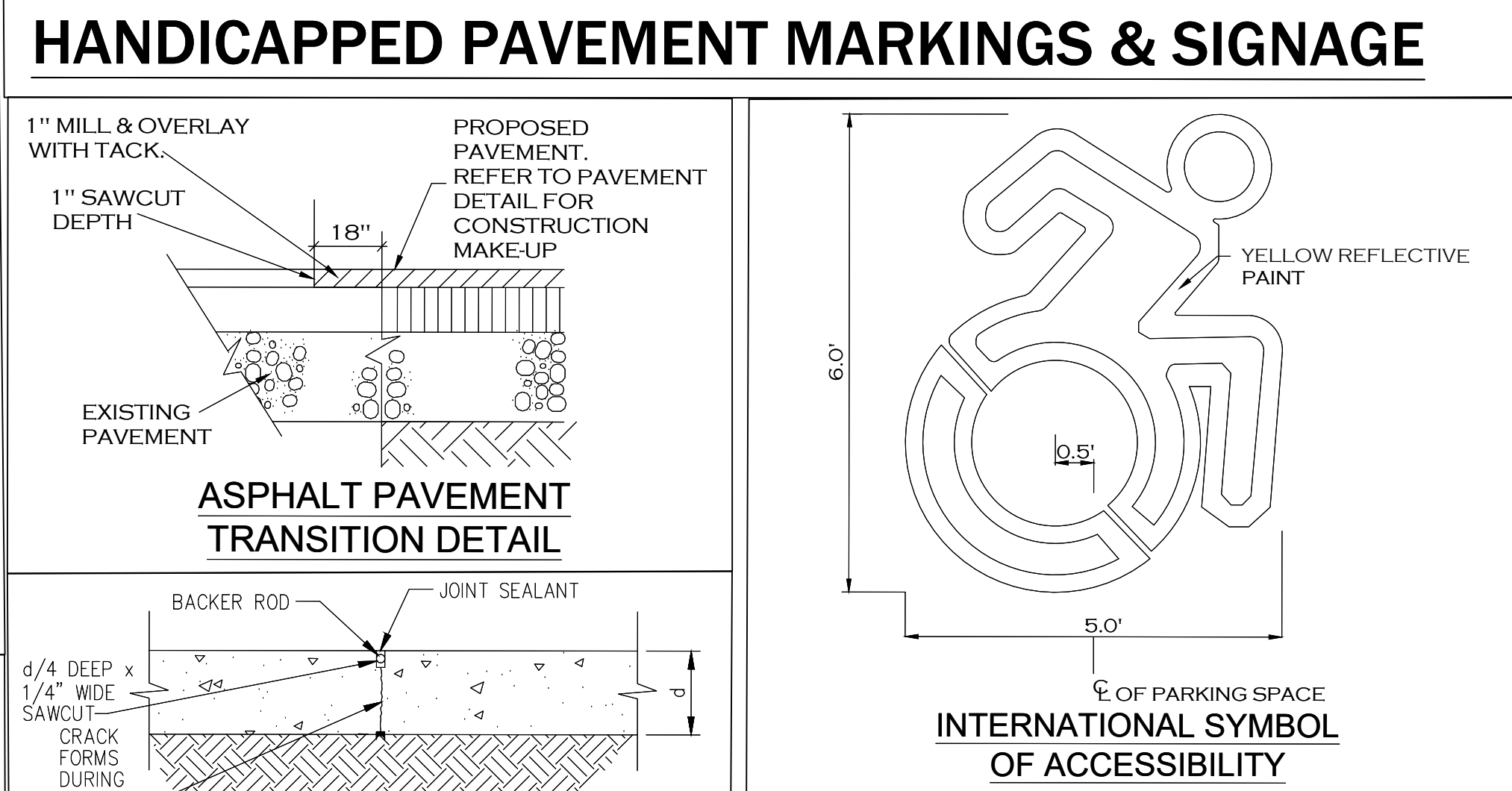
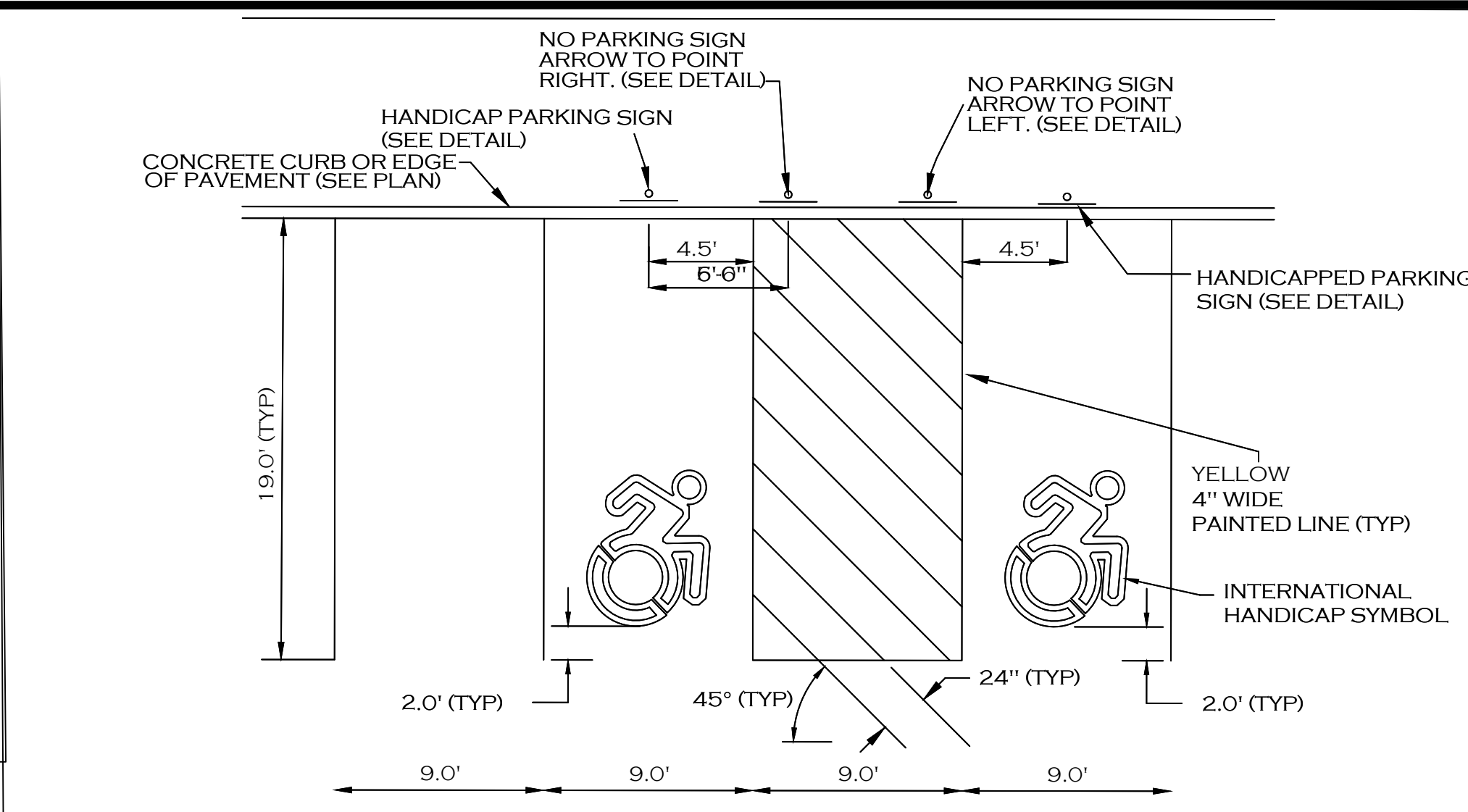
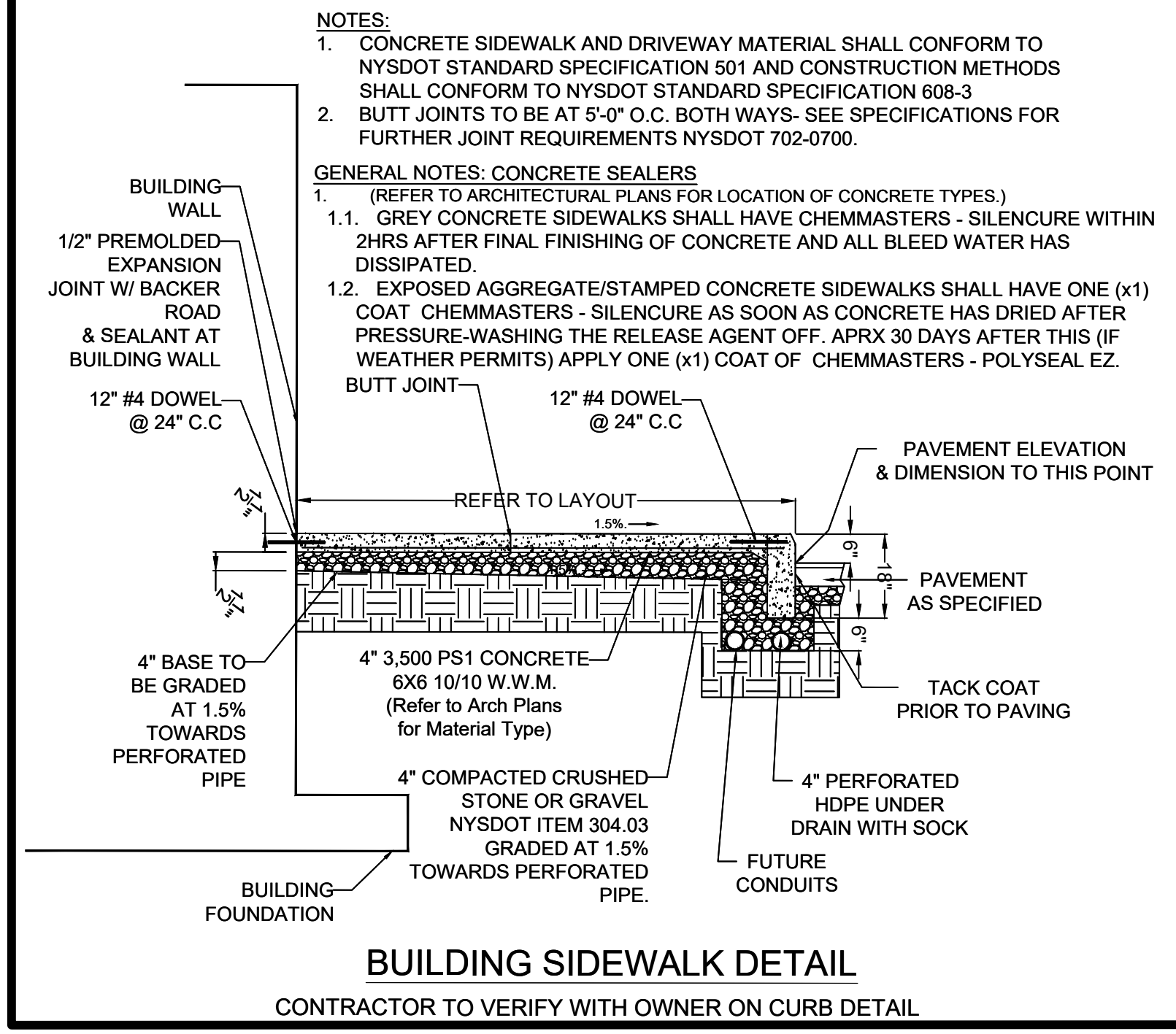
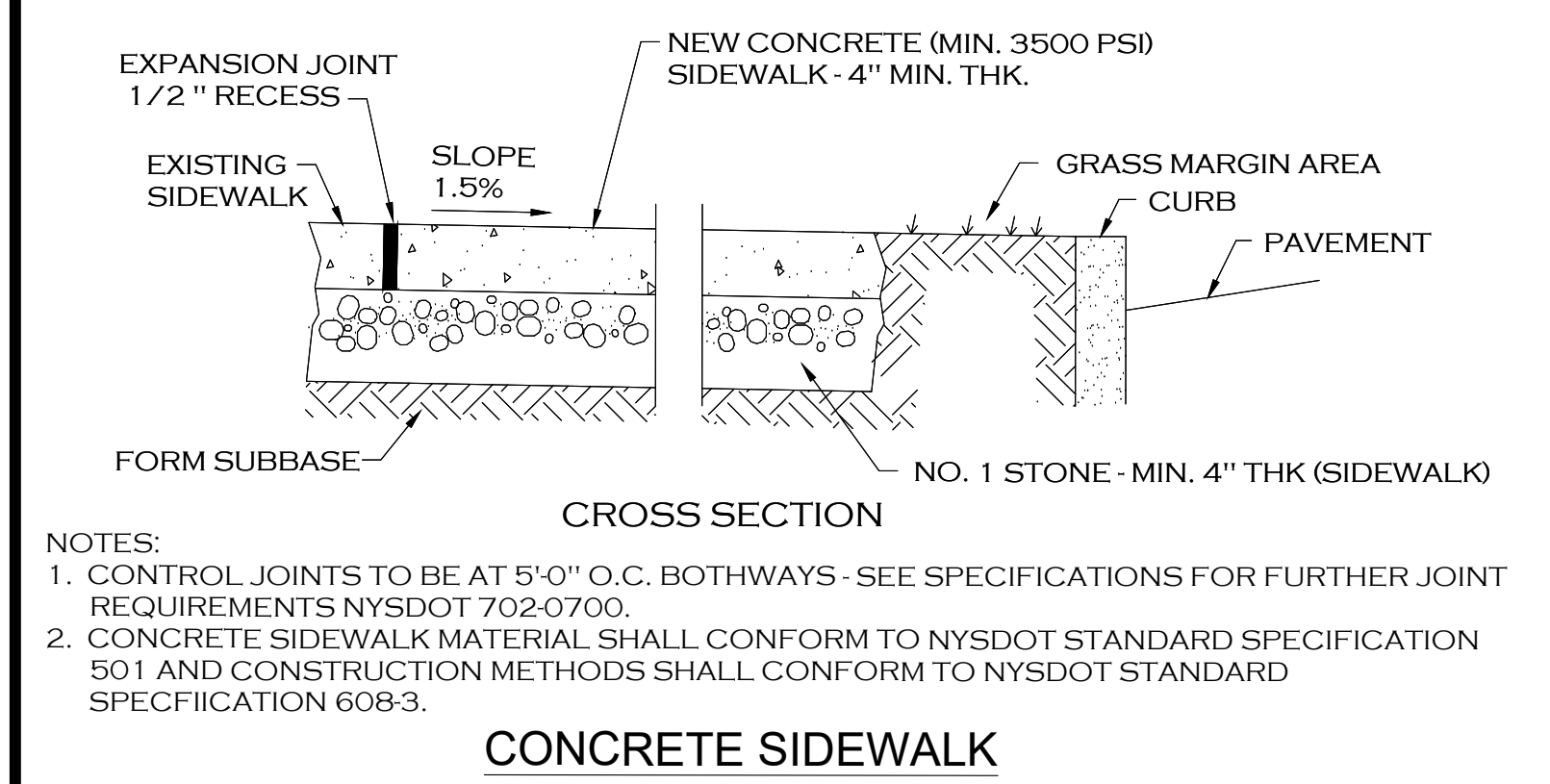
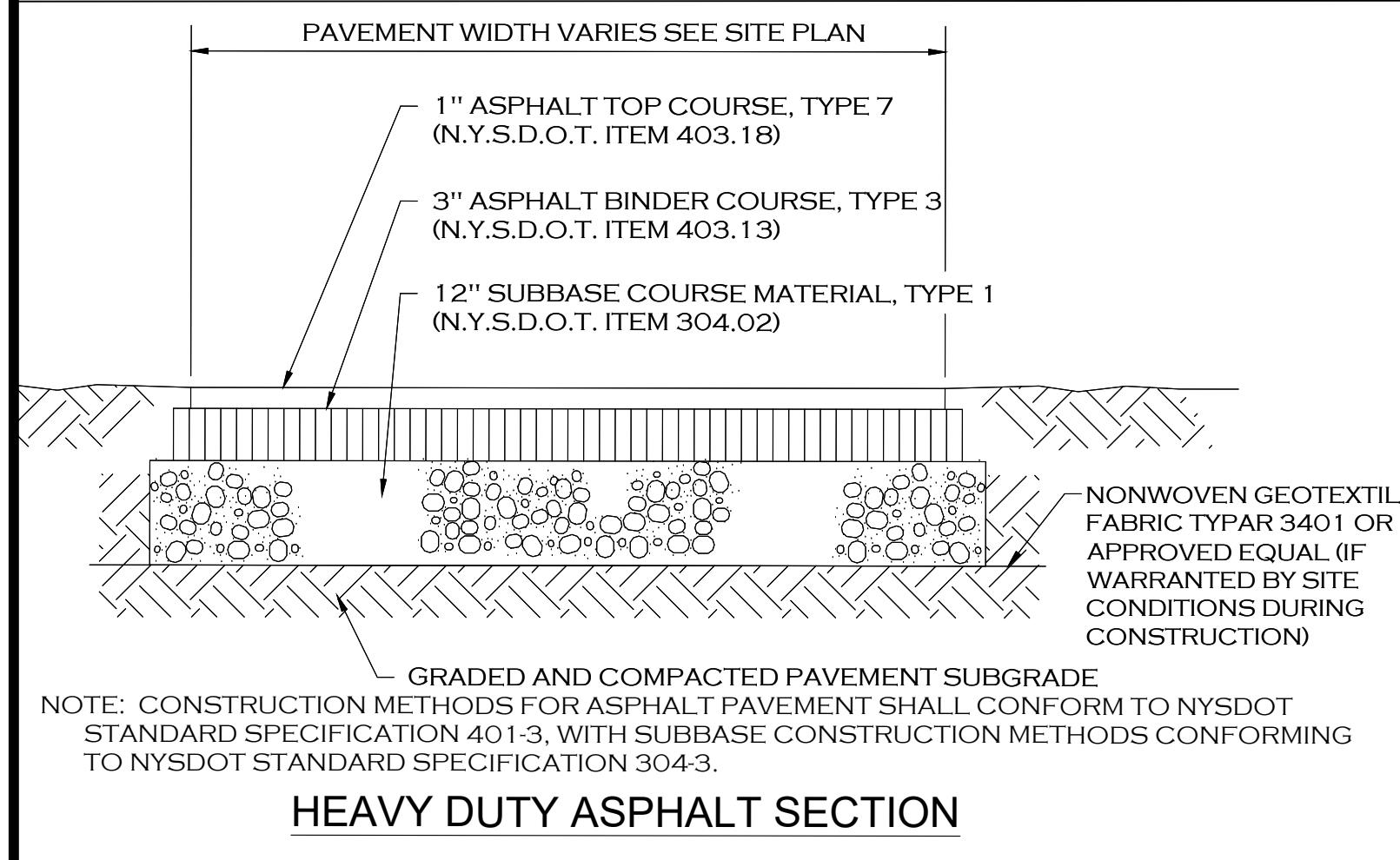
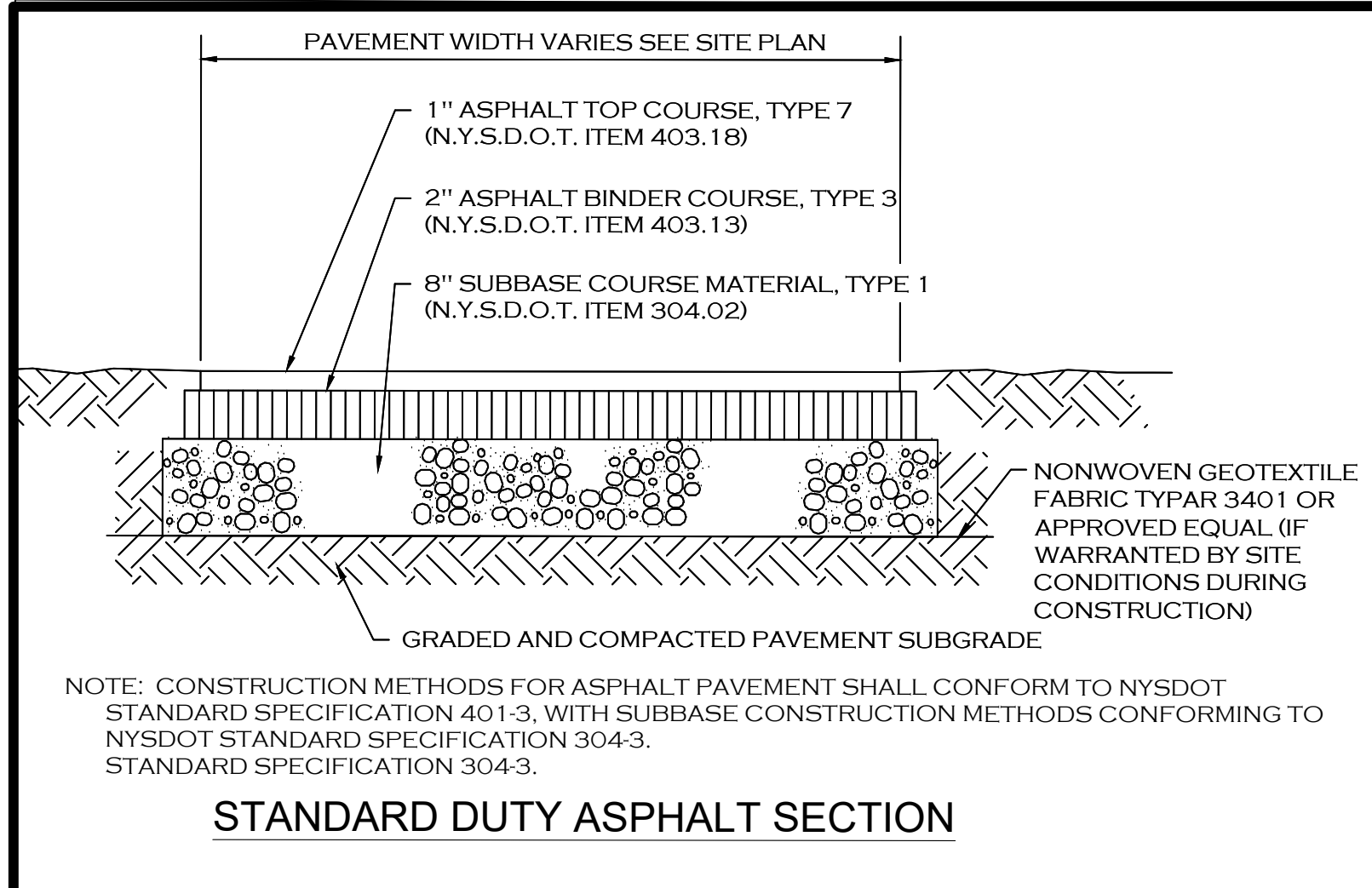
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Sheet: 6 OF 17  
 Date: 12/16/2024  
 Scale: 1" = 20'

Drawing Number: C-4.0





Revisions	No.	Revision/Issue	Date
	3	REVISIONS PER BENDERSON	2/17/25
	2	REVISIONS PER BENDERSON	2/17/25
	1	REVISIONS PER BENDERSON	1/13/25

**Notes & References**

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STATE OF NEW YORK  
SEAN LYAN GILBERT  
REGISTERED PROFESSIONAL ENGINEER  
087296

Engineer

**PWE PINEWOODS ENGINEERING**

LAND DEVELOPMENT & STORM WATER MANAGEMENT

42 Aston Villa, North Chili, New York 14514  
Phone: (585) 361-7852

Project Name and Address

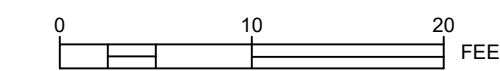
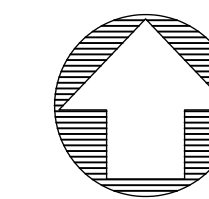
**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

**SITE DETAILS**

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Date	12/16/2024		
Scale	N/A		

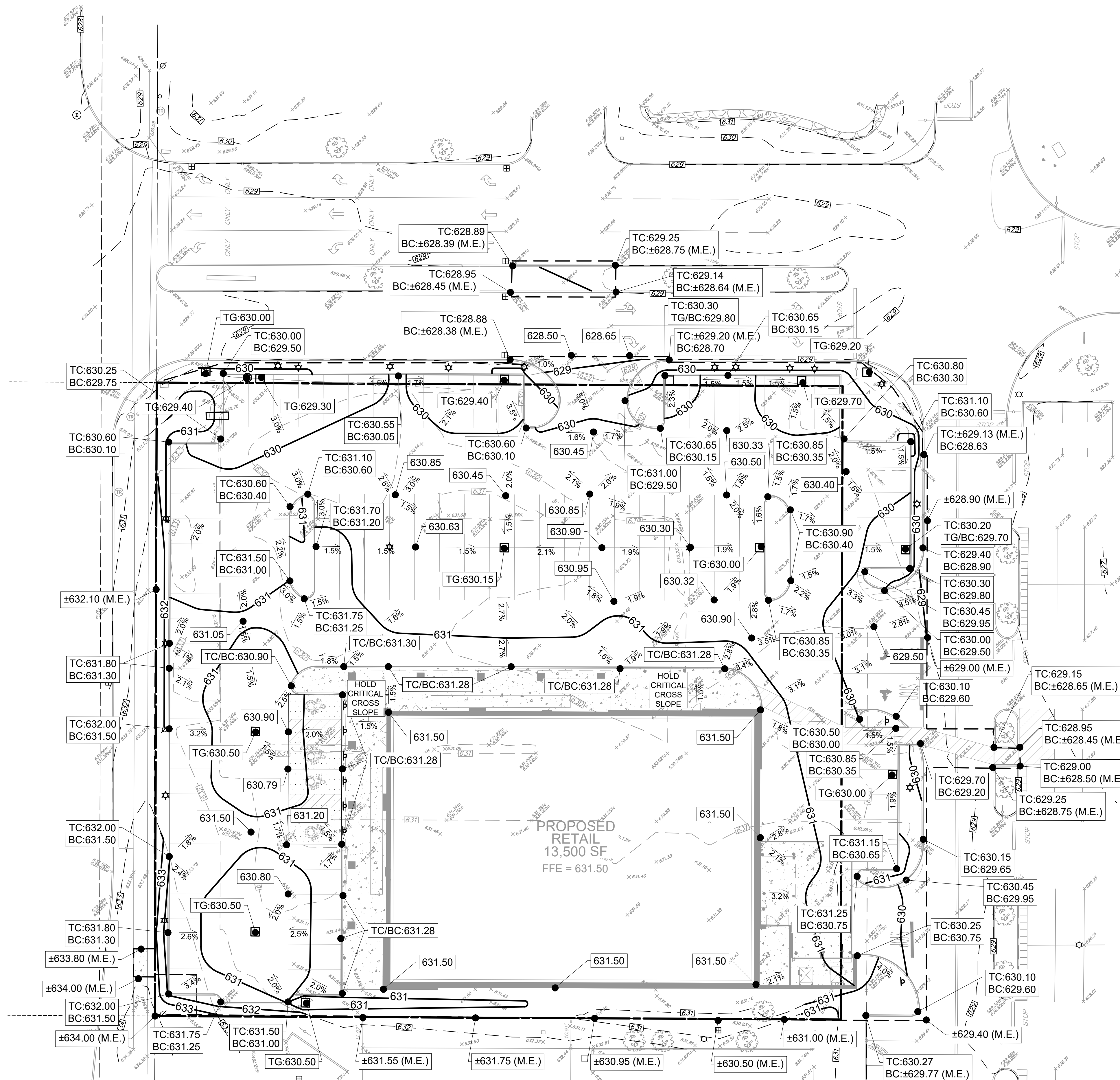




**GRADING SYMBOLY LOG**

- 630 NEW CONTOUR & ELEVATION
- 631.50 NEW SPOT ELEVATION\*
- ADA ACCESSIBLE AREA, MAX. 2% SLOPE ALL DIRECTIONS
- NEW FLOW ARROW AND PAVEMENT SLOPE
- LIMITS OF DISTURBANCE

\* TC=TOP OF CURB, BC=BOTTOM OF CURB, TR=TOP OF RIM, TG=TOP OF GRATE, ME= MATCH EXISTING GRADE (ELEVATION SHOWN IS APPROXIMATE).



Revisions	No.	Revision/Issue	Date
REVISIONS PER BENDERSON	7		3/3/25
REVISIONS PER BENDERSON	6		2/26/25
REVISIONS PER BENDERSON	5		2/17/25
REVISIONS PER BENDERSON	4		1/31/25
REVISIONS PER BENDERSON	3		1/13/25
REVISIONS PER BENDERSON	2		1/5/25
REVISIONS PER BENDERSON	1		12/25/24

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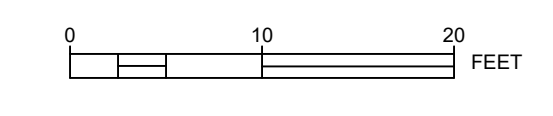
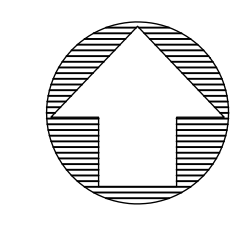
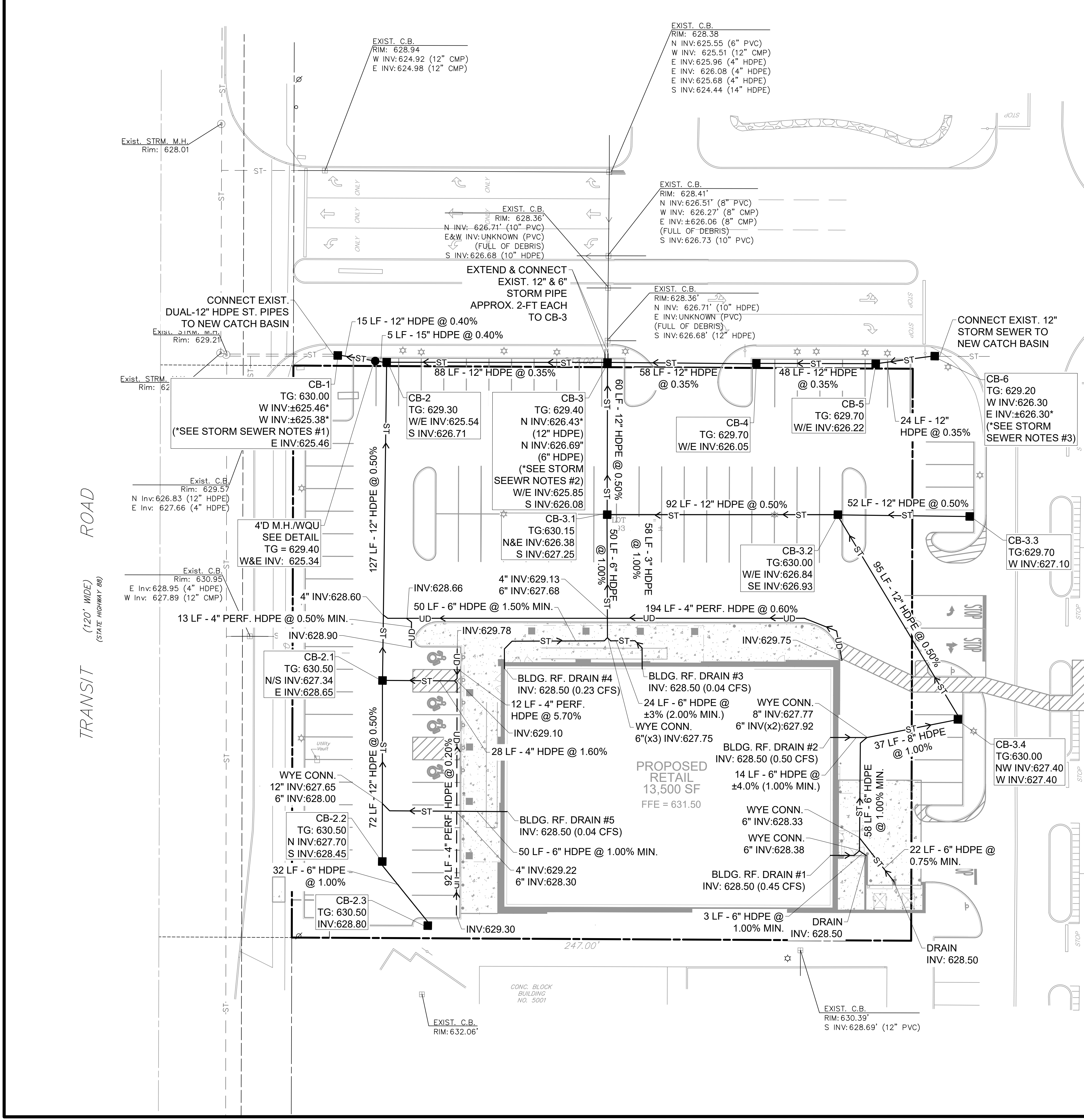
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**GRADING PLAN**

Sheet: 8 OF 17  
Date: 12/16/2024  
Scale: 1" = 20'

Drawing Number: C-5.0





**STORM SEWER SYMBOLOGY LEGEND**

- ST — NEW STORM PIPE
- UD — NEW PERFORATED UNDERDRAIN
- NEW STORM STRUCTURE: CATCH BASIN ("CB")

- STORM SEWER NOTES**
- INVERTS OF EXISTING 12-INCH STORM PIPES ASSUMED AT THE LOCATION OF CONNECTION TO CB-1. CONTRACTOR TO DIG A TEST PIT TO VERIFY EXISTING INVERT PRIOR TO ORDERING NEW CATCH BASINS AND NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN CONSTRUCTION PLANS AND FIELD CONDITIONS.
  - CONNECT EXISTING 12-INCH AND 6-INCH HDPE PIPES TO CB-3. CONTRACTOR TO DIG A TEST PIT TO VERIFY EXISTING INVERTS AND CHECK THAT EXISTING INVERTS EXCEED WEST INVERT OF CB-3. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN CONSTRUCTION PLANS AND FIELD CONDITIONS.
  - INVERT OF EXISTING 12-INCH STORM PIPE AT CB-6 ASSUMED. CONTRACTOR TO DIG A TEST PIT TO VERIFY EXISTING INVERT PRIOR TO ORDERING NEW CATCH BASINS AND NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND CONSTRUCTION PLANS.

Revisions	Revisions Per Benderson	Date
7	REVISIONS PER BENDERSON	
6	REVISIONS PER BENDERSON	3/3/25
5	REVISIONS PER BENDERSON	2/26/25
4	REVISIONS PER BENDERSON	2/17/25
3	REVISIONS PER BENDERSON	1/31/25
2	REVISIONS PER BENDERSON	1/13/25
1	REVISIONS PER BENDERSON	1/5/25
	REVISIONS PER BENDERSON	12/25/24
No.	Revision/Issue	

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**BENDERSON DEVELOPMENT**

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PHONE: (716) 886-0211 FAX: (716) 886-7761  
WWW.BENDERSON.COM

PROJECT NO. 1105

Engineer's Seal

Engineer

**PWE PINWOODS ENGINEERING**

LAND DEVELOPMENT & STORM WATER MANAGEMENT  
42 Aston Villa, North Chili, New York 14514  
Phone: (585) 361-7852

Project Name and Address

**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

**STORM PLAN**

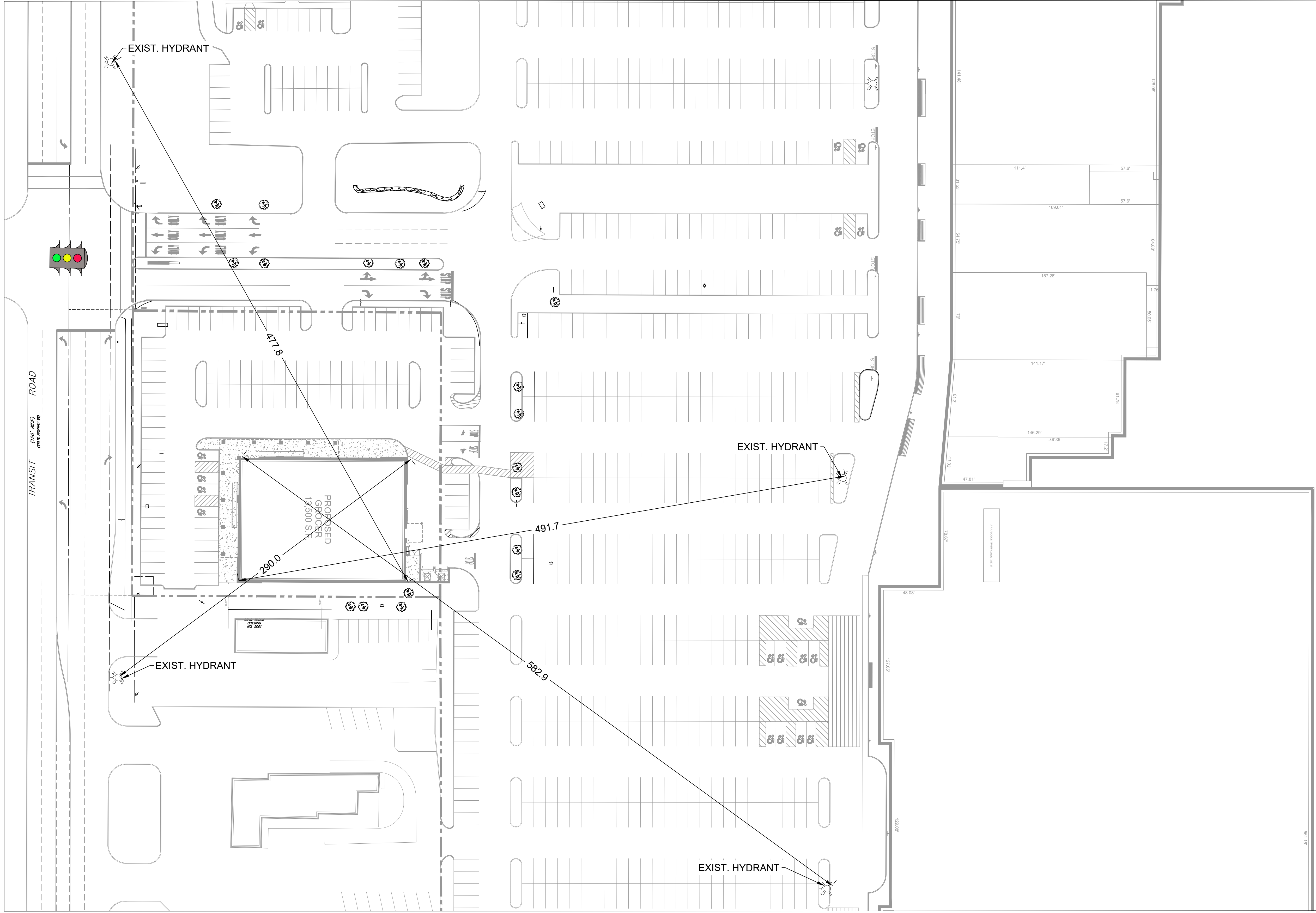
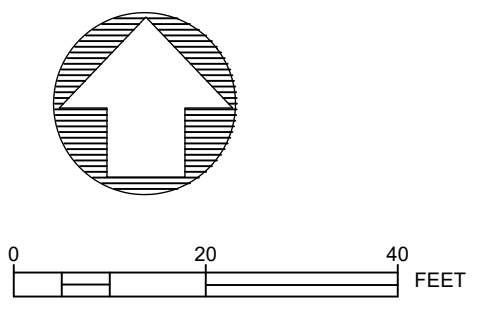
Sheet: 9 OF 17  
Date: 12/16/2024  
Scale: 1" = 20'

Drawing Number: C-5.1









HYDRANT LOCATIONS PROVIDED BY BENDERSON DEVELOPMENT COMPANY.

Revisions	No.	Revision/Issue	Date
	2	REVISIONS PER BENDERSON	3/3/25
	1	REVISIONS PER BENDERSON	2/26/25

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

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LAND DEVELOPMENT & STORM WATER MANAGEMENT

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Phone: (585) 261-7852

Project Name and Address

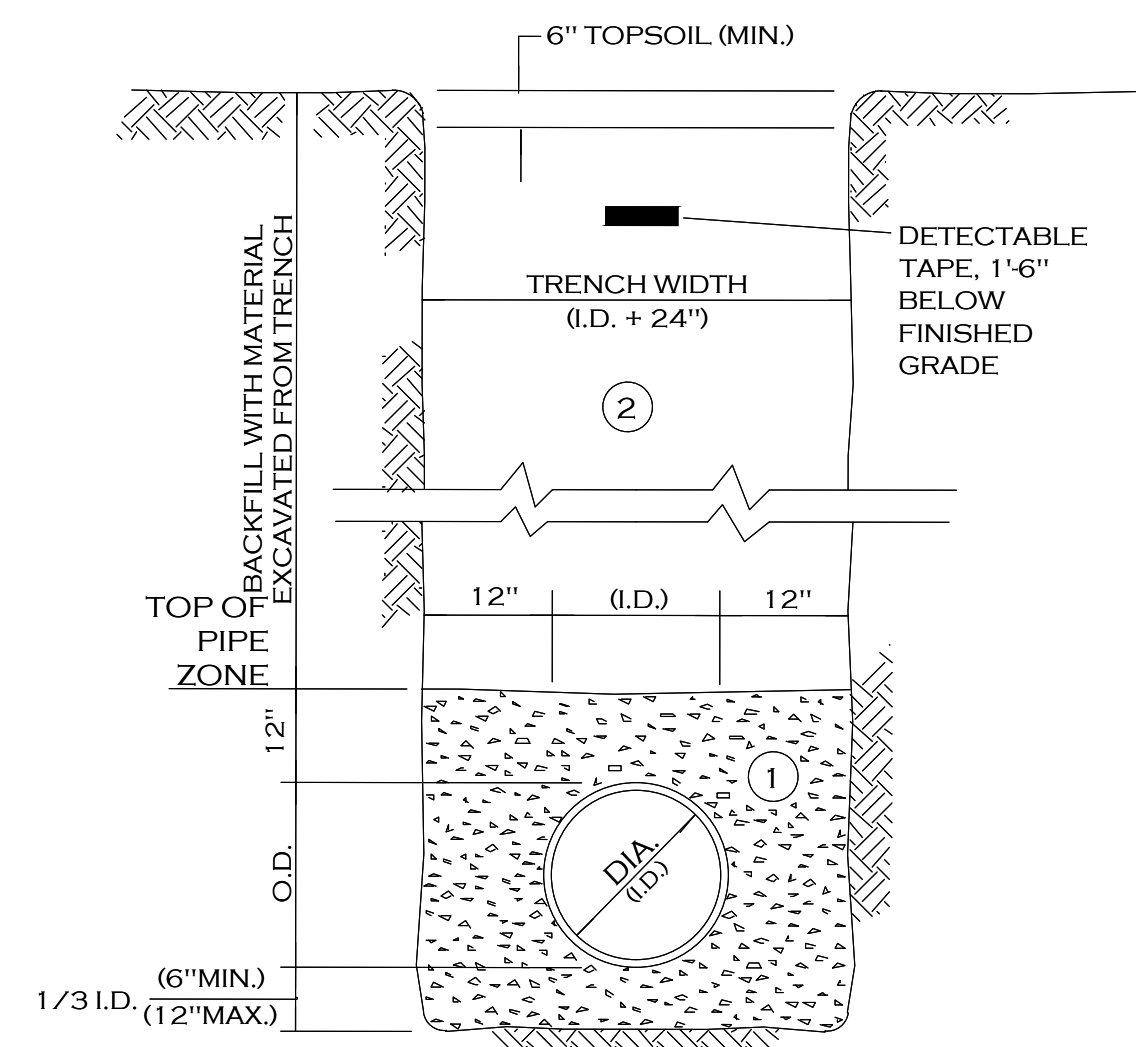
**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

**PLAZA HYDRANT PLAN**

Sheet	11 OF 17	Drawing Number	<b>C-6.1</b>
Date	2/17/2025		
Scale	1" = 40'		





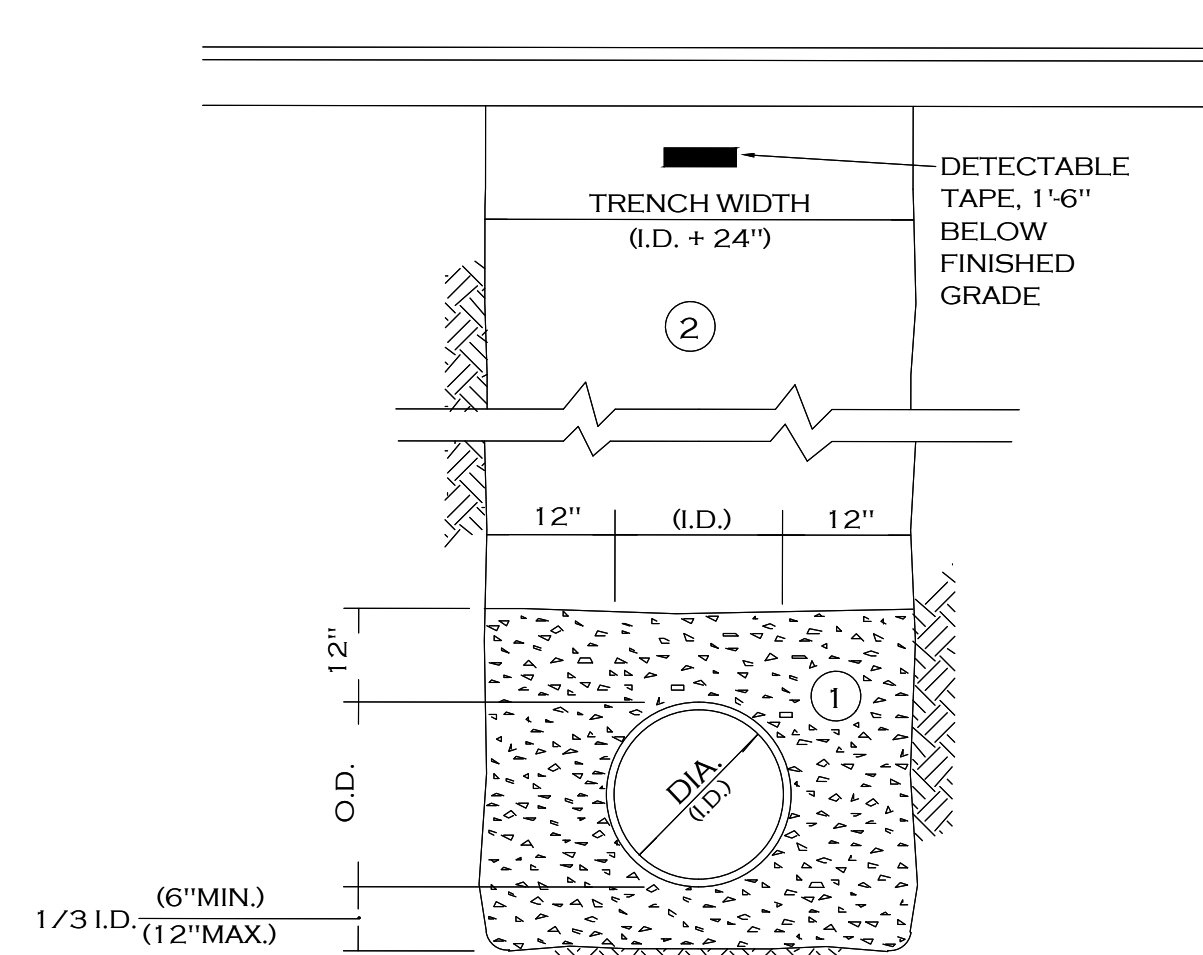
- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.
  - TRENCHING, EXCAVATION AND BACKFILLING TO BE DONE IN ACCORDANCE WITH SECTION 306 OF THE 2015 INTERNATIONAL PLUMBING CODE.

**MATERIALS**

**PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)**

- NO.1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.  
NO SLAG SHALL BE ALLOWED FOR MATERIAL ①
- BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

**STORM PIPE TRENCH SECTION IN UNPAVED AREAS  
(FOR USE IN WORK OUTSIDE THE RIGHT-OF-WAY ONLY)**



- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.
  - TRENCHING, EXCAVATION AND BACKFILLING TO BE DONE IN ACCORDANCE WITH SECTION 306 OF THE 2015 INTERNATIONAL PLUMBING CODE.

**MATERIALS**

**PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)**

- NO.1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.  
NO SLAG SHALL BE ALLOWED FOR MATERIAL ①
- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304.2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.  
NO SLAG SHALL BE ALLOWED FOR MATERIAL ②

**STORM PIPE TRENCH SECTION IN PAVED AREAS  
(FOR USE IN WORK OUTSIDE THE RIGHT-OF-WAY ONLY)**

**WATER LATERAL INSTALLATION AND TESTING NOTES**

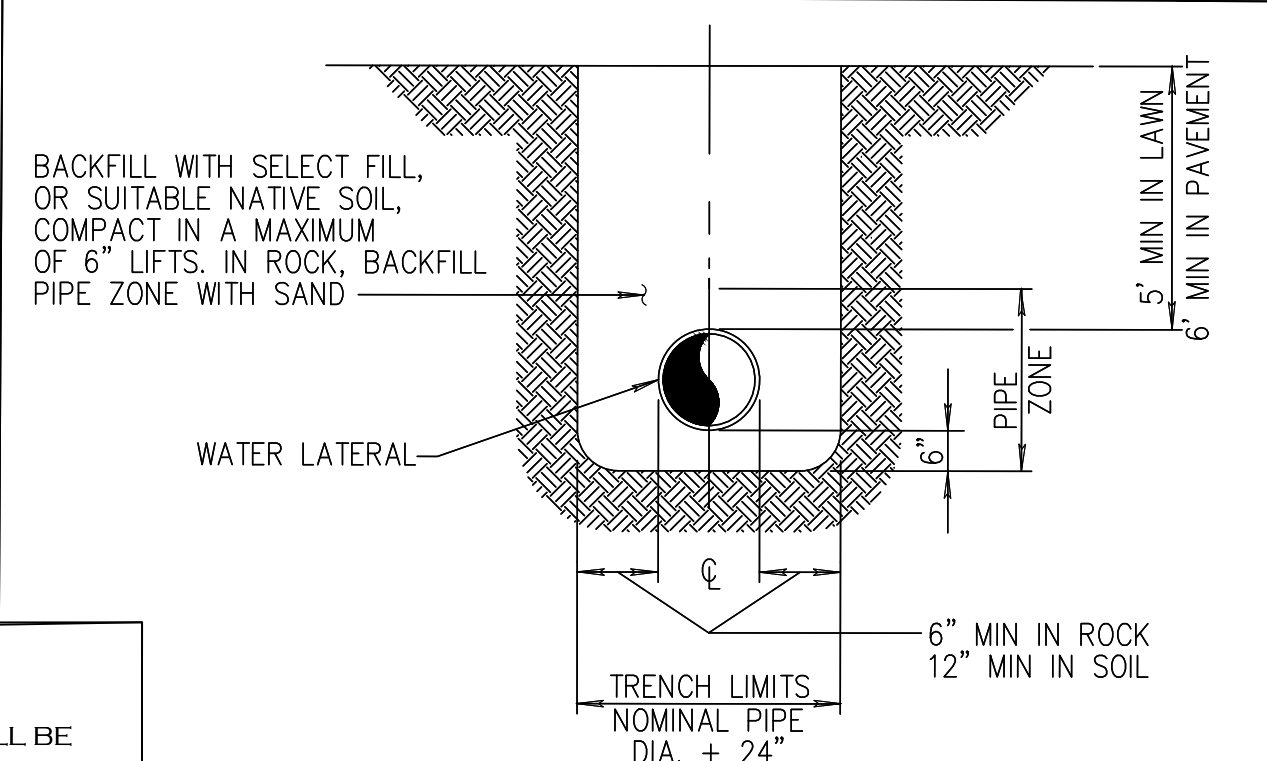
Waterlines shall be installed to maintain at least a minimum vertical and horizontal separation from existing or proposed sanitary sewers in conformance with Parts 8.6.2 and 8.6.3 of the Recommended Standards for Water Works (New York State Health Department Bulletin 42).

Pipe: From Tap/Tee to Backflow Prevention: class 52 Ductile Iron pipe.  
After Backflow Prevention: AWWA C-900 Polyvinyl chloride (PVC) pipe.

Unless otherwise noted in the specifications or drawings, the installation of water pipe shall be governed by the A.W.W.A. Standard Specifications for installation of PVC pipe.  
When completed and before the work is accepted, each section of pipe shall be flushed, tested, and disinfected prior to being placed in service.

The contractor shall do all work and furnish all means and apparatus necessary for admitting the water into the mains for flushing, testing, and disinfection, including providing necessary pumps, calibrated gauges, and metering devices.

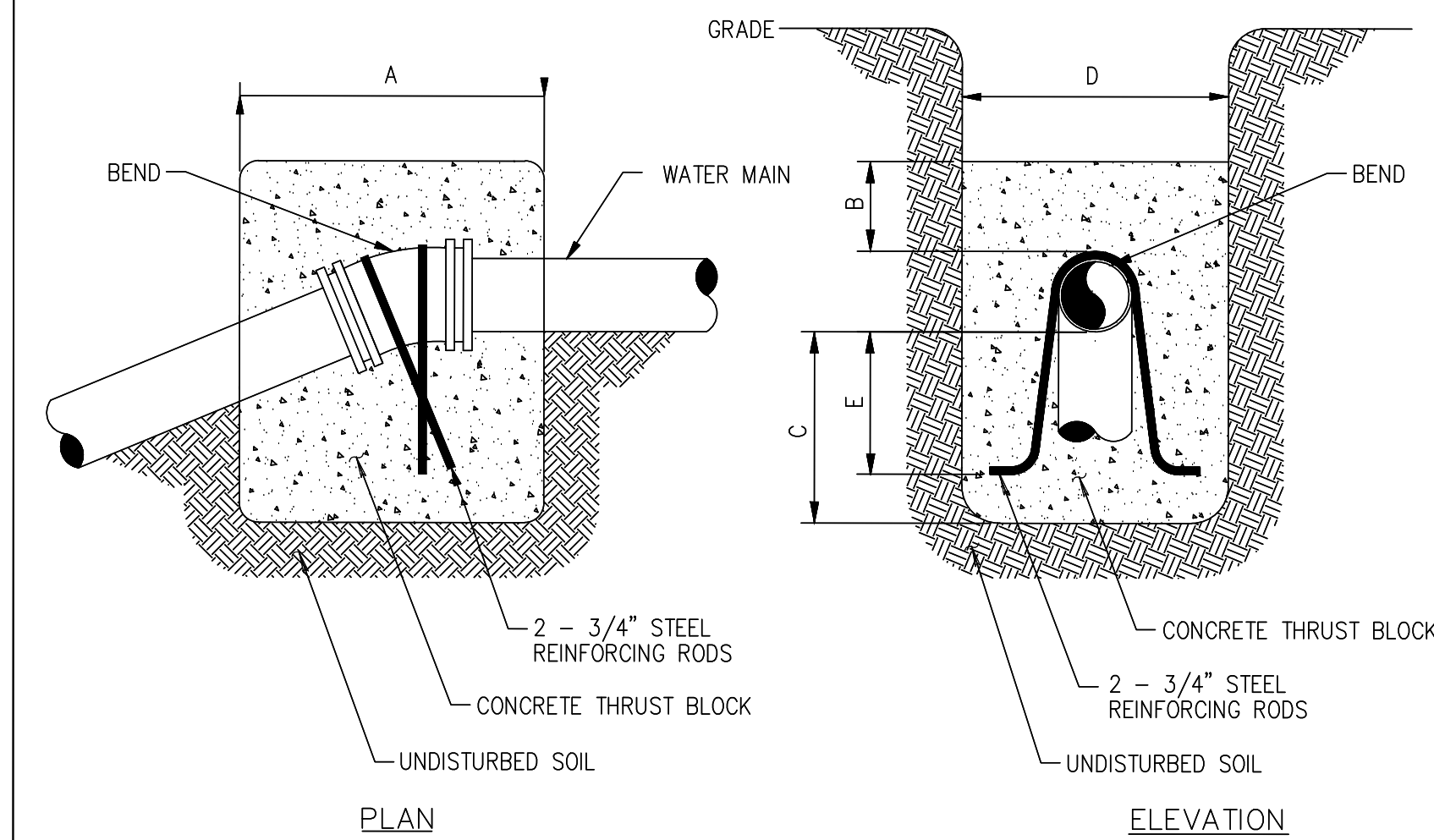
Hydrostatic (leakage testing) at a minimum shall comply with the requirements of AWWA C600-82 Section 4. If leakage discovered exceeds the amount specified, the contractor shall replace defective pipes, valves, or appurtenances and do any work necessary immediately and conduct re-test. Disinfection shall be carried out in conformance with AWWA C651-86 (excluding Section 5.1). The sections of watermain to be disinfected shall be flushed first to remove any solids or contaminated material that may exist. Samples shall be taken from the beginning and end of each section as well as from any stub attached to that section. If the mains being tested are long, samples shall be taken at intervals not to exceed 1000 feet. In the event that tests prove unsatisfactory by the County Health Department Standards, chlorination and sampling shall be repeated.



**BLDG WATER LATERAL INSTALLATION TRENCH**  
NOT TO SCALE

BEND	MINIMUM VOLUME OF CONCRETE DIMENSIONS	VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
4" / 6" - 90° BEND	0.70 CY	3'-0"	1'-0"	1'-6"	2'-0"	1'-0"
4" / 6" - 45° BEND	0.40 CY	2'-0"	1'-0"	1'-0"	2'-0"	0'-6"
4" / 6" - 22 1/2° BEND	0.20 CY	1'-0"	1'-0"	1'-0"	2'-0"	0'-6"
4" / 6" - 11 1/4° BEND	0.20 CY	1'-0"	1'-0"	1'-0"	2'-0"	0'-6"
8" - 11-1/4° BEND	1.00 CY	3'-0"	1'-0"	1'-3"	3'-0"	1'-0"
8" - 22-1/2° BEND	1.50 CY	4'-0"	1'-0"	1'-10"	3'-0"	1'-6"
8" - 45° BEND	2.50 CY	6'-0"	1'-6"	2'-0"	3'-0"	1'-8"

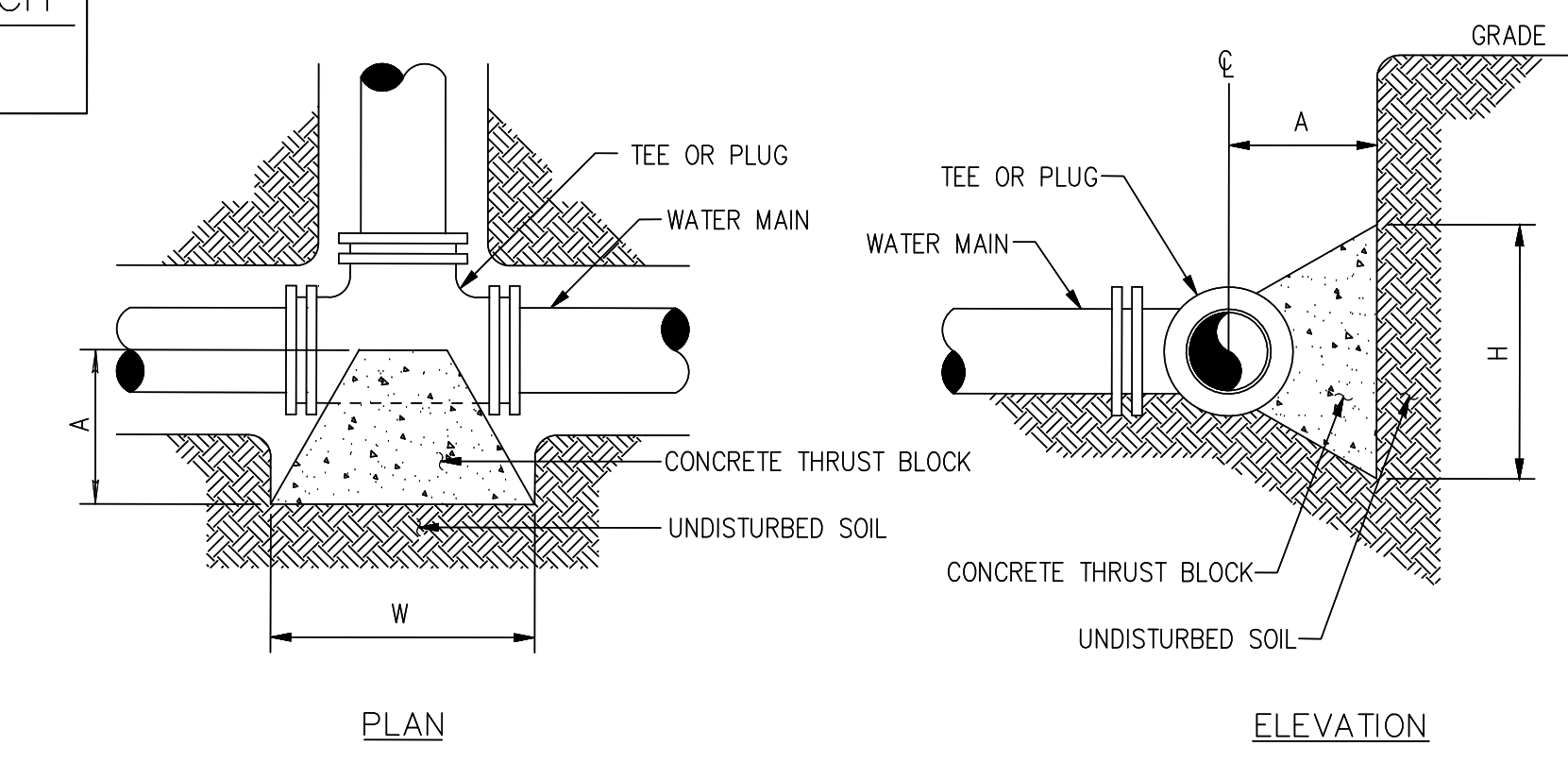
\* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.



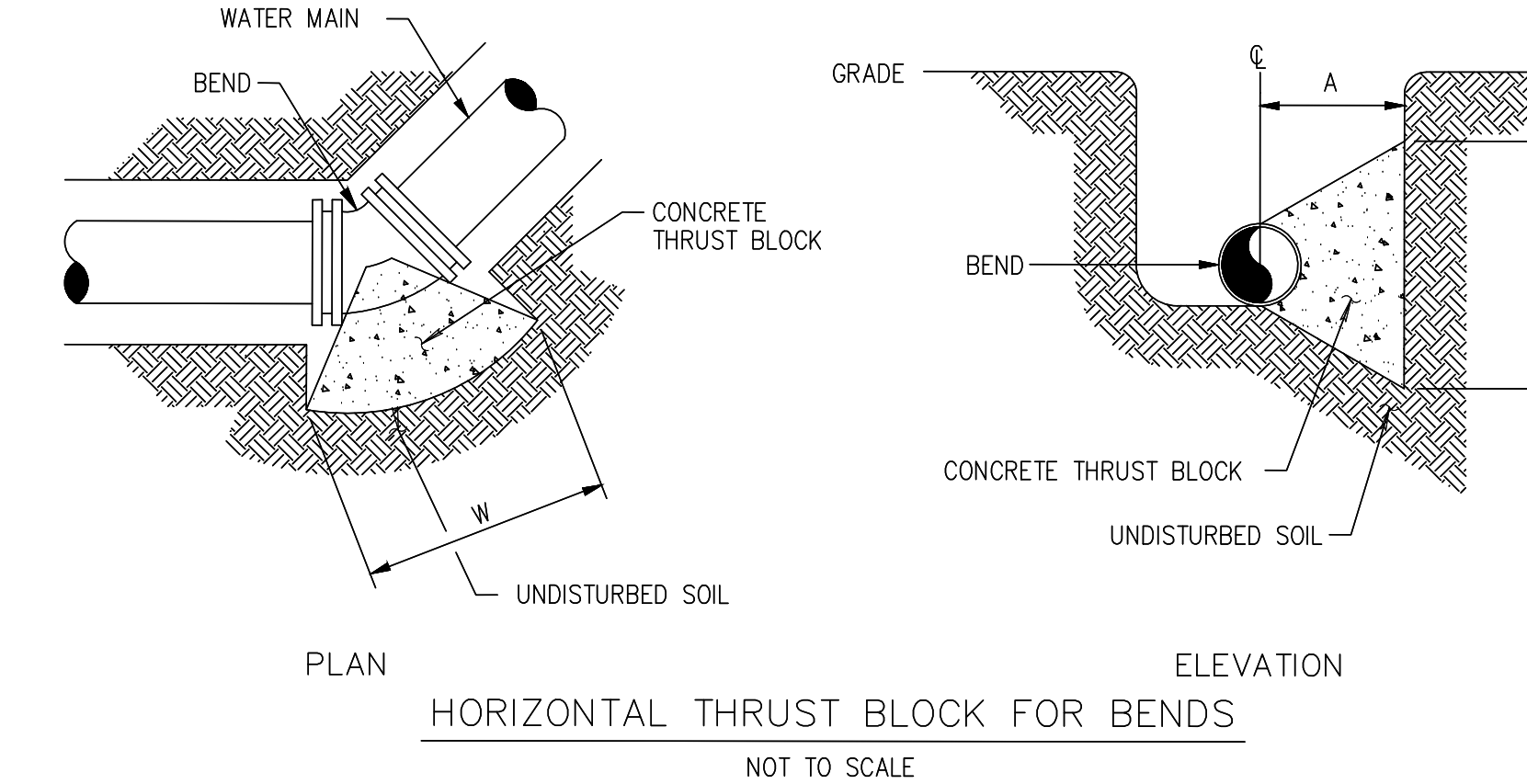
**VERTICAL THRUST BLOCK**  
NOT TO SCALE

FITTING	H	W	A
4" / 6" - 90° BEND	1'-9"	3'-6"	1'-3"
4" / 6" - 45° BEND	1'-3"	2'-6"	1'-3"
4" / 6" - 22 1/2° BEND	1'-3"	2'-6"	1'-3"
4" / 6" - 11 1/4° BEND	1'-3"	2'-6"	1'-3"
4" / 6" TEE OR PLUG	1'-9"	3'-6"	1'-3"
8" - 11-1/4° BEND	1'-0"	1'-0"	1'-6"
8" - 22-1/2° BEND	1'-0"	1'-6"	1'-6"
8" - 45° BEND	1'-6"	2'-0"	1'-6"
8" - 90° BEND	2'-0"	2'-6"	1'-6"
8" TEE OR PLUG	1'-6"	2'-6"	1'-0"

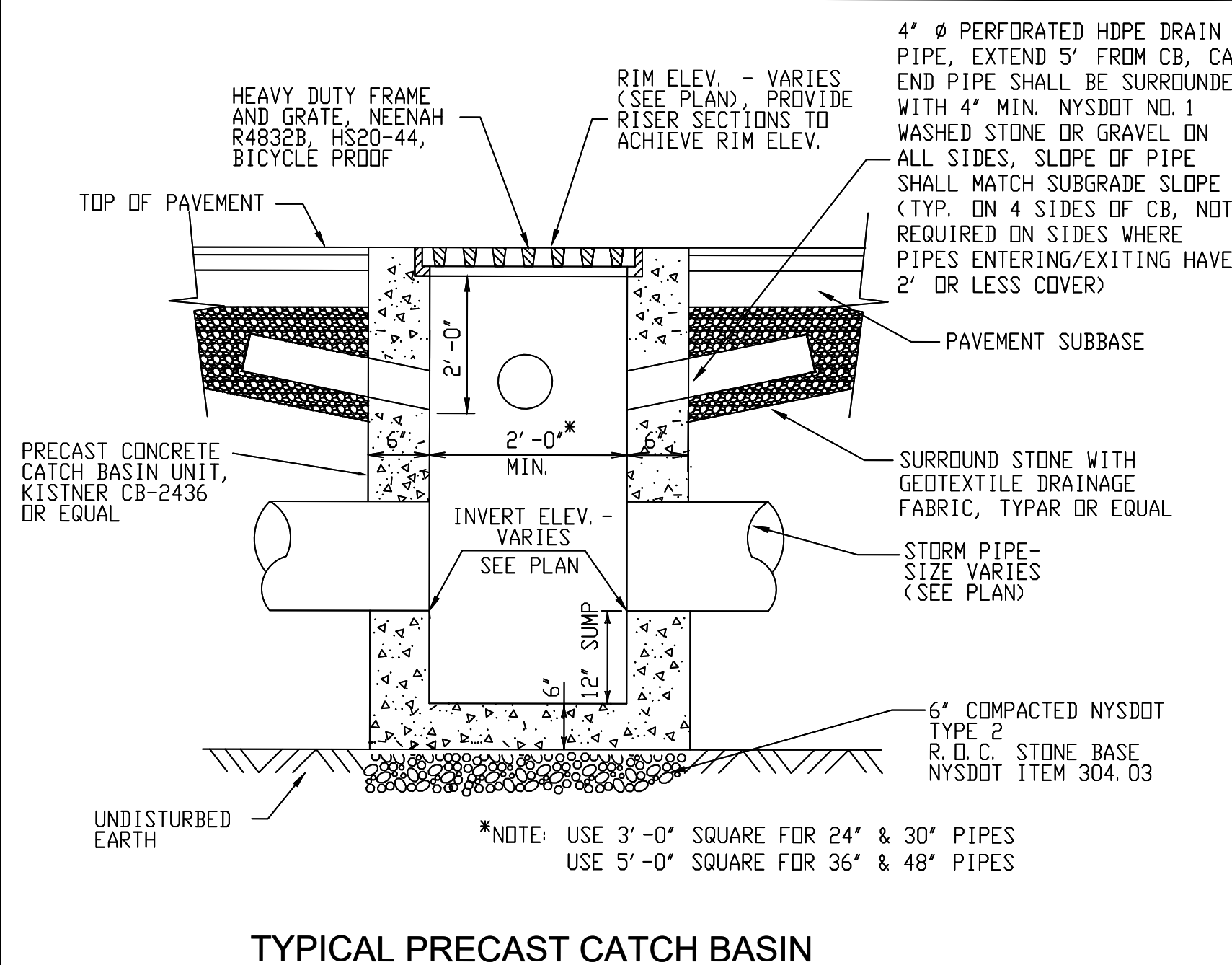
NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).



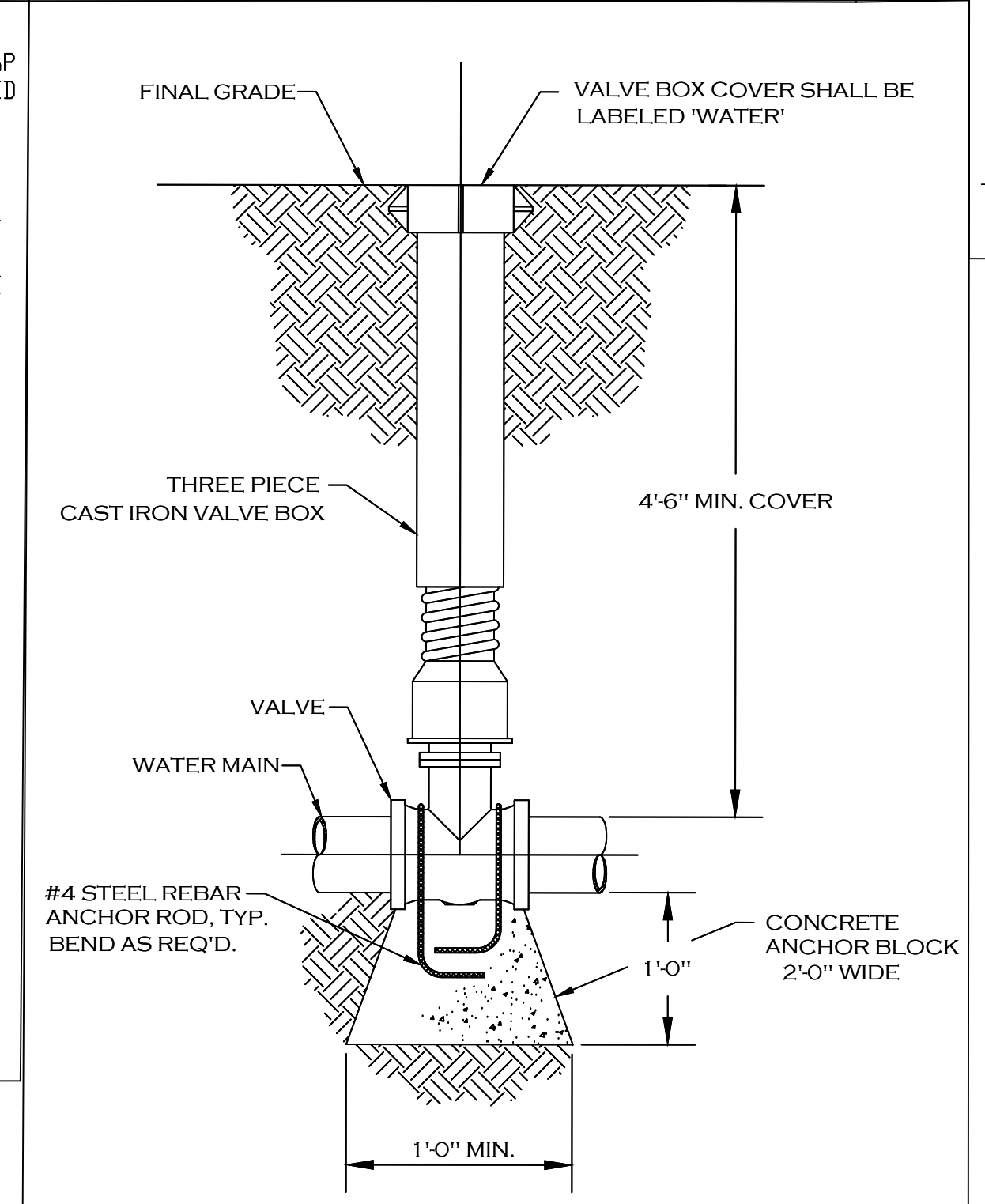
**HORIZONTAL THRUST BLOCK FOR TEES AND PLUGS**  
NOT TO SCALE



**HORIZONTAL THRUST BLOCK FOR BENDS**  
NOT TO SCALE



**TYPICAL PRECAST CATCH BASIN**



**TYPICAL GATE VALVE DETAIL**

Revisions	2/17/25	Date
1	REVISIONS PER BENDERSON	
		Revision/Issue
		No.

**Notes & References**

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PHONE: (716) 886-0211 FAX: (716) 886-7781  
WWW.BENDERSON.COM

PROJECT NO: 1105

Engineer's Seal

STATE OF NEW YORK  
SEAN LYNN GILBERT  
PROFESSIONAL ENGINEER  
087296  
2/17/25

Engineer

**PWE**  
PINWOODS ENGINEERING

LAND DEVELOPMENT & STORM WATER MANAGEMENT  
42 Aston Villa, North Chili, New York 14514  
Phone: (585) 361-7852

Project Name and Address

**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

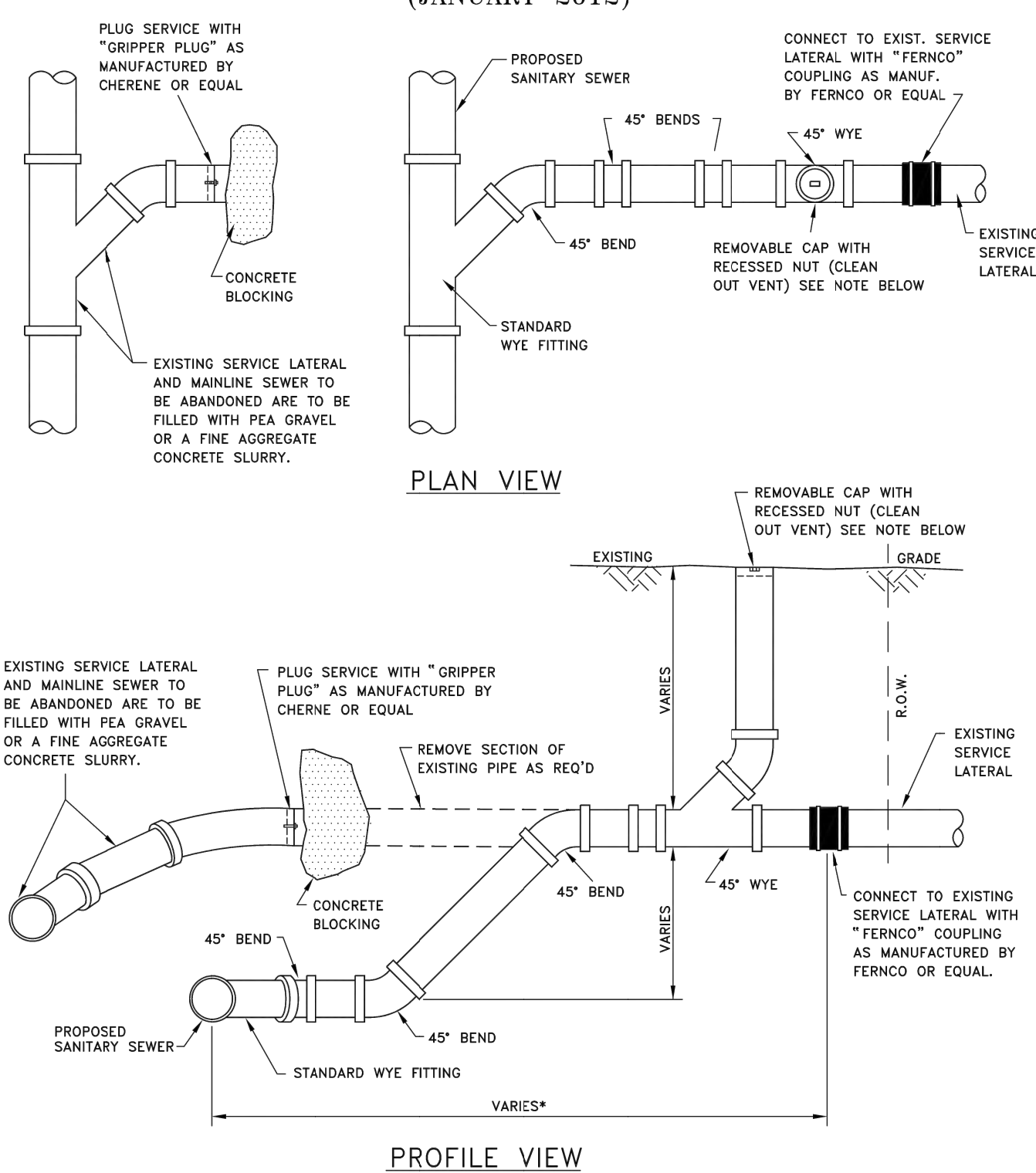
**UTILITY DETAILS - I**

Sheet: 12 OF 17  
Date: 12/16/2024  
Scale: N/A

Drawing Number: C-6.2



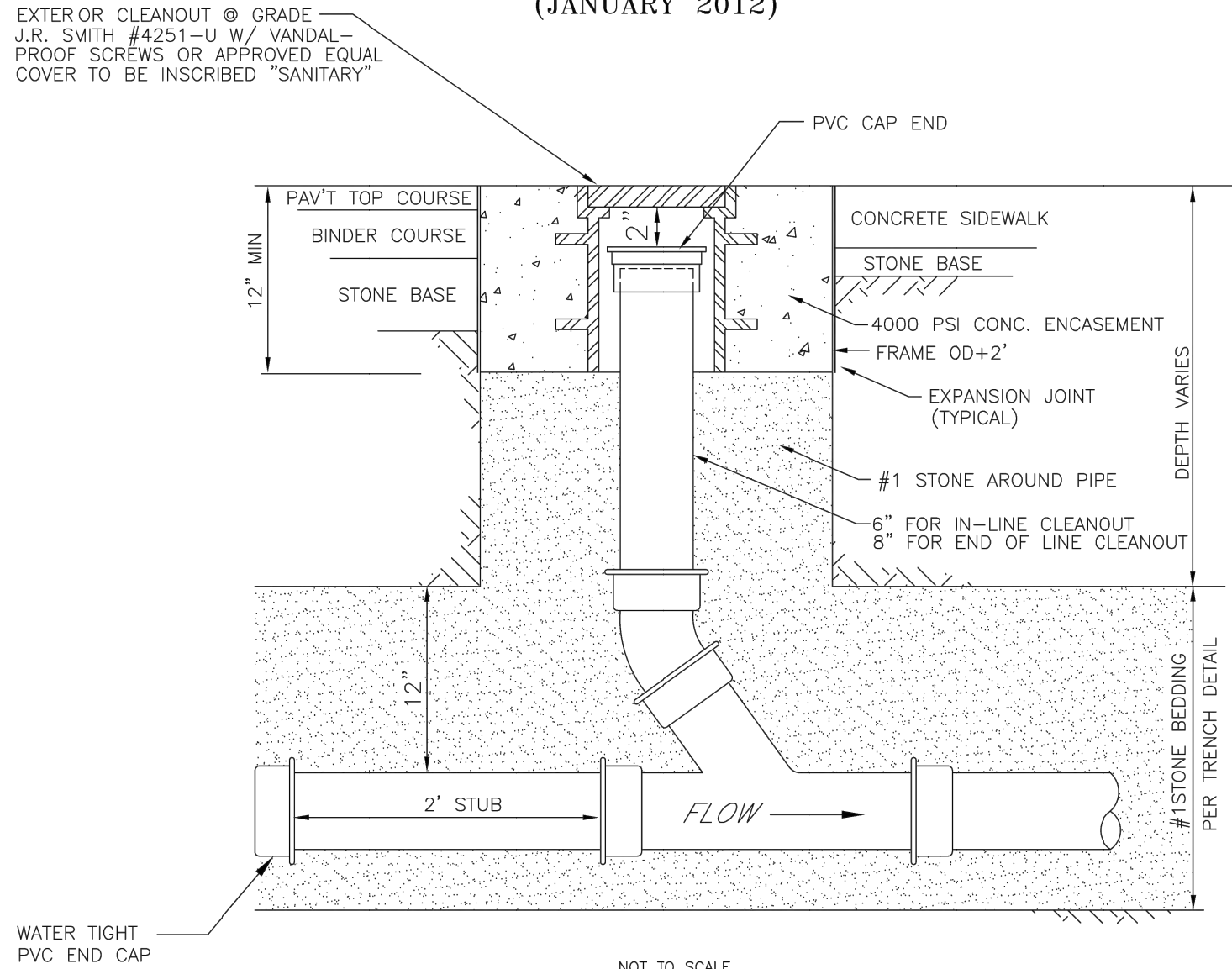
**TYPICAL HOUSE CONNECTION/ABANDONMENT DETAIL**  
(JANUARY 2012)



**\*NOTES:**  
1.) THE CONTRACTOR SHALL CONNECT TO THE FIRST GOOD STRUCTURALLY SOUND SECTION OF PIPE ON THE EXISTING SERVICE LATERAL AS DETERMINED IN THE FIELD DURING CONSTRUCTION.  
2.) VENTS AND CLEAN OUTS MUST BE INSTALLED IN LAWN AREAS, NOT IN SIDEWALK OR DRIVEWAY AREAS, PREFERABLY BETWEEN THE CURB OR EDGE OF PAVEMENT AND THE SIDEWALK.

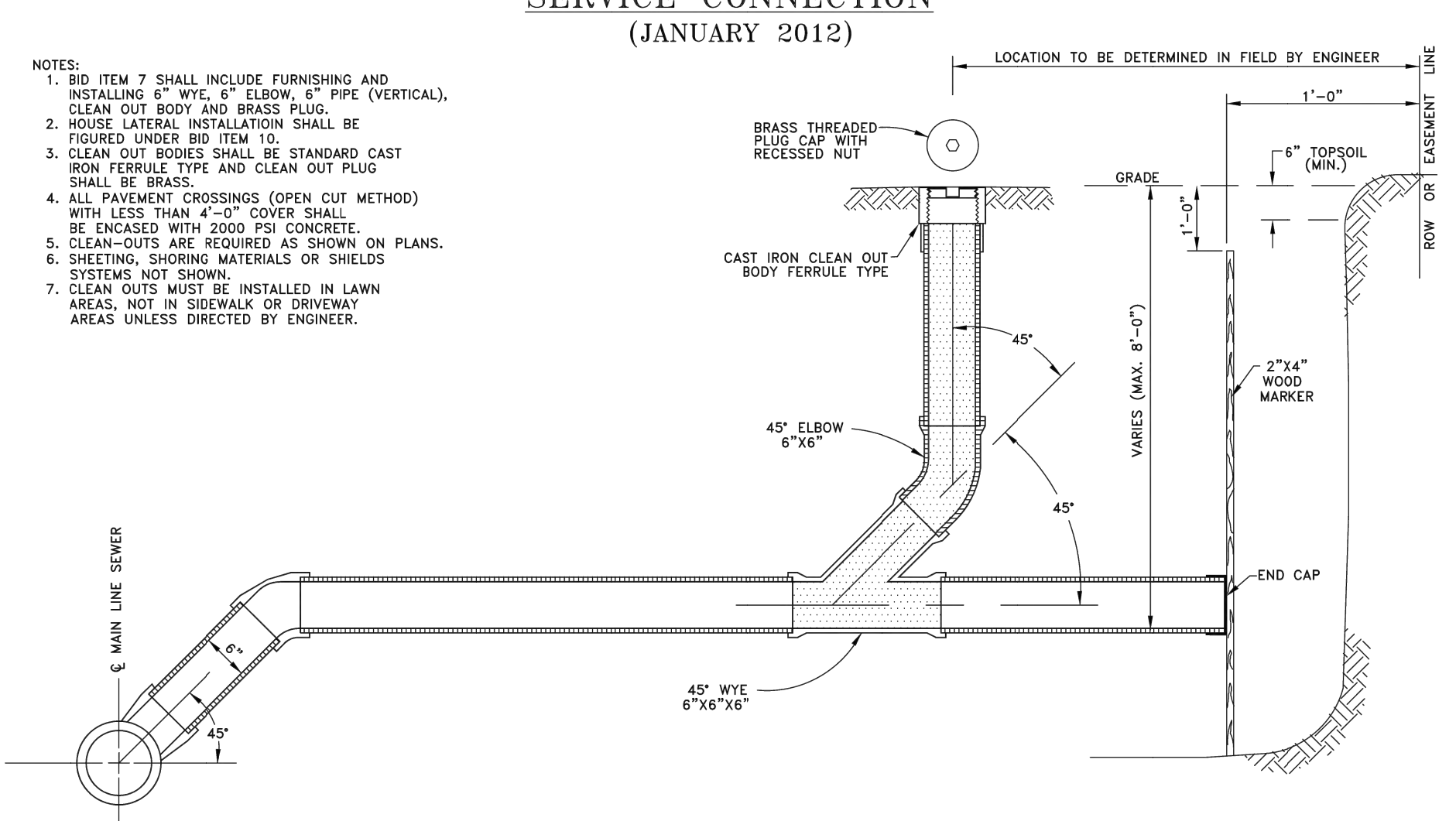
ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT	Rev. 1 12/29/98 ADDED *NOTE, LATERAL CONNECTION	STD.DETAIL
	Rev. 2 12/18/00 ADDED NOTE 2 IN REGARDS TO LOCATION OF VENTS & C.O.	34
File: d-34	Date: 7/19/91	

**Cleanout in Pavement/Sidewalks**  
**Non Residential and Commercial Projects**  
(JANUARY 2012)



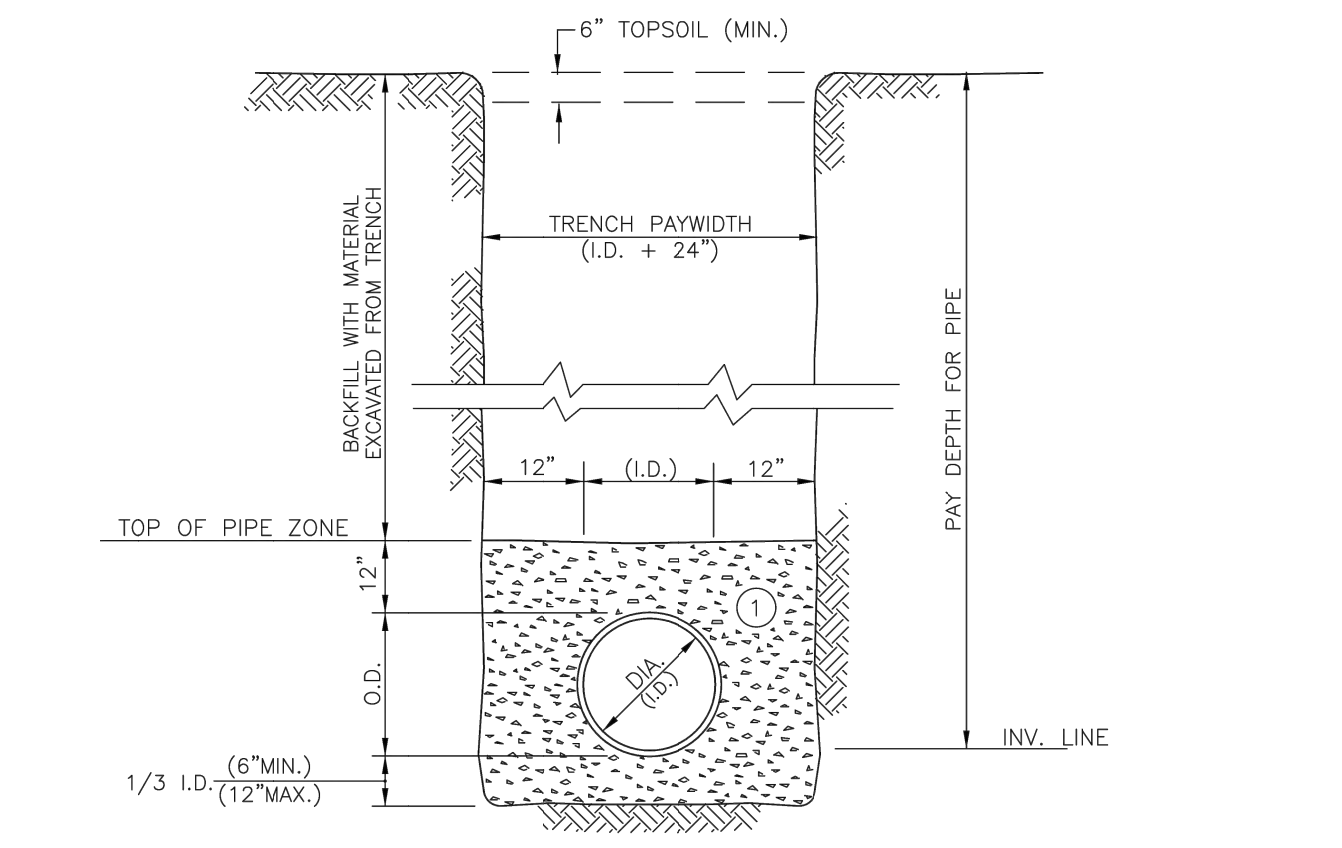
ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT	REV 07/99 ADD MIN. DISTANCE AND MARKER REV 12/01 ADDED #1 STONE AROUND PIPE REV 01/12 REMOVED 2X4 MARKER	STD. DETAIL
File: d-53	Date: 5/13/97	53

**CLEAN-OUT DETAIL FOR SERVICE CONNECTION**  
(JANUARY 2012)



ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT	Rev. 1 5/93 4"-0" COVER, C.I. CAP "RECESSED NUT" Rev. 2 7/94 CHANGED DIM LINE FOR MAX. DEPTH Rev. 3 7/02 ADDED NOTE 7 Rev. 4 5/02 CHANGED C.I. CAP TO BRASS Rev. 5 6/05 1" MIN. FROM EDGE OF WALK NOTE Rev. 6 1/12 CHANGED C.I. TO BRASS NOTES 1 & 3	STD. DETAIL
File: d-28	Date: 3/1/91	28

**UNSHEETED TRENCH DETAIL**  
(JANUARY 2012)

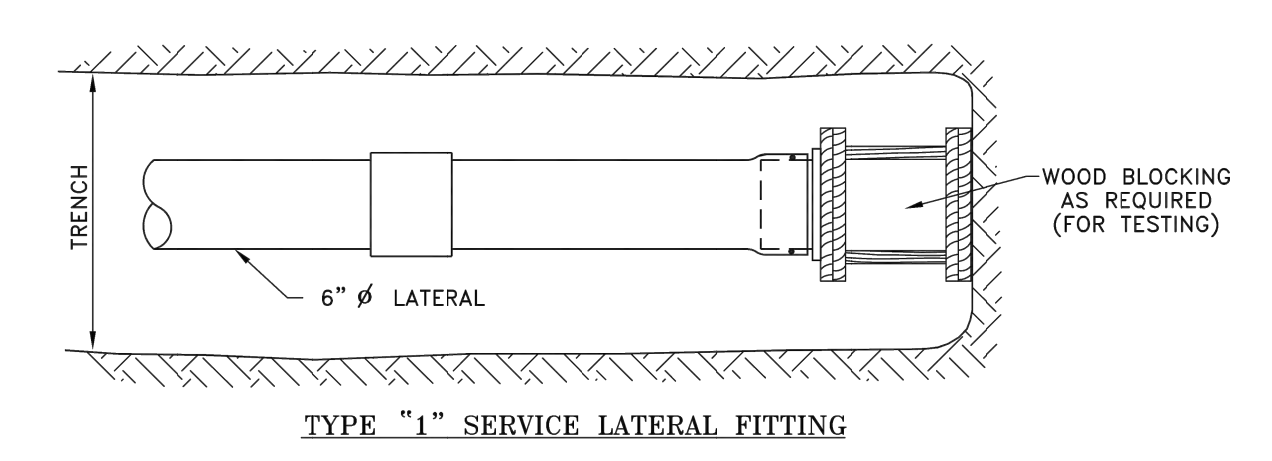
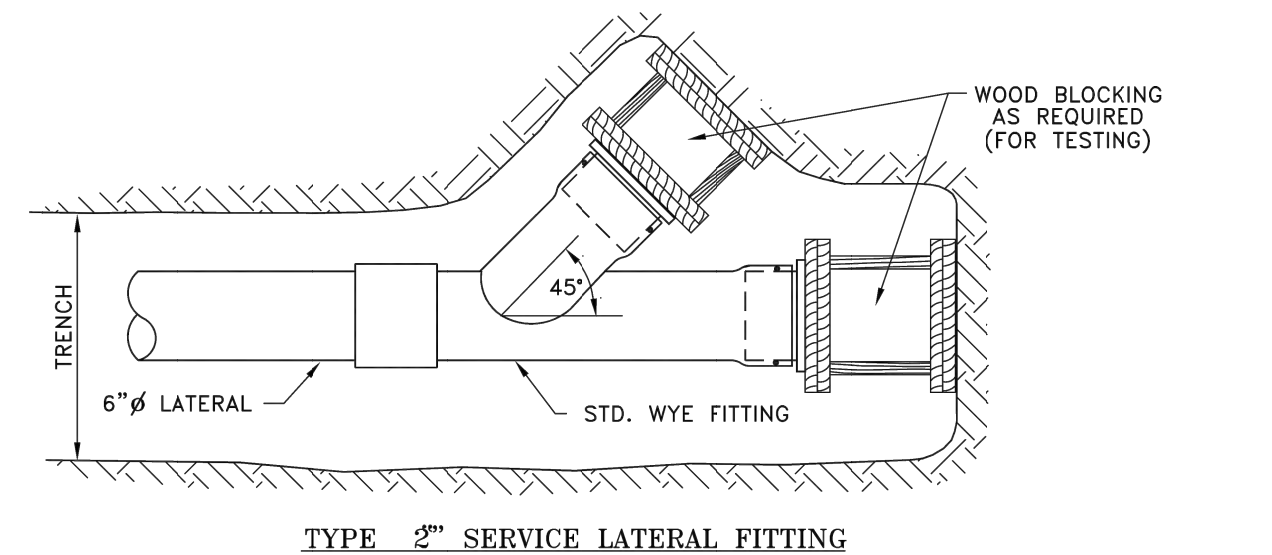
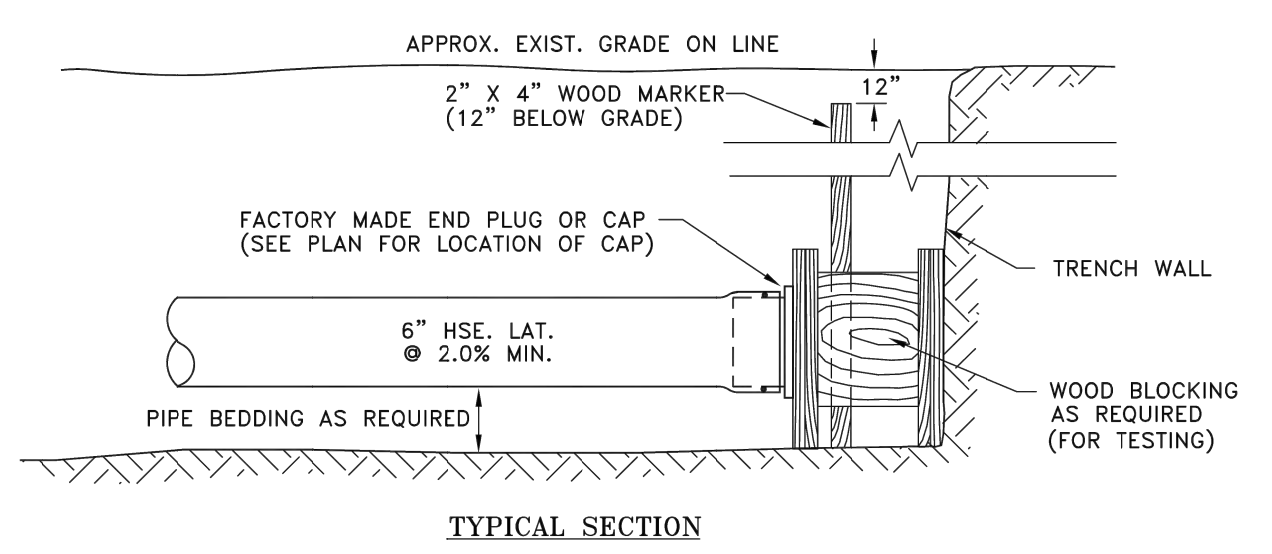


**NOTES:**  
A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.  
B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.  
C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.  
D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

**MATERIALS**  
PIPE BEDDING MATERIAL (NYS DOT LATEST EDITION)  
1) NO.1 CRUSHED STONE WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703-02. THE CRUSHED STONE SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN 1" AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.  
NOTE: SLAG SHALL NOT BE ALLOWED FOR MATERIALS 1

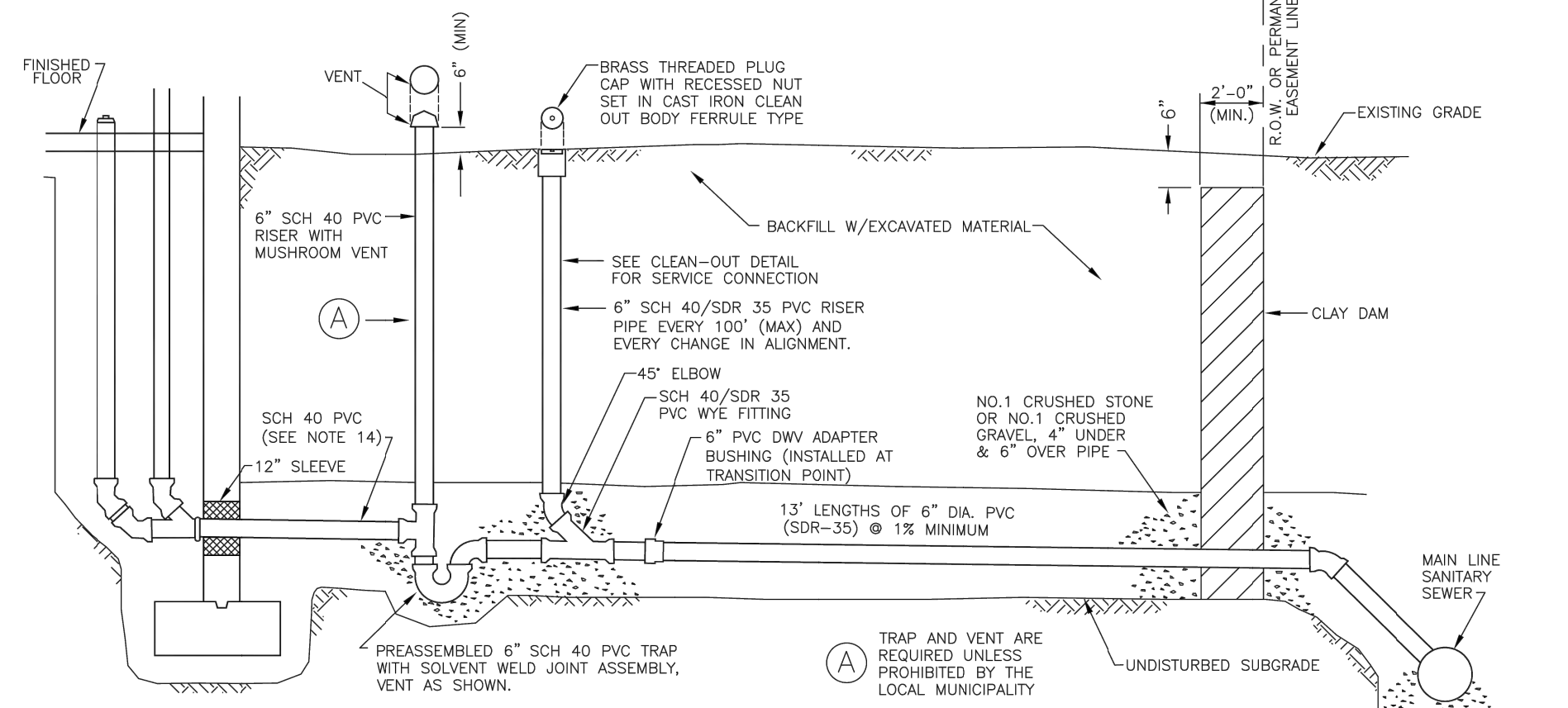
ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT	Rev. 1 5/20/93 NOTE 2: PIPE INSTALLATION	STD.DETAIL
	Rev. 2 2/7/94 ADDED NOTE C & D	1
File: d-01	Date: 3/1/91	

**CAP & BLOCKING METHODS FOR AIR TESTING**  
(JANUARY 2012)



ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT	Rev. 1 Rev. 2	STD.DETAIL
File: d-26	Date: 3/1/91	26

**TYPICAL COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL (NEW BUILDS)**  
(NOVEMBER 2023)



**NOTES:**  
1. NO INSPECTION WILL BE PROVIDED WITHOUT A FORTH-NOTIFICATION REQUIRE AS IN ADVANCE NOTICE FOR SCHEDULING.  
2. ALL WORK MUST BE INSPECTED BY A COUNTY INSPECTOR.  
3. PVC PIPE MATERIAL SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST ASTM SPECIFICATION, D-3035/D-3034.  
4. CLEANOUTS MUST BE INSTALLED IN LAWN AREAS, NOT IN SIDEWALK OR DRIVEWAY AREAS, PREFERABLY BETWEEN THE CURB OR EDGE OF PAVEMENT AND THE SIDEWALK.  
5. SELECT BACKFILL REQUIRED UNDER PAVED AREAS.  
6. CONCRETE ENCASUREMENT IF COVER DEPTH IS LESS THAN 4'-0" UNDER PAVED AREAS.  
7. MIN. DEPTH OF COVER 3'-0".  
8. CLEANOUT MEASUREMENTS SHALL BE TAKEN FROM CENTERLINE OF MAIN SERVICE LINE TO CENTERLINE OF CLEANOUT. IF NECESSARY, COVERED WITH STEEL PLATES.  
9. A 6" CLEANOUT IS REQUIRED AT R.O.W. UNDER THE MAIN SERVICE IF UNDER THE PAVEMENT LIMITS OR AT FAR SIDE OF PAVED AREA.  
10. SEPTIC TANKS MUST BE ABANDONED FOR INSPECTED APPROVED METHODS.  
11. ANY EXCAVATION TO BE LEFT OPEN OVERNIGHT SHALL BE COMPLETELY ENCLOSED IN FENCING OR WHERE NECESSARY, COVERED WITH STEEL PLATES.  
12. DOWN SPOUTS, SUMP PUMPS, AND FLOODING DEVICES ARE NOT PERMITTED TO BE CONNECTED TO THE LATERAL.  
13. NO CONNECTION SHALL BE MADE UNTIL BUILDING IS UNDER CONSTRUCTION.  
14. IF CAST IRON IS USED EXITING THE BUILDING, A BRASS COUPLING IS REQUIRED BEFORE THE TRAP.

ERIE COUNTY DEPT. OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT	Rev. 1/07 REMOVED OLD NOTES 2 AND 18 Rev. 11/08 ADDED SLEEVE AND PVC-SDR 35 Rev. 1/12 REVISED 6" CAST IRON TRAP NOTE Rev. 10/21 REMOVED VENT, RISER, AND TRAP ASSEMBLY Rev. 11/23 ADDED VENT, RISER, TRAP ASSEMBLY & (S) Rev. 3/24 CHANGED VENT, RISER, TRAP ASSEMBLY SCH 40	STD. DETAIL
File: D-22	Date: 3/1/91	22

Revisions	2	1	2/17/25	1/31/25	Date
	REVISIONS PER BENDERSON	UPDATED DETAIL #22			
	No.				Revision/Issue

**Notes & References**  
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Engineer's Seal  
STATE OF NEW YORK  
SEAL OF PROFESSIONAL ENGINEER  
087296  
2/17/25

Engineer  
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Project Name and Address  
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Drawing Name <b>UTILITY DETAILS - II</b>	
Sheet <b>13 OF 17</b>	Drawing Number <b>C-6.3</b>
Date <b>12/16/2024</b>	Scale <b>N/A</b>

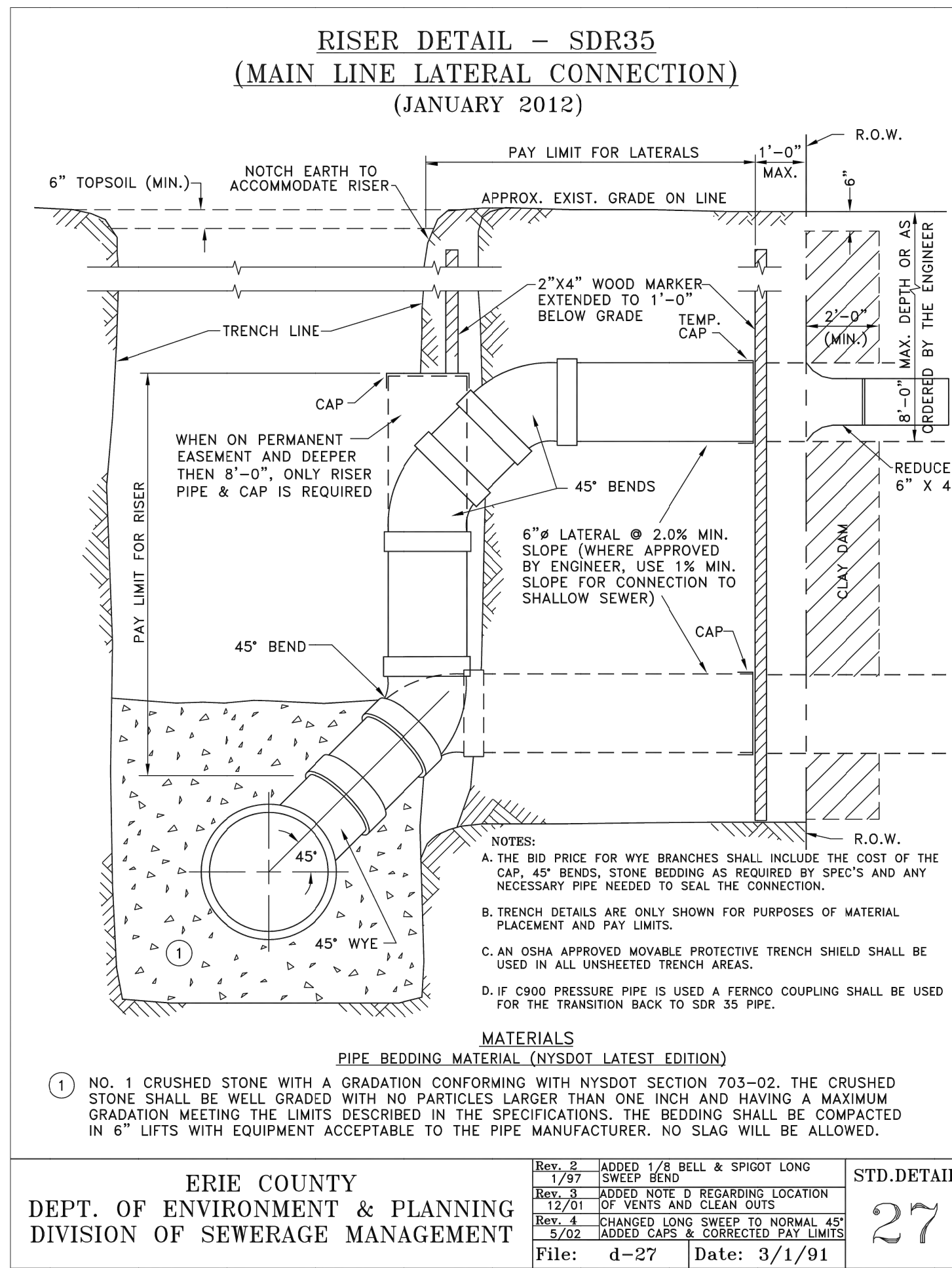


**ERIE COUNTY SEWER DISTRICT GENERAL NOTES FOR NON-RESIDENTIAL PROJECTS**

- A. THE CONTRACTOR IS ADVISED A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
- B. ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, WET WELLS, CHAMBERS) OWNED BY ERIE COUNTY SEWER DISTRICT MUST CERTIFY TO THE COUNTY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
- C. CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS FOR ERIE COUNTY SEWER DISTRICTS.
- D. IF PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS **LESS** THAN FOUR (4) FEET OF COVER, THEN CONCRETE ENCASEMENT IS REQUIRED. IF ANY PROPOSED SEWER LATERALS RUNS UNDER PAVED AREA AND HAS **MORE** THAN FOUR (4) FEET OF COVER THEN SELECT FILL REQUIRED IN AFFECTED AREAS.
- E. THE CONTRACTOR MUST CONTACT THE DISTRICT OFFICE 48 HOURS IN ADVANCE OF CONSTRUCTION.
- F. VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, THEN PROTECT WITH BOLLARDS (3 MINIMUM).
- G. CLEANOUTS (C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE OF DIRECTION.
- H. ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
- I. REUSE OF EXISTING BUILDING SEWERS SHALL CONFORM TO THE RULES AND REGULATIONS FOR ECSD, ARTICLE III, SECTION 304.

**ERIE COUNTY SEWER DISTRICT GENERAL NOTES**

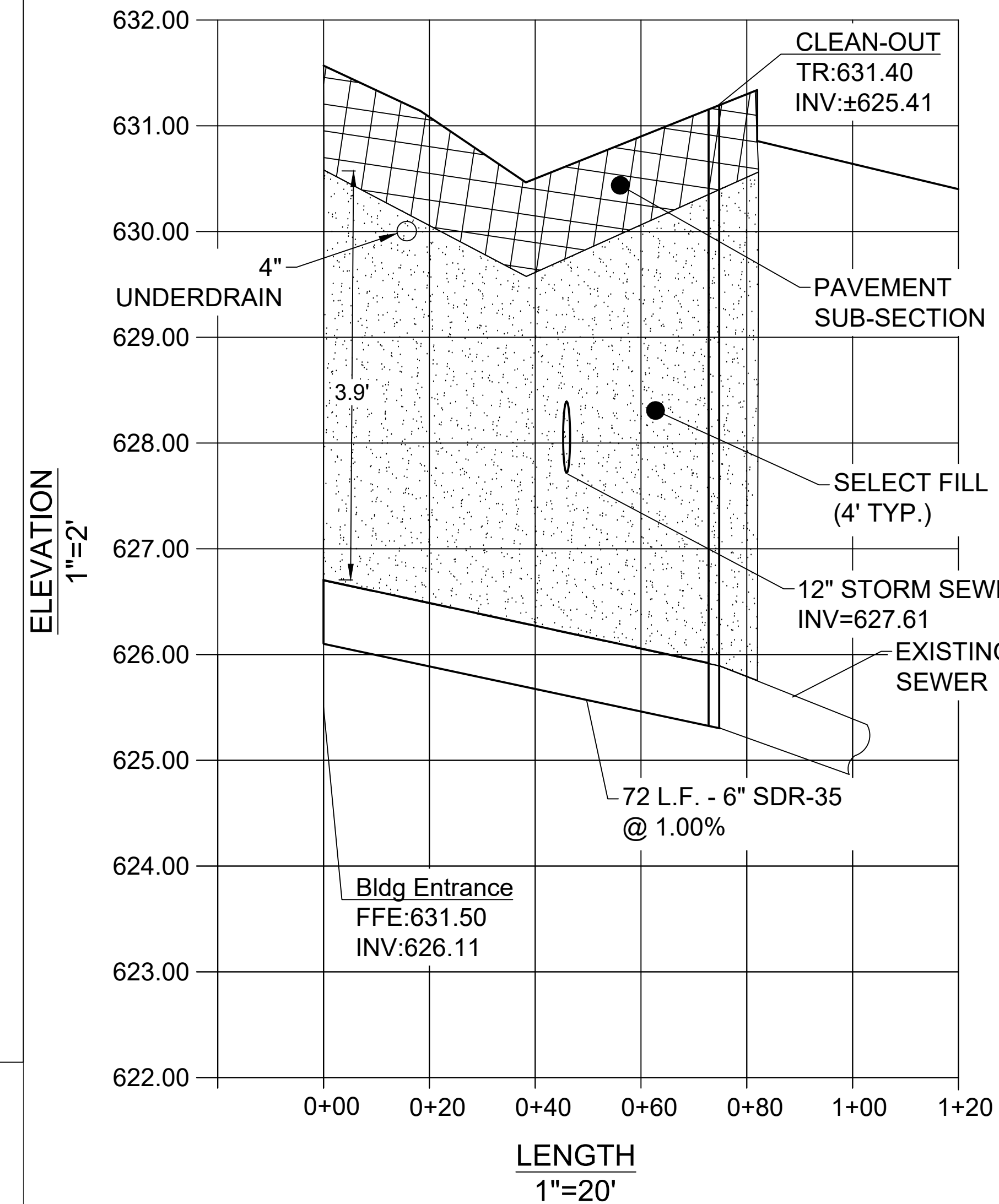
- 1. The Erie County Division of Sewerage Management (DSM), who operates and maintains the existing sewer lines and appurtenances within Erie County Sewer Districts (ECSD), is to be notified at least 48 hours in advance of the start of construction.
- 2. Construction shall be in accordance with the Rules and Regulations for Erie County Sewer Districts.
- 3. All permits required by the Federal, State, County, City and/or Town governments to perform work must be obtained prior to the start of work, and paid for by the Contractor.
- 4. If easement and/or Out of District Agreements are required, they must be complete and ready to be filed before the project will be approved for construction.
- 5. The contractor shall comply in all respects to the Industrial Code Part (Rule No.) 53 relating to construction, excavation, and demolition operations at or near underground facilities, as issued by the State of New York Department of Labor, Board of Standard and Appeals.
- 6. The construction of the sanitary sewer facilities shall be under the supervision of a person or firm qualified to practice professional engineering in New York State under the Education Law of the State, whenever engineering services are required by such law for such purposes.
- 7. Where such sanitary sewer facilities are under the supervision of a professional engineer, he/she shall certify to the DSM and to the applicant that the constructed facilities have been under his/her supervision and that the work has been fully completed in accordance with the approved engineering reports, plans, specifications, and approvals.
- 8. Operation shall be in full compliance with OSHA Standards and satisfy all Federal, State and Local Health and Safety Regulations.
- 9. The Contractor is advised a trench shield and/or shoring designed in accordance with OSHA Standards shall be used in all open trench excavations.
- 10. Any contractor and/or plumber performing work in a confined space (i.e. manholes, wetwells, and chambers) owned by an Erie County Sewer District, must certify to the County that they have their own Confined Space Entry Program that meets or exceeds OSHA's regulations. Certification must be notarized by a notary public.
- 11. The contractor shall expose existing utilities ahead of the pipe laying operation, so if minor adjustments must be made in the pipe elevation and/or alignment due to interference from these utilities, said changes can be made in advance of the work.
- 12. The contractor shall retain the services of a qualified tree expert to remove, where necessary, branches which interfere with the construction operation, or to repair tree shaving suffered damage by construction activities. The cost involved is to be included in the various items of the contract.
- 13. The proposed 8 through 12 inch diameter sanitary sewer pipe shall be polyvinyl chloride(PVC) sewer pipe conforming to the latest revisions of American Society for Testing and Materials (ASTM) designation D-3034, SDR-35, installed in accordance with the ASTM designation D-2321-83a or the latest revision thereof, or approved equal. Larger diameter pipes will be reviewed on a case by case basis.
- 14. Sewers shall be laid with straight alignment between manholes and shall be checked by using a laser beam or lamping.
- 15. Should a fluid condition be encountered at the trench bottom, the contractor is to undercut the trench and provide suitable fill material (stone& fabric) to stabilize the trench bottom.
- 16. Sanitary sewer bedding material shall be No. 1 crushed stone with a gradation conforming to the DSM Specifications for Subdivisions and Sanitary Sewer Extensions.
- 17. Backfill shall be of a suitable material removed from the excavation except where other material is specified. Debris, frozen material, large clods or stones, organic matter, or other unstable materials shall not be used for backfill within two (2') feet of the top of the pipe.
- 18. All pipes crossing under paved areas are to be backfilled to sub-grade with compacted select material (No. 2 crushed stone) to five(5') feet outside the pavement edges or as required by the highway permit. If any proposed sewer runs under paved areas and has less than four (4) feet of cover, then concrete encasement is required as shown on the DSM Typical Concrete Encasement Detail.
- 19. Sewers parallel to watermains -Ten State Standards, Latest Edition, Chapter 30, Section38.31, and Page 30-11:Sewers shall be laid at least ten (10') feet (three (3) meters) horizontally from any existing or proposed water main. The distance shall be measured edge to edge. In cases where it is not practical to maintain a ten (10') foot separation, the appropriate reviewing agency may allow deviation on a case-by-case basis, if supported by data from the design engineer. Such deviation may allow installation of the sewer closer to a water main, provided that the water main is in a separate trench or on an undisturbed earth shelf located on one side of the sewer and at an elevation so the bottom of the water main is at least 18-inches (460 mm) above the top of the sewer. If it is impossible to obtain proper horizontal and vertical separation as described above, both the water main and sewer must be constructed of slip-on or mechanical joint pipe complying with public water supply design standards of the regulatory agency and be pressure tested to 150 pounds per square inch(psi) (1034 kPa) to assure water tightness prior to backfilling.
- 20. Sewers crossing watermains -Ten State Standards, Latest Edition, Chapter 30, Section38.32, Page 30-11 to 30-12:Sewers crossing water mains shall be laid to provide a minimum vertical distance of 18-inches (460 mm) between the outside of the water main and the outside of the sewer. This shall be the case where the water main is either above or below the sewer. The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the water main joints. Where a water main crosses under a sewer, adequate structural support shall be provided for the sewer to maintain line and grade.
- 21. When it is impossible to obtain proper horizontal and vertical separation as stipulated above, one of the following methods must be specified:
  - a. The sewer shall be designed and constructed equal to water pipe, and shall be pressure tested at 150 psi (1034 kPa) to assure water tightness prior to backfilling.
  - b. Either the water main or the sewer line maybe encased in a watertight carrier pipe which extends ten (10') feet (three (3) meters) on both sides of the crossing, measured perpendicular to the water main. The carrier pipe shall be of materials approved by the regulatory agency for use in water main construction.
  - c. The sewer shall be encased in concrete per the DSM Watermain Crossing Detail Typical For Encasement
- 22. The manhole covers are to bear the inscription "ECSD SANITARY" and comply with the DSM Standard Frame and Cover detail. For private projects the covers shall bear the inscription "SANITARY SEWER" and comply with the DSM Standard Frame and Cover (Private Sewer) detail.
- 23. Building sanitary sewer vents must be installed six (6) inches above finished grade in a grassy area with a mushroom cap. If the vent is in a sidewalk or paved area, then protect with 6" diameter bollards (2 minimum).
- 24. Cleanouts (c.o.) are required on 4" and 6" building sewers every fifty feet and one hundred feet respectively, and at every change of alignment.
- 25. Abandoned building sewer connections from the site, if any, require proof of a District Permit for Disconnection prior to the new connection being made.



**ERIE COUNTY SEWER DISTRICT GENERAL NOTES CONTINUED**

- 26. The following pertains only for direct replacement of in service sanitary sewers:
  - a. Each new pipe joint shall be ultrasonic tested after it is laid, but before the next pipe is laid. All tests shall be in accordance with the testing equipment manufacture recommendations.
  - b. The ultrasonic test shall be performed in lieu of the hydrostatic and air tests.
  - c. A video inspection of the entire sewer shall be performed. Forward the video inspection tape and related paperwork to DSM for review and approval.
  - d. A deflection testis required in all cases.
- 27. For all sanitary sewer installations, a written certificate of construction completeness and compliance, including the results of the hydrostatic leakage test, lamp test, deflection test, air test, etc. shall be submitted to the Erie County Health Department and DSM within thirty (30) days after completion of construction.
- 28. For all public and private 8" diameter pipe or larger sanitary sewer installations, the developer/contractor must provide one (1) set of record drawings on "D" size paper (24"x 36") and in an electronic file format (CD or flash drive) compatible with the latest AutoCAD release.
- 29. All public sewer extension projects that consist of more than 750 LF of 8" diameter pipe or larger, shall furnish a 2 year maintenance bond to the DSM.
- 30. Final Certification will be issued upon the full completeness and compliance of the project including any requirement(s) of I&I remedial work.

**6" SANITARY SEWER PROFILE**



Revisions	2/17/25	1/31/25	Date
2	REVISIONS PER BENDERSON		
1	REVISIONS PER BENDERSON		
No.	Revision/Issue		

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES. AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

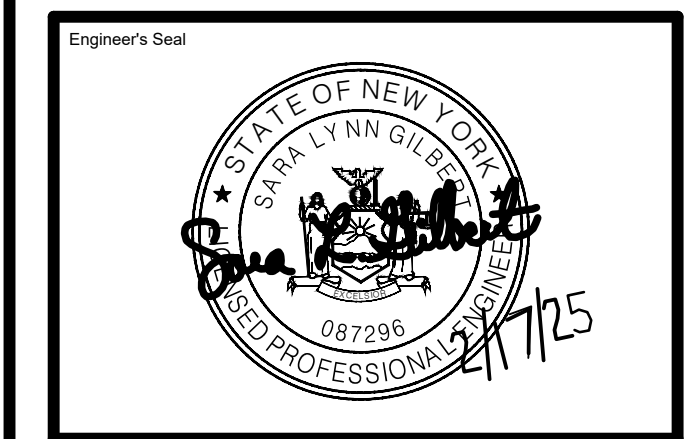
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Applicant

**BENDERSON DEVELOPMENT**

570 DELAWARE AVE. BUFFALO, NY 14202  
PHONE: (716) 866-0211 FAX: (716) 866-7781  
WWW.BENDERSON.COM

PROJECT NO: 1105



Engineer

**PWE**  
**PINEWOODS ENGINEERING**

LAND DEVELOPMENT & STORM WATER MANAGEMENT

42 Aston Villa, North Chalk, New York 14514  
Phone: (585) 361-7852

Project Name and Address

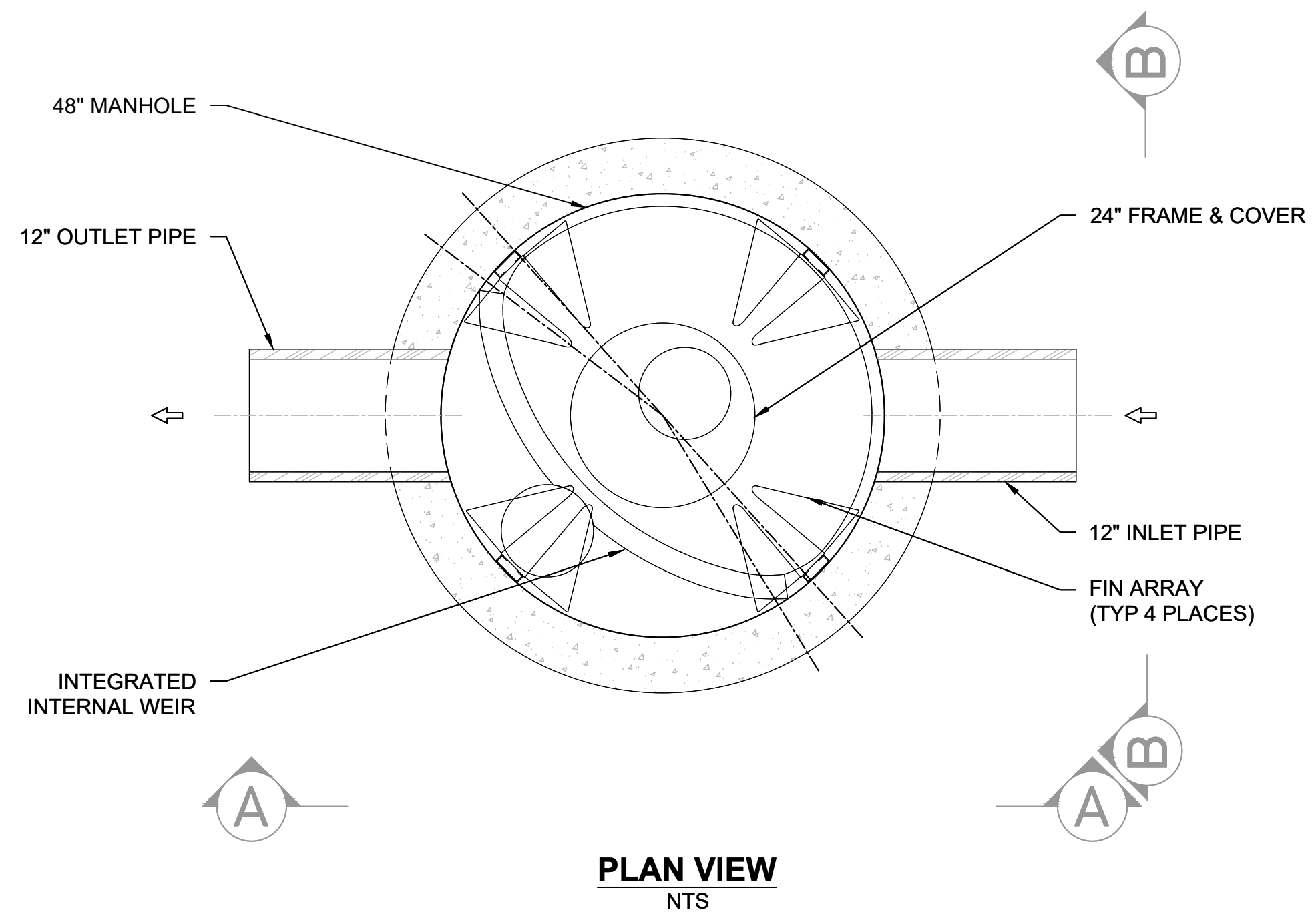
**PROPOSED RETAIL  
EASTGATE PLAZA  
5017 Transit Road  
Clarence, New York 14221**

Drawing Name

**UTILITY DETAILS - III**

Sheet	14 OF 17	Drawing Number	C-6.4
Date	12/16/2024		
Scale	N/A		

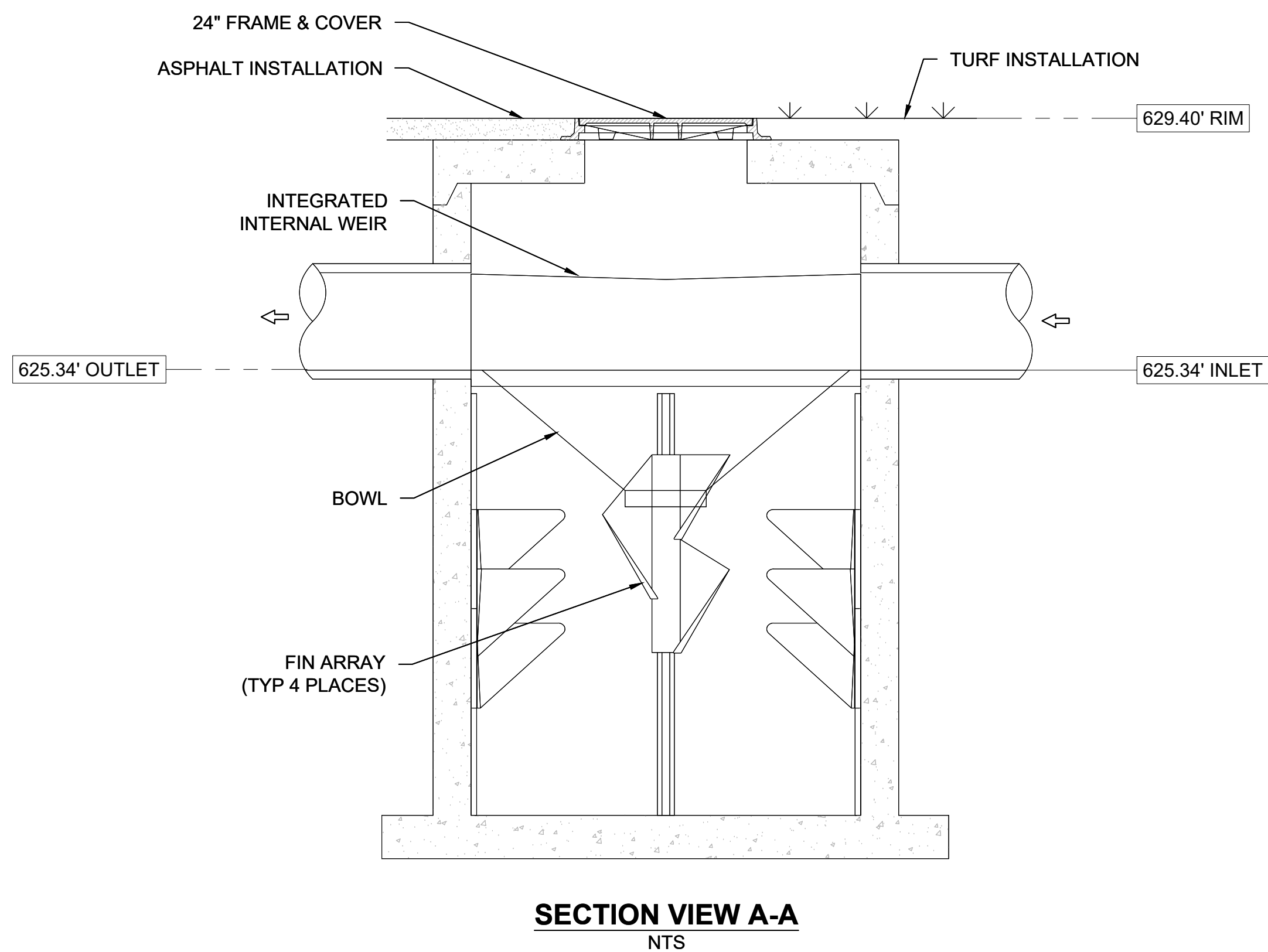




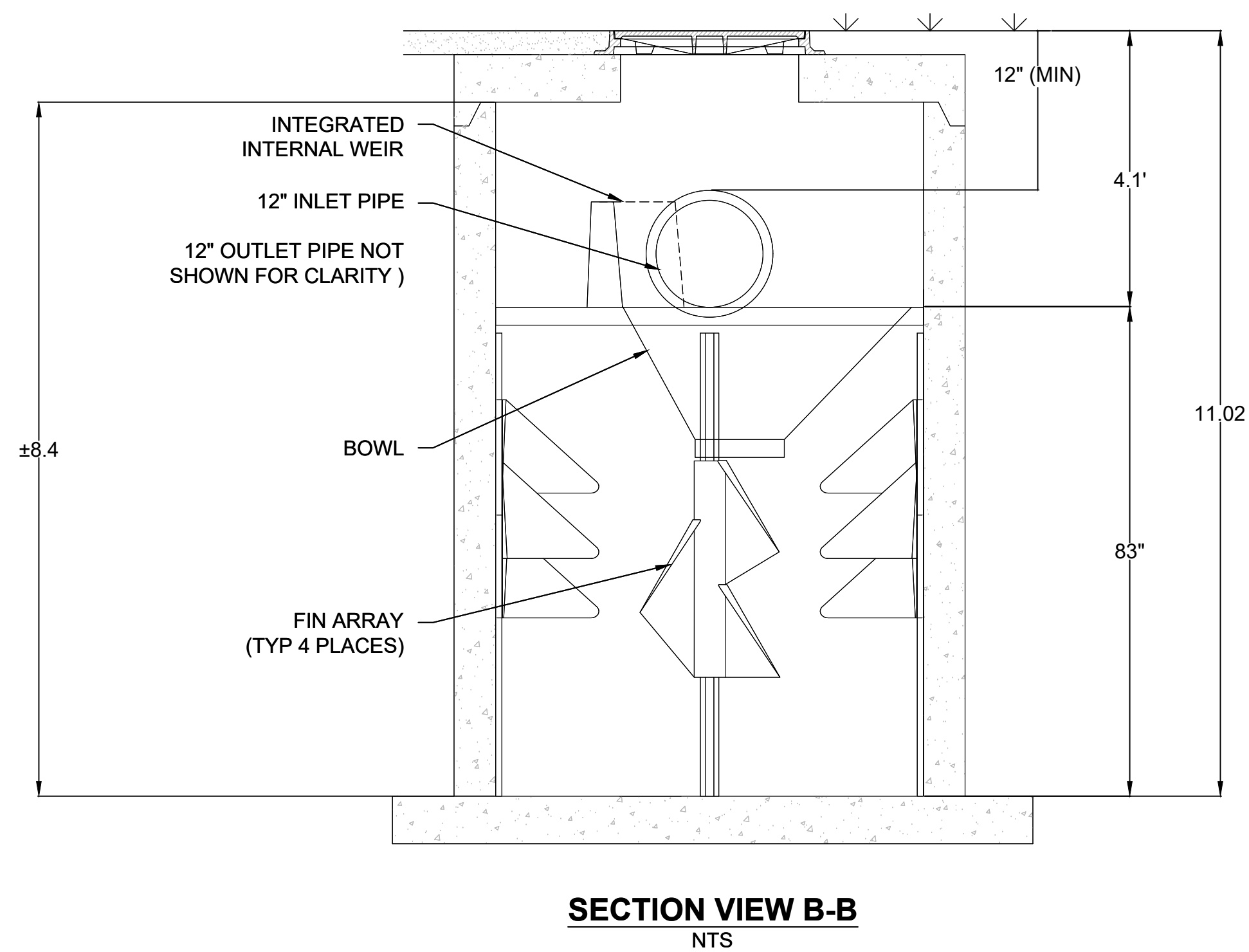
BARRACUDA	
UNIT ID	S-4
PEAK FLOW RATE (CFS)	10.5
TREATMENT FLOW RATE (CFS)	1.5

GENERAL NOTES:  
 1. General Arrangement drawings only. Contact ADS for site specific fabrication drawings.  
 2. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans).  
 3. Contractor to supply all materials and means necessary to furnish and install all parts and components of WQ Unit.  
 4. Unit to be provided within a 3-ft diameter pre-cast concrete manhole conforming to the 'Typical Manhole Detail' specifications provided in these drawings and including 6" flange in base.

**PLAN VIEW**  
NTS



**SCHEMATIC WATER QUALITY UNIT DETAIL**  
FOR REFERENCE ONLY, CONTACT ADS FOR ACTUAL DESIGN



**SECTION VIEW A-A**  
NTS

**SECTION VIEW B-B**  
NTS



1030 Deer Hollow Drive  
Mount Airy, NC 27571  
4640 TRUEMAN BLVD  
HILLIARD, OH 43026



**NOT TO SCALE**

SHEET  
OF

WATER QUALITY UNIT

DATE:

DRAWN:

CHECKED:

PROJECT #:

DESCRIPTION

REV # DWN # CKD #

1030 Deer Hollow Drive  
Mount Airy, NC 27571

1-800-BAYSAYER  
1-800-229-7283

4640 TRUEMAN BLVD  
HILLIARD, OH 43026



**NOT TO SCALE**

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SHEET  
OF

Revisions	No.	Revision/Issue	Date
	1	REVISIONS PER BENDERSON	2/17/25

**Notes & References**  
 CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-992-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION  
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Applicant

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PHONE: (716) 886-0211 FAX: (716) 886-7781  
WWW.BENDERSON.COM

Engineer's Seal

Engineer

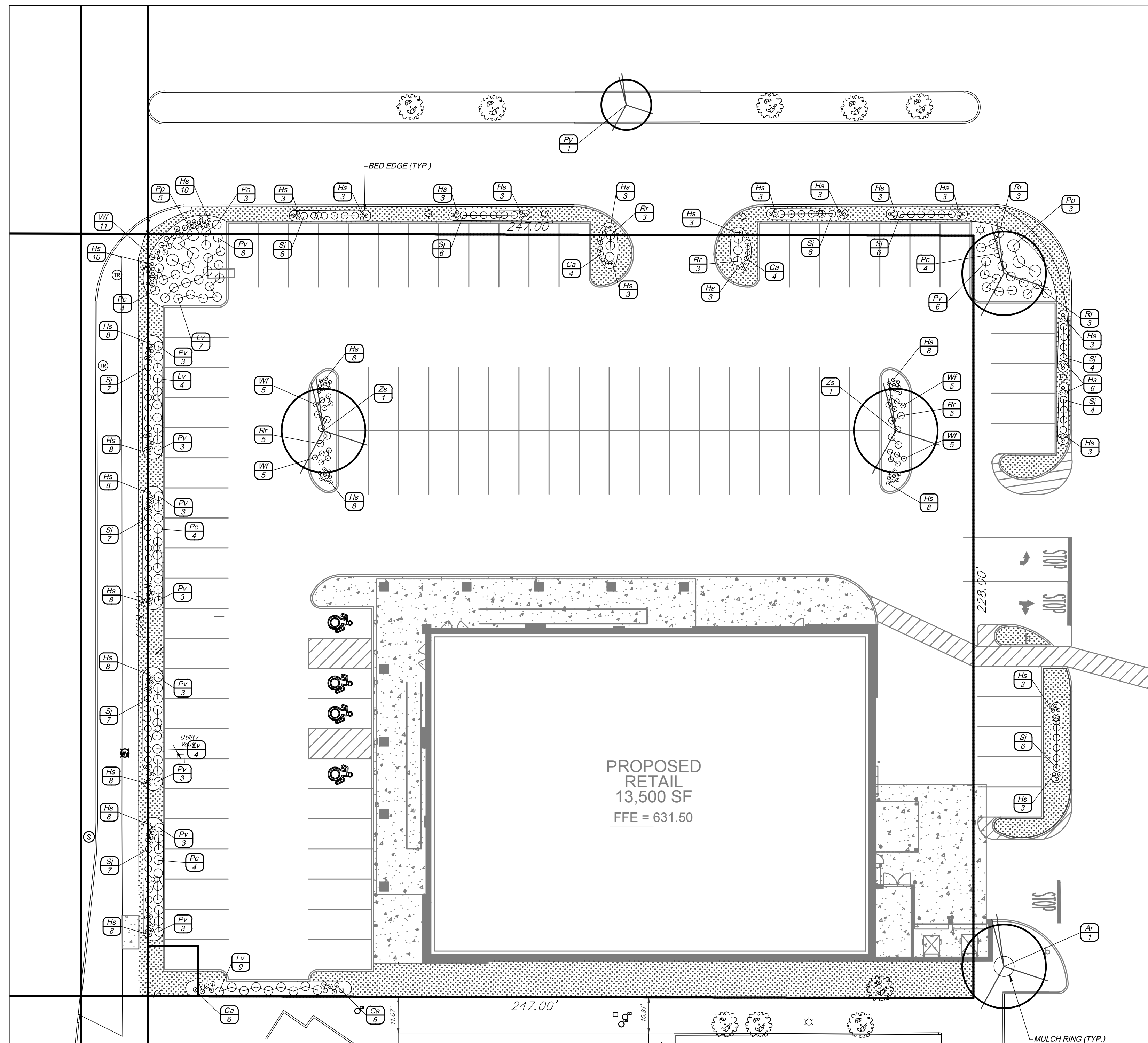
LAND DEVELOPMENT & STORM WATER MANAGEMENT  
 42 Aston Villa, North Chili, New York 14514  
 Phone: (585) 261-7852

Project Name and Address  
**PROPOSED RETAIL**  
 EASTGATE PLAZA  
 5017 Transit Road  
 Clarence, New York 14221

Drawing Name  
**UTILITY DETAILS - IV**

Sheet	15 OF 17	Drawing Number	C-6.5
Date	12/16/2024		
Scale	N/A		



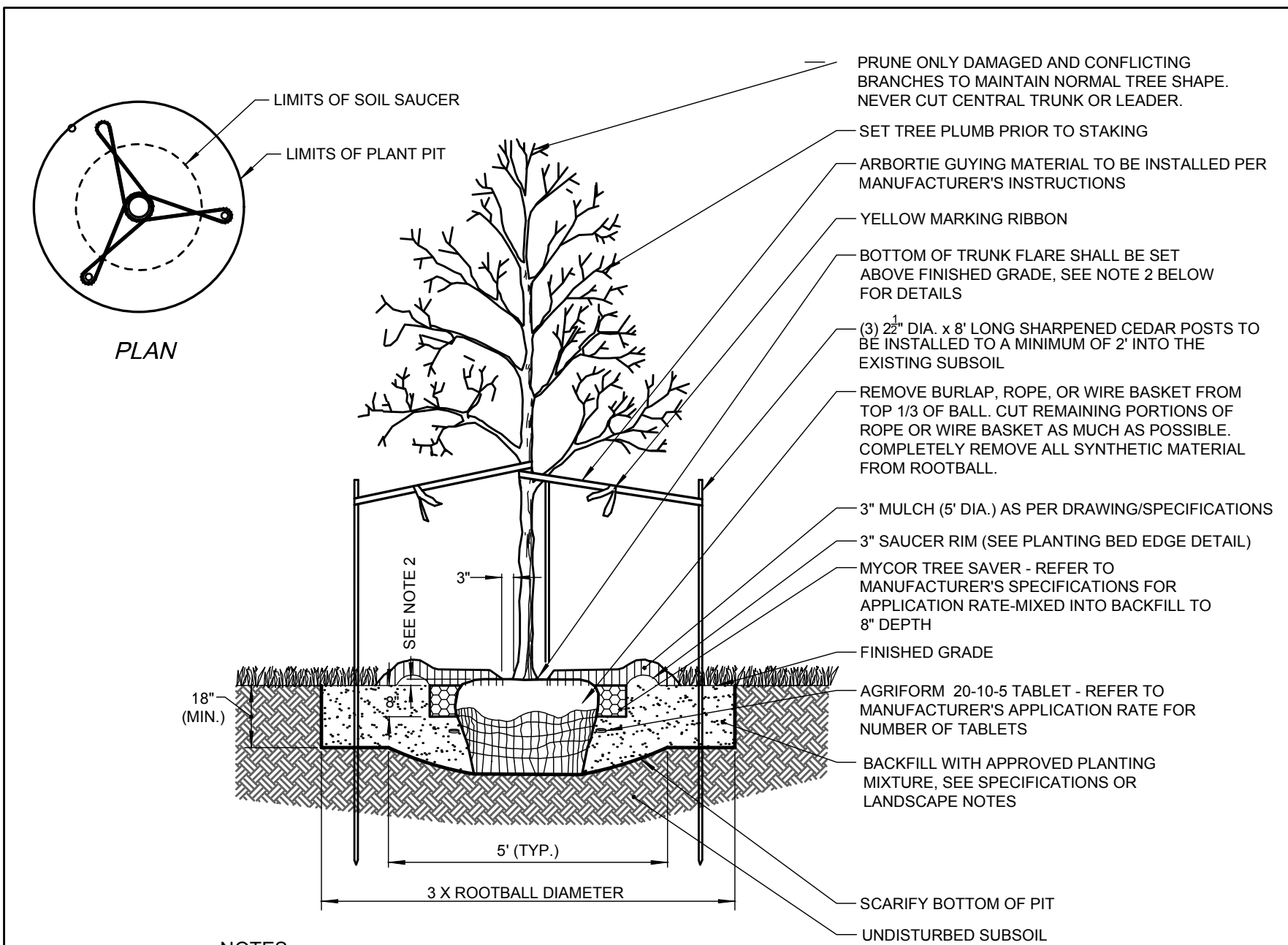


NOTE:  
ALL DISTURBED LAWN AREAS SHALL RECEIVE 4-6" TOPSOIL AND PERMANENT LAWN HYDROSEED MIX.

SEED MIX:

PURITY	%GERM	LBS/ACRE	%BY
PennTurf	Perennial Rye Grass	85	85
PennTurf	Red Fescue	80	97
Baron	and 'Midnight' Kentucky Bluegrass	80	85

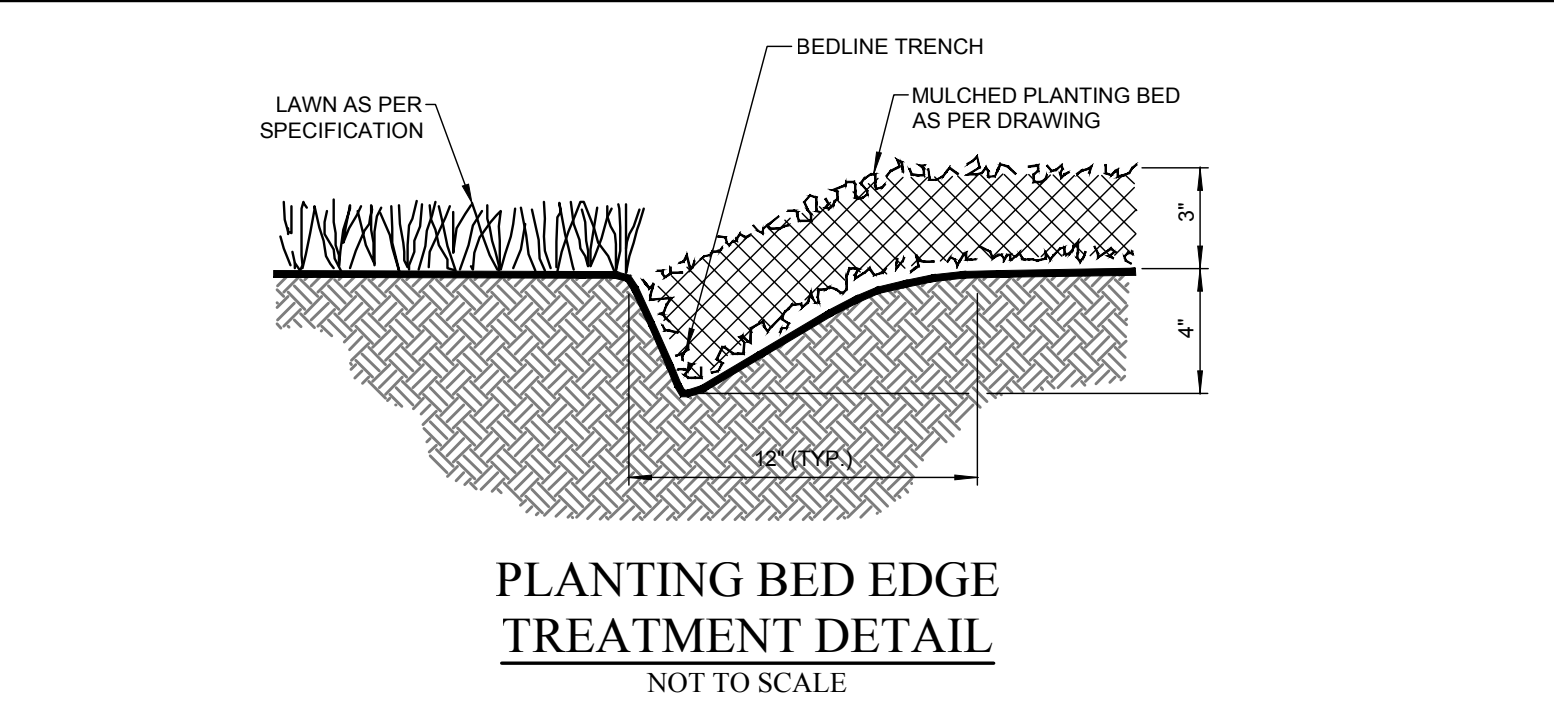
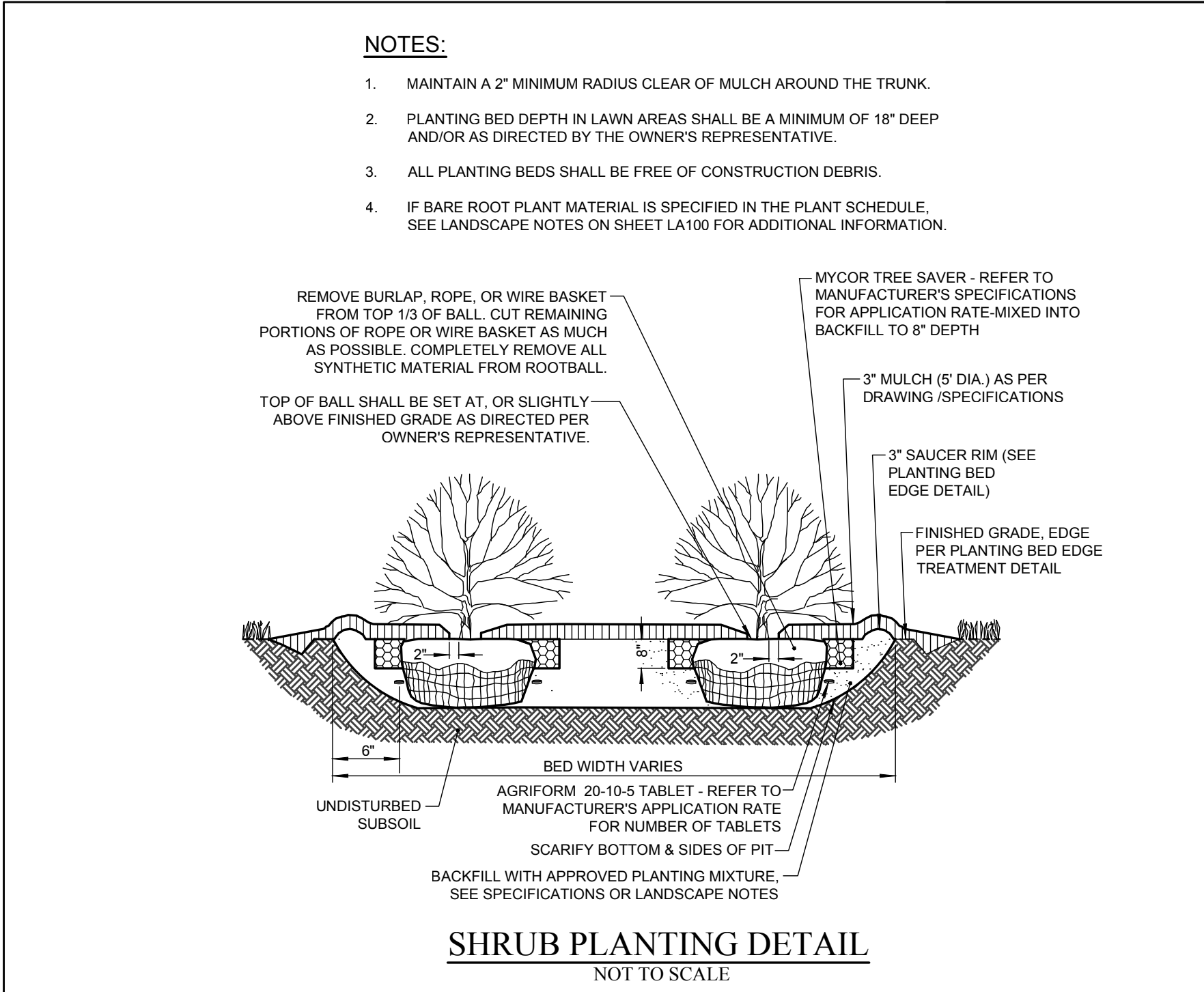
SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET  
MULCH: STRAW OR WOOD FIBER MULCH APPLIED AT THE RATE OF TWO TONS PER ACRE  
STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET  
FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED 'ARDOSTOCK' WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.



NOTES:

- MAINTAIN A 3" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
- THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:  
FOR SANDY OR LOAMY SOILS: 1"  
FOR CLAY OR POORLY DRAINED SOILS: 3"  
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.
- IF BARE ROOT PLANT MATERIAL IS SPECIFIED IN THE PLANT SCHEDULE, SEE LANDSCAPE NOTES ON SHEET LA100 FOR ADDITIONAL INFORMATION.

**DECIDUOUS TREE PLANTING LESS THAN 4" CAL. DETAIL**  
NOT TO SCALE



**LEGEND**

AREAS TO RECEIVE 4-6" OF TOPSOIL AND TO BE SEEDED WITH SPECIFIED LAWN MIX

**PLANT SCHEDULE**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
<b>DECIDUOUS TREES</b>						
1	Af	ACER X FREEMANII	JEFFERSRED MAPLE	2.5-3" CAL.	BB	HT. 40-50', SP. 30-40'
1	Py	PYRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND FLOWERING PEAR TREE	2.5-3" CAL.	BB	HT. 20-30', SP. 15-20'
3	Zs	ZELKOVA SERRATA 'GREEN VASE'	JAPANESE ZELKOVA	2.5-3" CAL.	BB	HT. 60-80', SP. 40-45'
<b>SHRUBS</b>						
24	Lv	LIGUSTRUM X VICARYI	VICARY GOLDEN PRIVET	24" HT. MIN.	CONT.	HT. 8-10', SP. 8-10'
19	Pc	PRUNUS X CISTERNA	STAY CLASSY PURPLE LEAF SAND CHERRY	24" HT. MIN.	CONT.	HT. 3-4', SP. 3-4'
8	Dp	PICEA PUNGENS 'GLAUCA GLOBOSA'	DWARF GLOBE BLUE SPRUCE	24" HT. MIN.	BB	HT. 3-4', SP. 3-4'
22	Rr	ROSA 'RADCON'	PINK KNOCK OUT ROSES	24" HT. MIN.	CONT.	HT. 10-12', SP. 8-10'
65	Sj	SPIRAEA JAPONICA 'LEMON PRINCESS'	SPIREA	24" HT. MIN.	CONT.	HT. 1.5-2', SP. 2-3'
31	Wf	WEIGELA FLORIDA 'ELVERA'	MIDNIGHT WINE WEIGELA	NO.3	CONT.	HT. 1.5-2', SP. 1.5-2'
<b>GRASSES, PERENNIALS, GROUND COVERS</b>						
20	Cs	CALAMAGROSTIS X ACUTIFLORA	'KARL' FOERSTER FOERSTER'S FEATHER REED GRASS	NO. 2	CONT.	HT. 3-6', SP. 2-2.5'
170	Hs	HEMEROCALLIS 'STELLA DE ORO'	DAYLILLY 'STELLA D'ORO'	NO. 2	CONT.	HT. 1', SP. 1'
38	Pv	PANICUM VIRGATUM	PRAIRIE WINDS OCTOBER SKY SWITCH GRASS	NO. 2	CONT.	HT. 4', SP. 4'

**LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANT SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANT MATERIAL AND SHRUB-BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- ALL TREES AND SHRUBS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDNESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFLOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 6", UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY) BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ANY IRRIGATION COMPONENT DAMAGED DURING SITE OR LANDSCAPE RENOVATIONS MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF PROVISIONAL ACCEPTANCE.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED. PLANTING SOIL DEPTH SHALL BE 3" MINIMUM, AND BE FREE FROM CONSTRUCTION DEBRIS AND FOREIGN MATERIALS.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.

Revisions	No.	Revision/Issue	Date

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

**BENDERSON DEVELOPMENT**

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WWW.BENDERSON.COM

Engineer's Seal

REGISTERED LANDSCAPE ARCHITECT  
BRYAN COSTICH  
STATE OF NEW YORK  
002574

LANDSCAPE ARCHITECT

**COSTICH ENGINEERING**

• CIVIL ENGINEERING  
• LAND SURVEYING  
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14608  
(585) 458-3020

Project Name and Address

**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

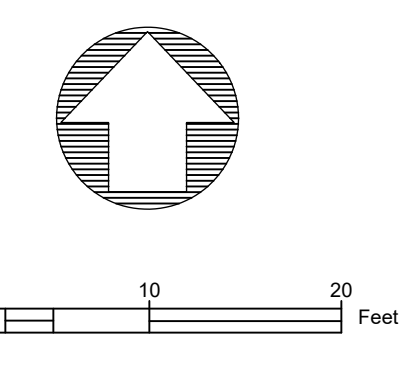
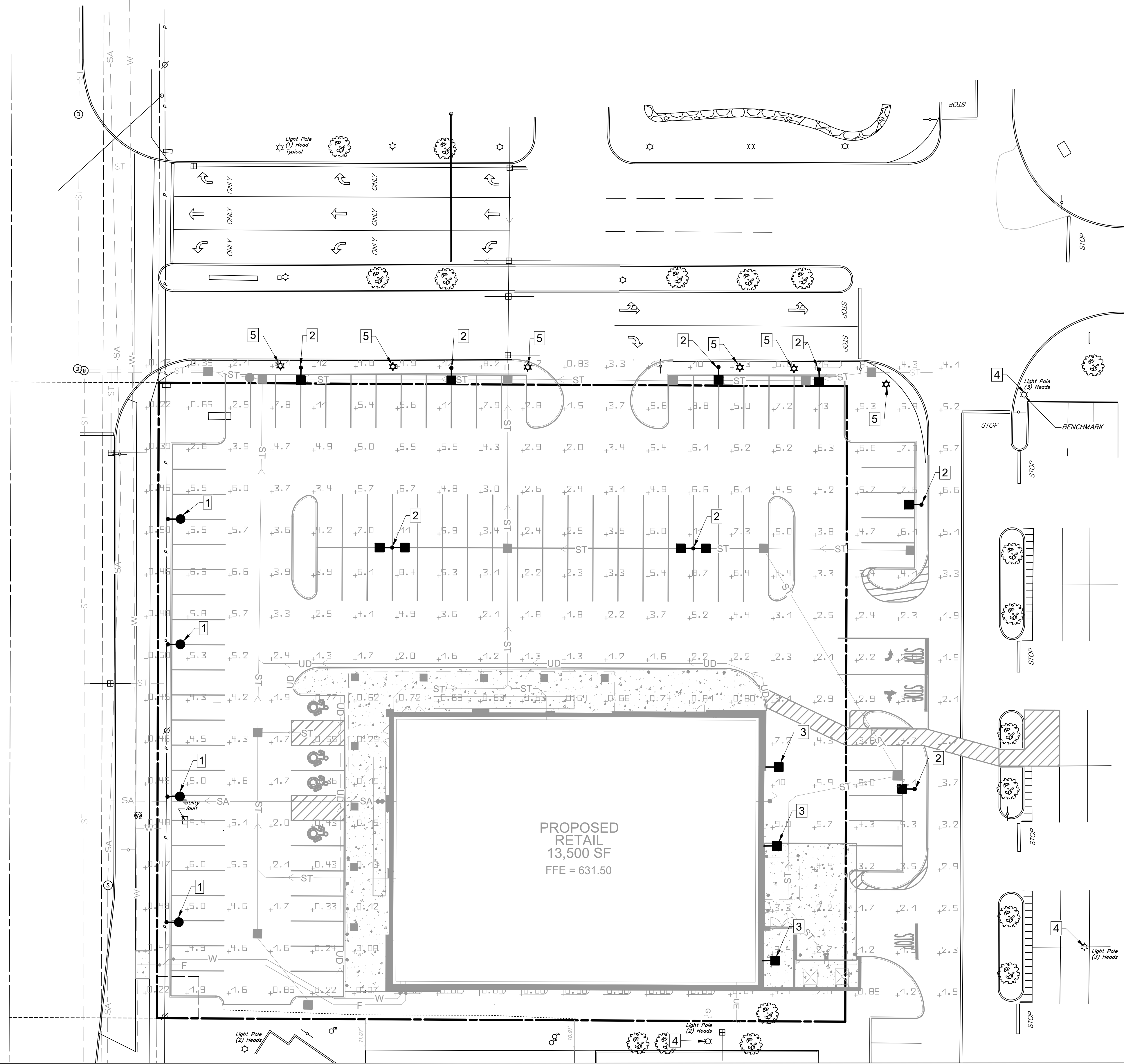
**LANDSCAPE PLAN**

Sheet: 15 OF 16  
Date: 03/03/2025  
Scale: 1" = 20'

Drawing Number: C-7.0



TRANSIT ROAD  
(120' WIDE)  
(STATE HIGHWAY 89)



#	Name	Parameter	Min	Max	Average
1	Parking Parking Area	Site FC	9.22 %	15.4 %	9.72 %

Luminaire Schedule								
Index	Key Note	Manufacturer	Luminaire type	Item number	Luminous flux	Mounting Height	Connected load	Quantity
1	●	Cree Inc	Cree OSSL-C-18 Luminaire Package, 400K, 70 CR, Type IV or Designated Street	OSSL-C-18-400K-70-02-L, W, 8L, 2P	9575 Lm	15 Ft	100 W	4
2	■	Cree Inc	Cree OSSL-C-20 Luminaire Package, 400K, 70 CR, Type IV	OSSL-C-20-400K-70-02-L	20900 Lm	25 Ft	131 W	6
3	■	Cree Inc	Cree OSSL-C-20 Luminaire Package, 400K, 70 CR, Type IV	OSSL-C-20-400K-70-02-L	20900 Lm	15 Ft	131 W	4
4	☆	Cree Inc	Cree OSSL-C-20 Luminaire Package, 400K, 70 CR, Type IV	OSSL-C-20-400K-70-02-L	9000 Lm	20 Ft	62 W	3
5	☆	Existing LED Lighting Fixture (Overhead)			24725 Lm	43 Ft		6

- LIGHTING NOTES:
- Light Pole and Fixture to be Relocated
  - New Light Pole and Fixture
  - New Light Fixture only
  - Existing Light Pole and Fixture to Remain
- \* Proposed Lighting Fixtures are Dark Sky Compliant

Revisions	No.	Revision/Issue	Date
7	7	UPDATED LIGHTING DESIGN	3/3/25
6	6	REVISIONS PER BENDERSON	2/26/25
5	5	REVISIONS PER BENDERSON	2/17/25
4	4	REVISIONS PER BENDERSON	1/31/25
3	3	REVISIONS PER BENDERSON	1/13/25
2	2	REVISIONS PER BENDERSON	1/5/25
1	1	REVISIONS PER BENDERSON	12/25/24

**Notes & References**

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PROJECT NO: 1105

Engineer's Seal

Engineer

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LAND DEVELOPMENT & STORM WATER MANAGEMENT

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Phone: (585) 261-7852

Project Name and Address

**PROPOSED RETAIL EASTGATE PLAZA**  
5017 Transit Road  
Clarence, New York 14221

Drawing Name

**LIGHTING PLAN**

Sheet	17 OF 17	Drawing Number	C-8.0
Date	12/16/2024		
Scale	1" = 20'		



March 4, 2025

Jonathan Bleuer, Director of Community Development  
Town of Clarence Planning Department  
One Town Place  
Clarence Center, NY 14031

**Re: Proposed 13,500 S.F. Retail Building  
Development Plan Technical Review #1  
5017 Transit Road  
Clarence NY 14221 (BCD Property No. 1215)**

Dear Mr. Bleuer:

Enclosed please find the updated submittal package for the above-mentioned project that addresses the previously issued comments from the Town departments. In this regard, please find enclosed the following information:

- Updated Civil Design Plans prepared by Pinewoods Engineering revision date March 3, 2025
- Updated Engineer's Report prepared by Pinewoods Engineering revised February 17, 2025
- Updated SWPPP Report prepared by Pinewoods Engineering revised February 16, 2025

In regard to the Town comments, we offer the following responses:

**Joseph Lancellotti Comment Letter Dated February 10, 2025**

**Landscape Plan:**

1. Comment Acknowledged. An RLA has designed the landscaping and a signed and stamped plan is included within the updated plan set.

**Site Plan and Utility Plan:**

1. The proposed tap will be made by the ECWA, run to the property line and ended at a valve. As part of this work the sidewalk will need to be removed and replaced. The design plans have been updated to show this work.

**Lighting Plan:**

1. A waiver will be requested from the Planning Board to allow for light fixtures to exceed 100 watts.
2. The luminaire schedule has been revised to state that each fixture is Dark Sky Compliant.
3. The lighting plan has been updated to reduce the light levels along Transit Road to 0.5 FC or lower.



**Engineer's Report Comments:**

1. The Engineer's Report has been revised to include the 1,10- and 100-year storms pre and post discharge rate table.
2. The Engineer's Report has been revised to include the storm sewer pipe sizing calculations.
3. The Engineer's Report has been revised to include sanitary sewer calculations and a flow rate for the sprinkler system. A separate submittal will be made for the final sprinkler system design.

**SWPPP Comments:**

1. The SWPPP has been revised to reference GP-00-25-001
2. Comment Acknowledged.

**Approvals:**

1. Comment Acknowledged. A copy of the ECDSM approval will be provided under separate cover.
2. Comment Acknowledged. A copy of the ECWA approval will be provided under separate cover.

**Joseph Saletta Comment Letter Dated February 10, 2025**

1. The northern entrance has been increased to 24 ft wide, allowing for fire apparatus access.
2. All portions of the building are within 600 ft of the closest fire hydrant and a separate plan showing the fire hydrant locations and distance to building has been added to the design set of plans.

If you have any questions or further comments, please do not hesitate to contact either Courtney Adamo at (716) 878-9630 or myself at (716) 878-9397.

Thank you,  
**BENDERSON DEVELOPMENT COMPANY, LLC**



Matthew J. Oates, P.E.  
Director, Engineering



T.O. TOWER 31'-0"

T.O. CORNICE 22'-6"

























# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

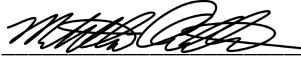
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				



5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest    Agricultural/grasslands    Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban    Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: _____ Signature:  Title: _____		



Project:

Date:

***Short Environmental Assessment Form  
Part 2 - Impact Assessment***

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		



Project:

Date:

### ***Short Environmental Assessment Form Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)



## **EAF Part 3b Reasons Supporting this Determination:**

### **5017 Transit Road – Retail Grocery Store**

**03-19-2025**

The “Project Site” is located at 5017 Transit Road (SBL: 70.05-2-10.1), consists of +/- 1.3 acres of land, and is zoned as Major Arterial (“MA”) pursuant to the Town of Clarence Zoning Map. The “Proposed Project” involves the demolition of the previous restaurant on the Project Site and the construction of a 13,500 sq.ft. retail grocery store (Trader Joe’s) with associated facilities.

After a thorough review with involved and interested agencies, it has been determined that the Proposed Project will not have any potentially significant adverse impacts to the environment. Pursuant to §229-92 of the Town of Clarence Zoning Code, retail sales activities are a permitted use in the underlying zoning classification. The Proposed Project is not in sharp contrast to nearby land use patterns, which include commercial plazas and retail buildings. Clarence 2030, the Town’s Comprehensive Plan, encourages the development and adaptive reuse of commercial land in the Town of Clarence. The variety of building materials for the Proposed Project, which include brick, stone, and hardiboard siding, are keeping with the recommended design standards for the Town’s Comprehensive Plan. The Proposed Project is in keeping with the recommended land use, design guidelines, and site layout for the area.

Since the Proposed Project will result in disturbance of more than one acre of land, a Stormwater Pollution Prevention Plan (“SWPPP”) prepared by a licensed engineering firm will be required and the SWPPP will need to be reviewed and approved by the Town Engineering Department prior to site disturbance. The Proposed Project will result in physical disturbance and vegetation removal; however, this potential impact represents a small impact since construction activities will need to comply with required applicable erosion and sediment control measures. Such erosion and sediment control measures will be specified in the engineered plans to be prepared by a licensed engineering firm as well as the required SWPPP. The proposed erosion control measures will be reviewed by the Town Engineering Department during the Development Plan Application review process.

The Project Site disturbance is considered minimal due to the absence of documented environmentally sensitive features that otherwise could be negatively impacted. The Project Site is not located within or adjacent to a Critical Environmental Area (“CEA”) and does not include a known source of regulated hazardous materials detrimental to human health or environmental resources. The Project Site is not adjacent to regulated wetland, and the Proposed Project would not physically alter or encroach into any wetland. Additionally, the Project Site is not located within the 100-year flood plan. Per the letter from Lisa M. Czechowicz of the New York State Department of Environmental Conservation (“NYSDEC”) dated February 18, 2025, the Project Site was noted to be located in an archaeologically sensitive area based on information obtained through the Cultural Resource Information System (“CRIS”); however, the NYSDEC EAF Mapping Tool indicated that the Project Site is not located in an archaeologically sensitive area. The NYSDEC letter dated February 18, 2025 stated that the archaeological concern should be evaluated during the SEQRA process unless it can be verified by appropriate documentation that the Project Site had been previously significantly disturbed. The Project Site previously contained a vacant



restaurant building with associated facilities as part of an overall commercial plaza. There is no documented presence of protected, threatened or endangered species on the Project Site.

In a letter dated February 12, 2025, Mark S. Carney of the Erie County Water Authority (“ECWA”) stated that any and all new water service must be approved by the ECWA. The Project Sponsor shall obtain all appropriate permits and approvals from the ECWA for connection to existing water supply. The Project Site is located within Erie County Sewer District No. 5. Review and approval of any sanitary sewers installed is required by the Erie County Department of Sewerage Management, and said sanitary sewer system design shall be in accordance with Ten States Standards and Erie County Sewer District Rules and Regulations and Design Requirements.

In an email correspondence dated March 7, 2025, Alyssa Schoenfeldt of the New York State Department of Transportation (“NYSDOT”) stated the following:

- NYSDOT concurs with the Town of Clarence for it to act as the Lead Agency.
- Consideration should be given to removing the northern most access point (from Trader Joe’s to the internal access road). The driveway is located close to the functional area of the intersection and can negatively impact traffic operations. This should improve internal circulation and increase the efficiency of vehicles entering and exiting the plaza from Transit Road.
- A Traffic Impact Study (TIS) is required based upon the size and scope of the proposed project.
- A NYSDOT Highway Work Permit will be required for work located within the State Highway Right-of-Way.

Per the submitted site plans, EAF documents, and supporting documents from the Project Sponsor, curb cut modification to Transit Road are not part of the Proposed Project and curb cut modification permits are not required from the New York State Department of Transportation (“NYSDOT”). After review of the site plan and investigation of the existing traffic patterns within the plaza, the Town of Clarence Planning Board requested that the Project Sponsor consider designing the Project Site access point to the plaza entrance as a two-way for ingress and egress. The two-way access to the plaza entrance would allow for additional queuing, ingress, and egress options for the Project Site. Using the NYS SEQRA EAF Workbook as a guiding document, the Proposed Project will not result in a significant increase in traffic. The Project Site previously contained a former restaurant and is located within an existing commercial plaza. In an email correspondence dated February 13, 2025 from Daniel J. Ulatowski of the Town of Amherst Planning Department (“TOAPD”), it was requested that the Project Sponsor provide an accessible pedestrian route to the public sidewalk along Transit Road. In order to accommodate the pedestrian traffic accessing the Project Site, the Project Sponsor proposed a pedestrian crosswalk from the existing parking area of the plaza to the Project Site. The Project Sponsor will work with the NYSDOT for future pedestrian accesses from the Project Site to the sidewalk along Transit Road.

The Proposed Project will use a similar amount of energy compared to the previous user on the Project Site; however, the overall use of power will not exceed the amount of power currently available at the site. As part of the Site Plan review, all proposed lighting shall be dark sky compliant and shielded to ensure no light pollution or spillage will occur off site. The Proposed Project will require the creation of a landscape plan, and said landscape plan will require review and approval by the Town of Clarence Landscape Review Committee.