

PROPOSED RETAIL

EASTGATE PLAZA

5017 Transit Road

Town of Clarence, Erie County, NY

SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

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AGENCIES:

ENGINEERING DEPARTMENT
 NAME/TITLE: TIMOTHY LAVOCAT, P.E., TOWN ENGINEER
 PHONE: 716 - 741 - 8952
 E-MAIL: TLAVOCAT@CLARENCE.NY.US
 COMPANY/DEPT: TOWN OF CLARENCE ENGINEERING DEPARTMENT
 ADDRESS: 6221 GOODRICH RD., CLARENCE CENTER, NY 14032

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
 CONTACT: MATT OATES, P.E.
 PHONE: 716 - 878 - 9397

UDIG NY
 PHONE: 1 - 800 - 962 - 7962 OR (811)

REFERENCES:

REFERENCE #1: TOPOGRAPHIC SURVEY/EXISTING CONDITIONS
 PREPARED BY: TRUE NORTH LAND SURVEYING, PLLC
 DWG. SET TITLE: BOUNDARY AND TOPOGRAPHIC SURVEY
 DATE PREPARED: OCTOBER 27, 2024
 LAST REVISED:

CONTRACTOR SHALL CONTACT "UDIG NY" @
 1-800-962-7962 FOR LOCATION OF ALL
 UTILITIES, AT LEAST 7 DAYS PRIOR TO
 BEGINNING CONSTRUCTION

UTILITIES:

SANITARY SEWER
 NAME/TITLE: ERIE COUNTY SEWER DISTRICT NO. 3
 AGENCY/DEPT: ERIE COUNTY DIVISION OF SEWERAGE MANAGEMENT (DSM)
 ADDRESS: 8443 LAKE SHORE ROAD, ANGOLA, NY 14006
 PHONE: 716 - 549 - 3161

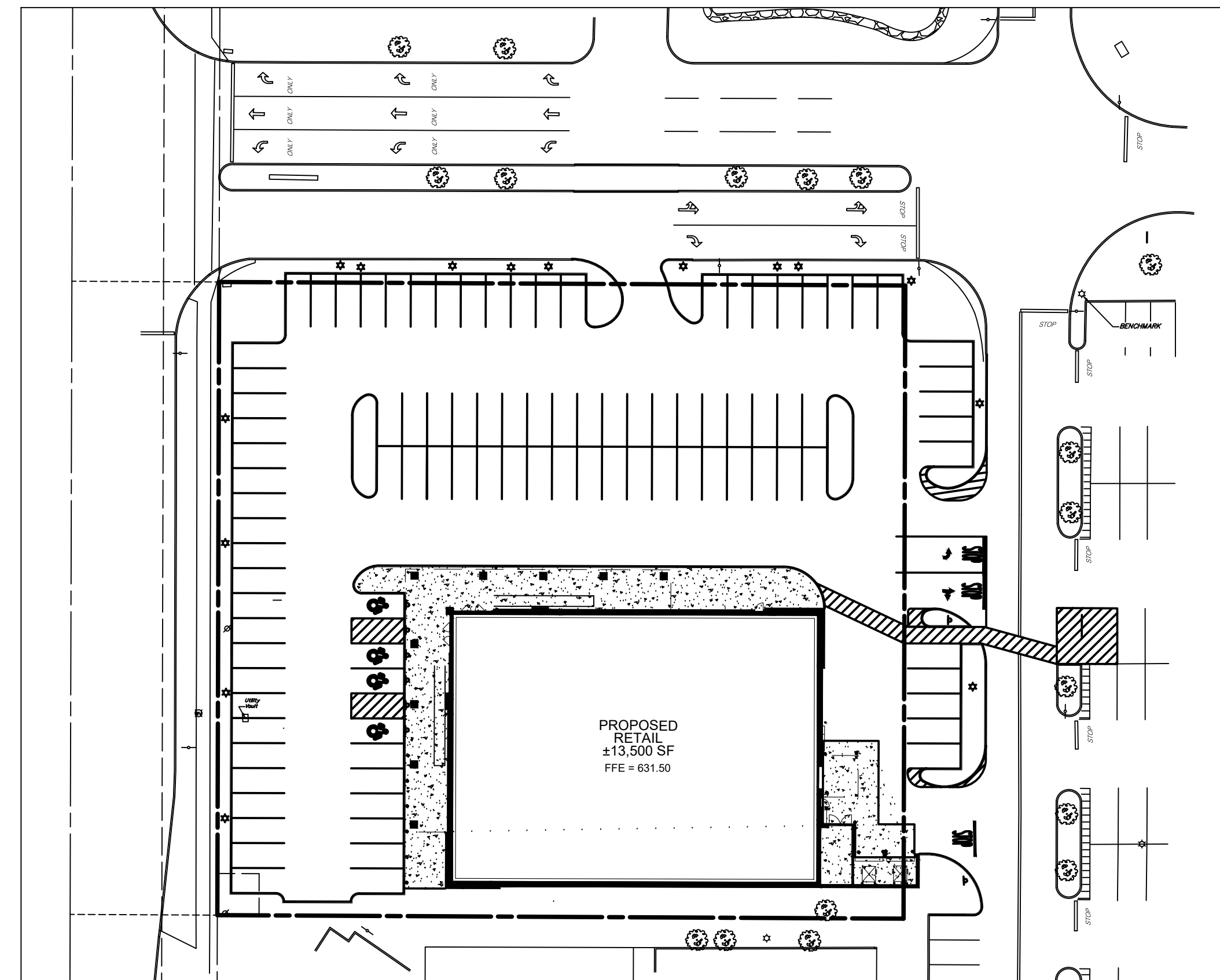
WATER DEPARTMENT
 NAME/TITLE: STEVE DENZLER
 COMPANY/DEPT: ERIE COUNTY WATER AUTHORITY
 ADDRESS: 295 MAIN STREET, ROOM 350, BUFFALO, NY 14203
 PHONE: 716 - 685 - 8289

NATURAL GAS
 COMPANY/DEPT: NATIONAL FUEL
 PHONE: 716 - 857 - 7967

TELEPHONE COMPANY
 COMPANY/DEPT: VERIZON
 PHONE: 716 - 840 - 8656

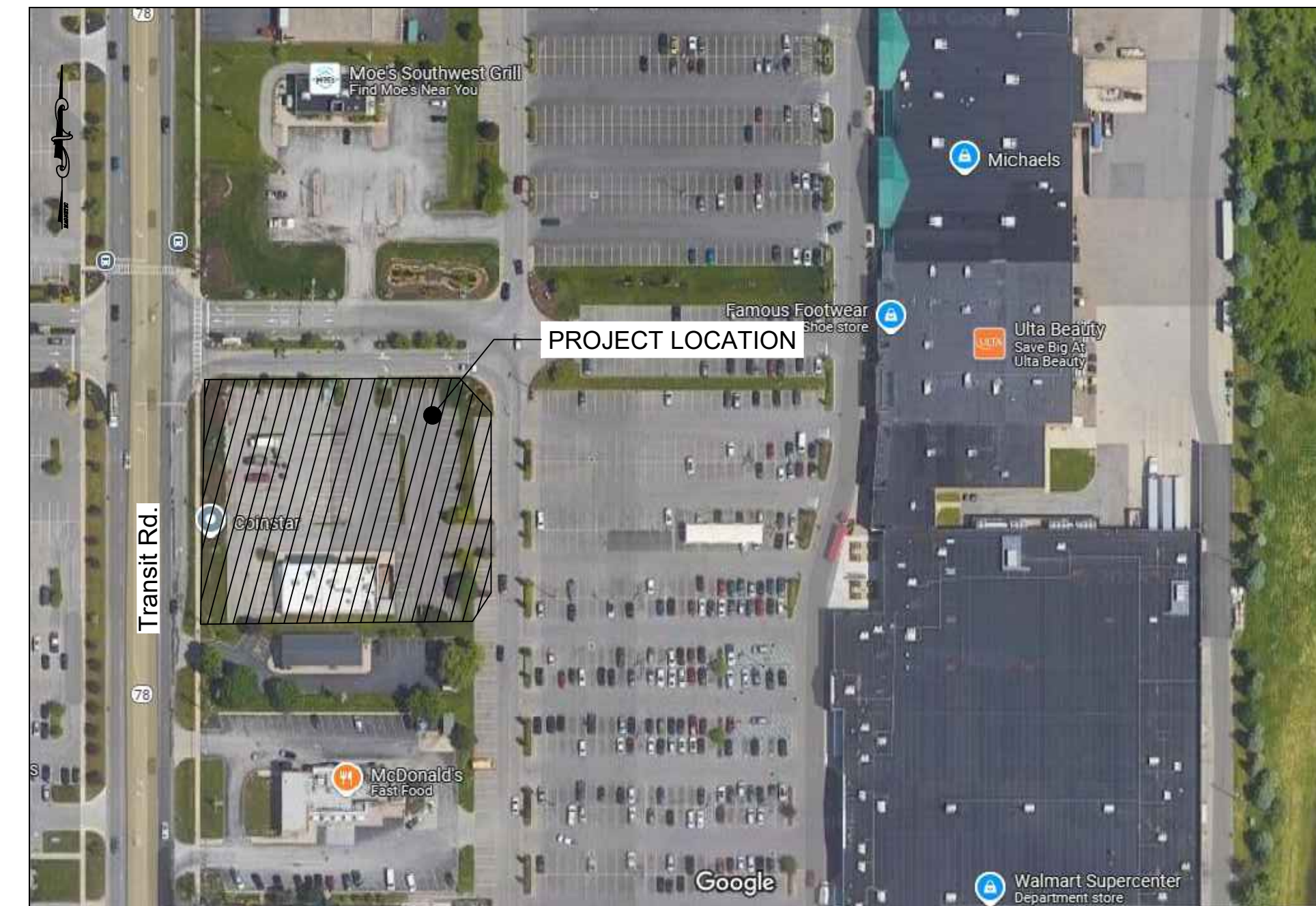
ELECTRIC
 COMPANY/DEPT: NATIONAL GRID
 PHONE: 315 - 428 - 6319

CABLE
 COMPANY/DEPT: TIME WARNER CABLE
 PHONE: 800 - 262 - 8600



PROJECT KEY MAP

Scale: 1"=40'



PROJECT LOCATION MAP

Scale: 1"=400'

Revisions	No.	Revision/Issue	Date
	3	REVISIONS PER BENDERSON	1/13/25
	2	REVISIONS PER BENDERSON	1/5/25
	1	REVISIONS PER BENDERSON	12/29/24

Notes & References
 CONTRACTOR SHALL CONTACT "UDIG NY" @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7309 OF THE STATE EDUCATION LAW
 COPYRIGHT 2024, ALL RIGHTS RESERVED

Applicant

BENDERSON DEVELOPMENT
 570 DELAWARE AVE, BUFFALO, NY 14202
 PHONE: (716) 888-0211 FAX: (716) 888-7781
 WWW.BENDERSON.COM

PROJECT NO. 1105

Engineer's Seal

Engineer

PWE
PINEWOODS ENGINEERING
 LAND DEVELOPMENT & STORM WATER MANAGEMENT
 42 Aston Villa, North Chili, New York 14514
 Phone: (585) 261-7852

Project Name and Address

PROPOSED RETAIL
EASTGATE PLAZA
 5017 Transit Road
 Clarence, New York 14221

Drawing Name

COVER SHEET

Sheet	1 OF 16	Drawing Number	C-1.0
Date	12/16/2024		
Scale	AS NOTED		

GENERAL NOTES (APPLICABLE TO ALL DRAWINGS IN SET)

- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
- SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
- WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
- CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
- CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
- BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
- SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
- CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1 CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - POLYSEAL WB-15 NON YELLOWING X2 COATS REQUIRED (SECOND COAT AT END OF CONSTRUCTION PROJECT).
 - 11.2 EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE WR MEADOWS CS 309-25 NON YELLOWING ACRYLIC - X2 COATS REQUIRED (SECOND COAT AT END OF CONSTRUCTION PROJECT).

EROSION & SEDIMENT CONTROL NOTES

- PROJECT LIMITS OF DISTURBANCE (AS SHOWN) IS 0.97 ACRES. TOTAL SITE DISTURBANCE IS TO BE KEPT WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS AND UNDER 1.00 ACRES.
- INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
- ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
- THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION, DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
- DIRT OR DEBRIS LEFT ON PUBLIC OR PRIVATE ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
- ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLY FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, WATER QUALITY UNITS AND DETENTION SYSTEMS. SILT BUILD-UP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM PIPES, WATER QUALITY UNITS OR DETENTION STRUCTURES, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.

STORM SEWER NOTES

- WHERE *DENOTED, PRIOR TO STARTING ON SITE, CONTRACTOR TO EXPOSE EXISTING PIPE TO DETERMINE EXACT LOCATION AND TO CONFIRM CONNECTION POSSIBLE AT PROPOSED INVERT.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL PIPE LENGTHS ARE SHOWN CENTERLINE TO CENTERLINE OF STRUCTURE, ACTUAL LAYING LENGTHS WILL VARY DUE TO STRUCTURE SIZE AND SLOPE. INVERTS SHOWN ARE THE INTERSECTION OF PIPE INVERT PROFILE WITH CENTERLINE OF STRUCTURE. ACTUAL PIPE INVERTS AT STRUCTURE WALL WILL VARY DEPENDING ON PROFILE GRADE AND STRUCTURE SIZE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
- ALL ON-SITE STORM LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- ROOF DRAINS UP TO COLLECTOR PIPE TO BE UNDERTAKEN BY BUILDING PLUMBER.

GRADING NOTES:

- GRADING SHALL BE KEPT WITHIN THE LIMITS SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- CONTRACTOR SHALL PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
- TEMPORARY STOCKPILES THAT WILL REMAIN IN PLACE MORE THAN ONE WEEK SHALL BE GRADED AND PROVIDED WITH COVER CROP SEEDING.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, EXIT PORCHES, RAMPS, BUILDING DIMENSIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL UNSURFACED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ERIE COUNTY SEWER DISTRICT GENERAL NOTES FOR NON-RESIDENTIAL PROJECTS

- THE CONTRACTOR IS ADVISED A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
- ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, WET WELLS, CHAMBERS) OWNED BY ERIE COUNTY SEWER DISTRICT MUST CERTIFY TO THE COUNTY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
- CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS FOR ERIE COUNTY SEWER DISTRICTS.
- IF PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS **LESS** THAN FOUR (4) FEET OF COVER, THEN ON SITE PLAN AND PROFILE HATCHMARK AND LABEL, "SELECT FILL REQUIRED" IN AFFECTED AREAS.
- THE CONTRACTOR MUST CONTACT THE DISTRICT OFFICE 48 HOURS IN ADVANCE OF CONSTRUCTION.
- VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, THEN PROTECT WITH BOLLARDS (3 MINIMUM).
- CLEANOUTS (C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE OF DIRECTION.
- ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
- REUSE OF EXISTING BUILDING SEWERS SHALL CONFORM TO THE RULES AND REGULATIONS FOR ECSD, ARTICLE III, SECTION 304.

UTILITY NOTES

- ALL ELECTRIC, TELEPHONE, CABLE AND GAS EXTENSIONS AND SERVICE LINES TO BE COORDINATED WITH, AND CONSTRUCTED TO, THE APPROPRIATE UTILITY COMPANY AND THEIR SPECIFICATIONS.
- ALL WORK PERFORMED IN TRENCHES SHALL COMPLY WITH OSHA STANDARDS FOR OPEN TRENCH EXCAVATIONS.
- CLEAN-OUTS SHALL BE PROVIDED ON THE SANITARY SEWER LINE EVERY 100 FT AND AT EVERY CHANGE IN DIRECTION ON THE UPSTREAM SIDE.
- WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
- PROVIDE ALL FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL PIPE LENGTHS ARE SHOWN CENTERLINE TO CENTERLINE OF STRUCTURE, ACTUAL LAYING LENGTHS WILL VARY DUE TO STRUCTURE SIZE AND SLOPE. INVERTS SHOWN ARE THE INTERSECTION OF PIPE INVERT PROFILE WITH CENTERLINE OF STRUCTURE. ACTUAL PIPE INVERTS AT STRUCTURE WALL WILL VARY DEPENDING ON PROFILE GRADE AND STRUCTURE SIZE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT NUMBERS, LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT LOCATION AND NUMBER OF BUILDING UTILITY ENTRANCES.
- ALL ON-SITE SANITARY, STORM, AND WATER LATERALS SHALL BE OWNED AND MAINTAINED BY THE OWNER, EXCEPT WHERE EASEMENTS ARE SHOWN.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES ARE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- WATER SERVICE SIZE PROVIDED BY BENDERSON DEVELOPMENT COMPANY. REFER TO ARCH. PLANS FOR SIZING.
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN (10) FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- WATER SERVICE LINES SHALL PROVIDE A MINIMUM VERTICLE SEPARATION OF 18 INCHES BETWEEN THE OUTSIDES OF THE WATER AND SANITARY SEWER PIPE CROSSINGS AND JOINTS SHALL BE OFFSET TO THE GREATEST EXTENT POSSIBLE.
- PRIOR TO EXCAVATING NEAR GAS OR ELECTRIC LINES, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY.
- THE PROPOSED UTILITY WORK ON THIS SITE MAY REQUIRE WORK ON EXISTING MAINS CONTAINING ASBESTOS. ALL WORK INVOLVING MATERIALS CONTAINING ASBESTOS SHALL BE PERFORMED BY A SUBCONTRACTOR THAT IS SPECIFICALLY LICENSED BY THE NEW YORK STATE DEPARTMENT OF LABOR FOR ASBESTOS SERVICES. ALL WORK INVOLVING ASBESTOS MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, INCLUDING NEW YORK STATE DEPARTMENT OF LABOR CODE RULE 56.
- ALL OTHER REQUIRED PERMITS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF ERIE, TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.
- SANITARY AND GREASE LINES TO VENT THROUGH ROOF BY BUILDING CONTRACTOR.
- WATER SERVICE PIPE, BACKFLOW AND METERING SIZING PROVIDED BY BENDERSON DEVELOPMENT CO. VERIFICATION OF ADEQUATE PRESSURE/FLOW AT BLDG. TO BE PERFORMED BY OTHERS.
- ANY REQUIRED UTILITY PERMITS REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER.

Revisions	Revision/Issue	No.	Date

Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES. AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW
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Applicant

BENDERSON DEVELOPMENT
570 DELAWARE AVE, BUFFALO, NY 14202
PHONE: (716) 884-0211 FAX: (716) 886-7781
WWW.BENDERSON.COM

PROJECT NO: 1105

Engineer's Seal

STATE OF NEW YORK
STAN LYAN GILCHRIST
087296
PROFESSIONAL ENGINEER

Engineer

PWE
PINEWOODS ENGINEERING
LAND DEVELOPMENT & STORM WATER MANAGEMENT
42 Aston Villa, North Chili, New York 14514
Phone: (585) 361-7852

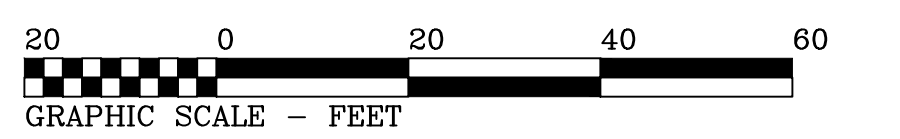
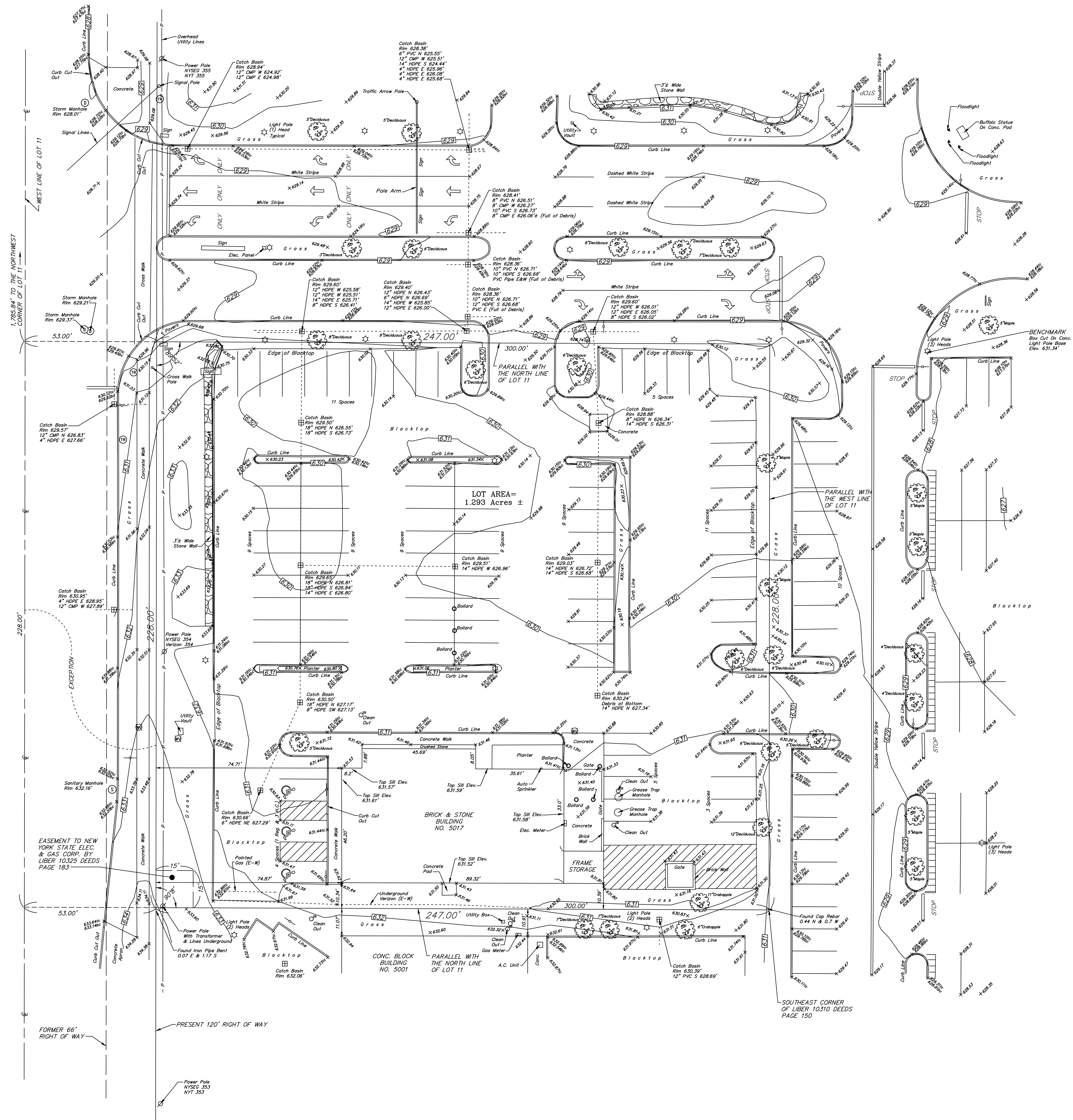
Project Name and Address

PROPOSED RETAIL
EASTGATE PLAZA
 5017 Transit Road
 Clarence, New York 14221

Drawing Name

NOTES

Sheet	2 OF 16	Drawing Number	C-1.1
Date	12/16/2024		
Scale	N/A		



LEGEND

- | | |
|-----------------------------|---------------------|
| ⊗ UTILITY / SERVICE POLE | R.O.W. RIGHT OF WAY |
| ⊗ WATER LINE VALVE | CONC. CONCRETE |
| ⊗ FIRE HYDRANT | INV. INVERT |
| ⊗ D.I. (DROP INLET - STORM) | M.H. MANHOLE |
| ⊗ MANHOLE (STORM) | — GAS LINE |
| ⊗ MANHOLE (ELECTRIC) | — WATER LINE |
| ⊗ MANHOLE (TRAFFIC) | — TELEPHONE LINE |
| ⊗ MANHOLE (SANITARY) | — ELECTRIC LINE |
| ⊗ MANHOLE (TELEPHONE) | — UTILITY LINES |
| ⊗ GASLINE MARKER | — CABLE LINES |
| ⊗ GAS LINE VALVE | D. DEED |
| ⊗ LIGHT STANDARD | M. MEASURED |
| ⊗ SIGN | L. LIBER |
| H.C. HANDICAP | P. PAGE |

UTILITIES

The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

Note: Underground Utility information has been ordered from the respective utility companies. As the information is received, this map will be amended to reflect said information.

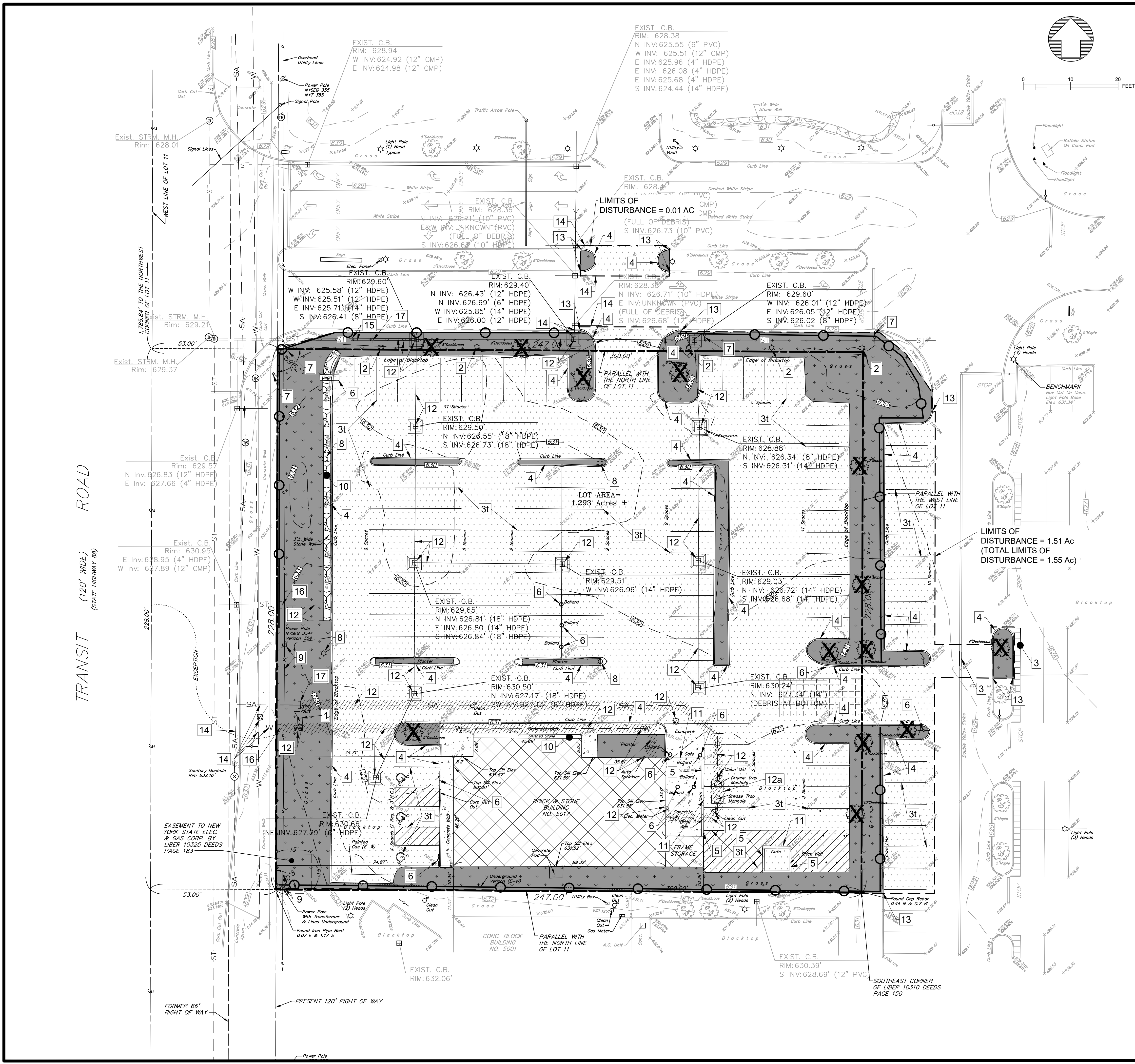
- | | | |
|--|--|--|
| National Fuel
Attn: Ed Kulpa
(716) 857-7967 | Time Warner Cable
Attn: Chris Smith
(800) 262-8600 | Verizon
Attn: Mark Granschaw
(716) 840-8656 |
| Erie County Water Dept.
Attn: Steve Denzler
(716) 685-8289 | N.Y.S. Electric & Gas
Attn: Sam Ceppaglia
(716) 651-5256 | National Grid
Attn: Roy Schultz
(315) 428-6319 |

ELEVATION DATUM

ELEVATIONS ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM:
NAD83 (2011) STONEX S900 GPS UNIT (CONUS 12B GEOD) NAVD 88 VERTICAL DATUM

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: Liber 11167 Deeds Page 7052 & Head of Search (Property #1215)
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYING ADOPTED BY THE BAR ASSOCIATION OF THE COUNTY AT THE REQUEST OF CHRISTOPHER J. BARR NYSPLS No. 050068	©COPYRIGHT 2024 BY: TRUE NORTH LAND SURVEYING, PLLC 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716) 631-5140 ~ Truenorthpllc@aol.com	AMEND: SURVEY DATE: 10-17-24 DRAWING DATE: 10-27-24 SCALE: 1" = 20' "ALL RIGHTS RESERVED" THIS MAP VOID UNLESS EMBOSSED SURVEYOR'S SEAL ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, PART 2, OF THE NEW YORK STATE EDUCATION LAW.
	BOUNDARY & TOPOGRAPHIC SURVEY PART OF LOT 11 SECTION 14 TOWNSHIP 12 RANGE 6 OF THE Holland Land Company's SURVEY - Erie COUNTY, N.Y. SURVEY OF: 5017 Transit Road, Town of Clarence	



- ### DEMOLITION NOTES LEGEND #
- 1 EXISTING VAULT TO BE REMOVED
 - 2 EXISTING LIGHT POLE TO BE RELOCATED BEHIND CURB LINE
 - 3 EXISTING STRIPING TO BE REMOVED (t-TYPICAL)
 - 4 EXISTING CURB TO BE REMOVED
 - 5 EXISTING BRICK WALL TO BE REMOVED
 - 6 EXISTING BOLLARDS/SIGNS (& FOUNDATION IF APPLICABLE) TO BE REMOVED
 - 7 EXISTING SIGN TO REMAIN
 - 8 EXISTING LIGHT POLE & FOUNDATION TO BE REMOVED
 - 9 EXISTING ELECTRIC POLE, GUY WIRES, OVERHEAD ELECTRIC WIRES AND POLE MOUNTED TRANSFORMERS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
 - 10 EXISTING STONE/BOULDERS/GRAVEL TO BE REMOVED
 - 11 EXISTING SITE FEATURE TO BE REMOVED
 - 12 EXISTING UTILITY TO BE REMOVED (SEE DEMO NOTE #5)
 - 12a EXISTING GREASE TRAP TO BE REMOVED
 - 13 LIMIT OF WORK/ASPHALT SAWCUT LINE IN PAVED AREAS/LANDSCAPE GROUND COVER/GRASS IN NON-PAVED AREAS.
 - 14 LIMIT OF CURB REMOVAL
 - 15 EXISTING UTILITY/STORM PIPE TO REMAIN
 - 16 CUT & PLUG EXISTING PIPE AT LIMITS OF WORK LINE
 - 17 CUT EXISTING PIPE FOR PROPOSED CONNECTION TO EXISTING PIPE

- ### SYMBOLY LEGEND
- EXISTING BUILDING TO BE DEMOLISHED
 - FULL-DEPTH ASPHALT REMOVAL
 - EXISTING CONCRETE TO BE REMOVED
 - EXISTING GRASS TO BE REMOVED
 - CONSTRUCTION ENTRANCE, REFER TO DETAIL
 - EXISTING PIPE TO BE REMOVED
 - LIMITS OF WORK/ASPHALT SAWCUT LINE IN PAVED AREAS
 - SILT FENCE/SILT SOCK, REFER TO DETAIL
 - INLET PROTECTION, REFER TO DETAIL
 - EXISTING TREE TO BE REMOVED

- ### ASSUMED LOCATION OF EXISTING UTILITY SYMBOLY LEGEND
- ST — STORM SEWER
 - SA — SANITARY SEWER
 - W — WATER PIPE

- ### DEMOLITION NOTES
1. PARKING BUMPERS AND PINS TO BE REMOVED IF APPLICABLE.
 2. LIGHTING AND CONDUIT WITHIN LANDSCAPE AREAS TO BE REMOVED.
 3. LANDSCAPE WITHIN THE WORK AREA TO BE REMOVED. LANDSCAPING IS NOT SHOWN IN DETAIL ON THESE DRAWINGS.
 4. ANY SIGNS AFFIXED TO POLES NOTED TO BE RELOCATED SHOULD BE CAREFULLY REMOVED AND TURNED-OVER TO THE OWNER'S REPRESENTATIVE.
 5. EXISTING UTILITY SERVICE LINES TO THE BUILDING ARE APPROXIMATE BASED ON SURFACE FEATURES. ACTUAL SERVICES MAY DIFFER IN LOCATION, LENGTH, ETC.
 6. EXISTING PLANTER AREAS TO BE DEMOLISHED MAY HAVE SUB-SURFACE LAYERS CONSISTING OF PLANTING SOIL, GRAVEL AND/OR UNDERDRAIN WHICH SHOULD ALSO BE REMOVED.

Revisions			1/5/25	Date
No.	Revision/Issue	REVISIONS PER BENDERSON	1	No.

Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-992-7962 FOR LOCATION OF ALL UTILITIES. AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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PROJECT NO. 1105

BENDERSON DEVELOPMENT

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PWE
PINWOODS ENGINEERING

LAND DEVELOPMENT & STORM WATER MANAGEMENT

42 Aston Villa, North Chili, New York 14514
Phone: (585) 361-7852

Project Name and Address

PROPOSED RETAIL EASTGATE PLAZA
5017 Transit Road
Clarence, New York 14221

Drawing Name

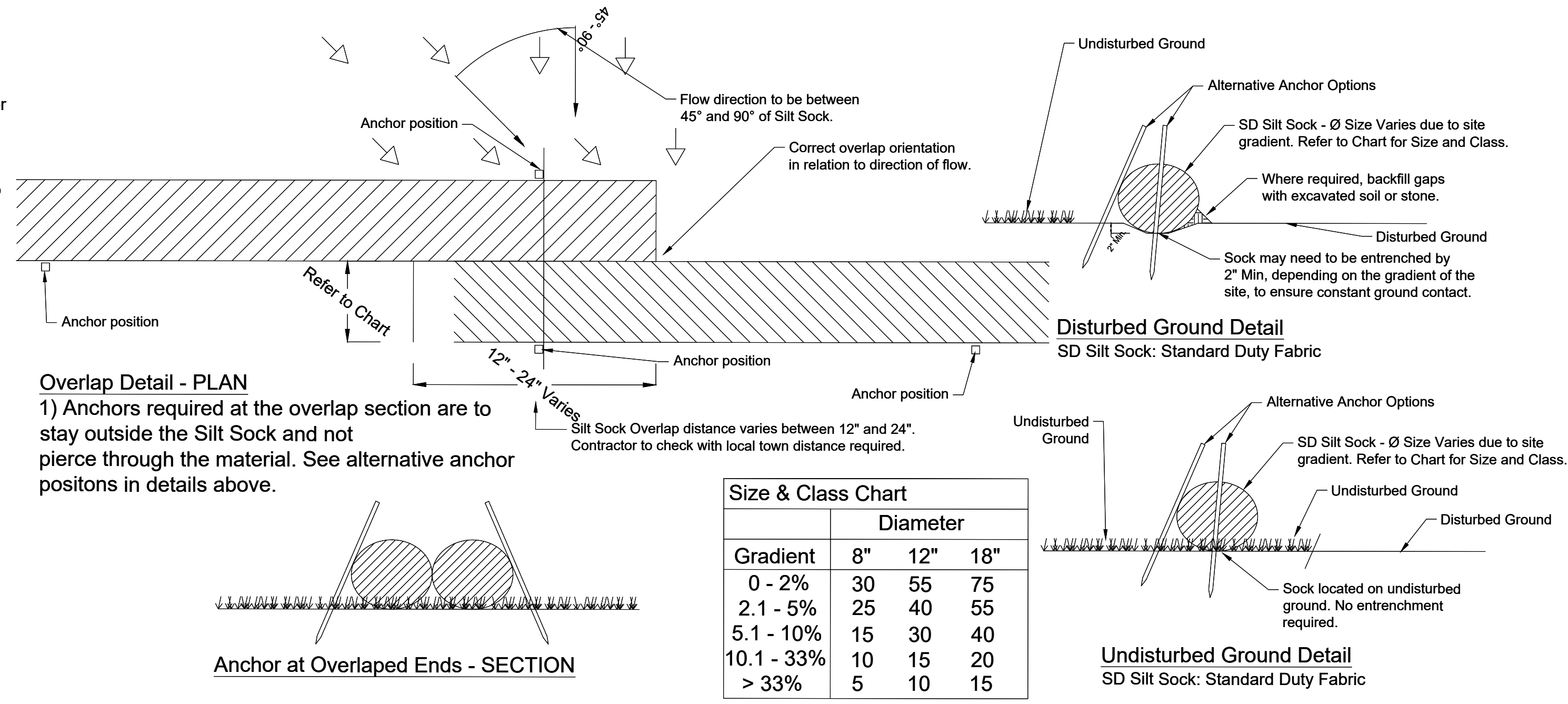
DEMOLITION & EROSION CONTROL PLAN

Sheet: 4 OF 16
Date: 12/16/2024
Scale: 1" = 20'

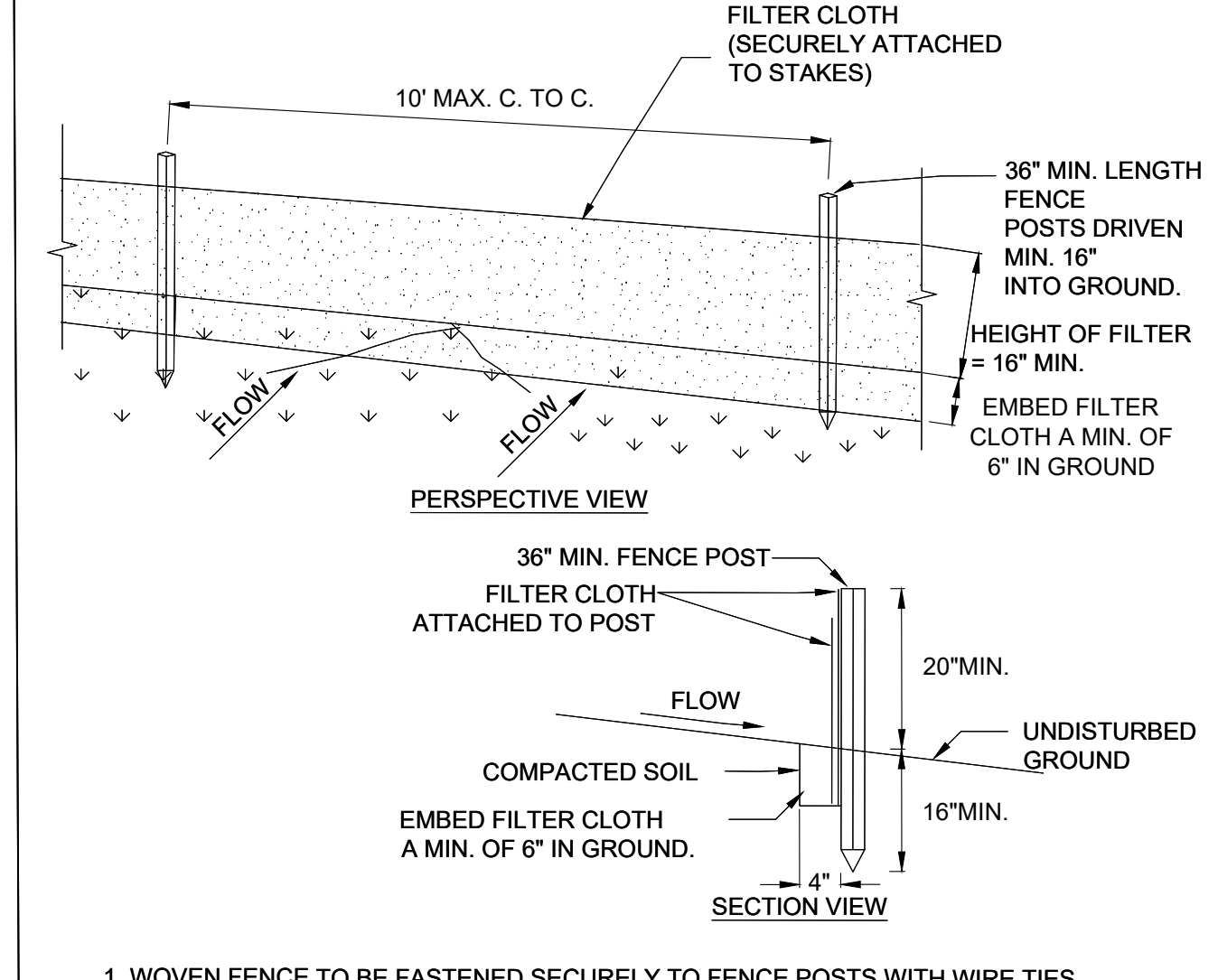
Drawing Number: **C-3.0**

Notes:

- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- 5 - All gaps and ruts must be backfilled with soil or sock material.
- 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below.
- 9 - Sock should be inspected and repaired as needed.
- 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 - Sock should be replaced when sediment has built up and has been removed three times.
- 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 - Sock should be installed before works commence on site.

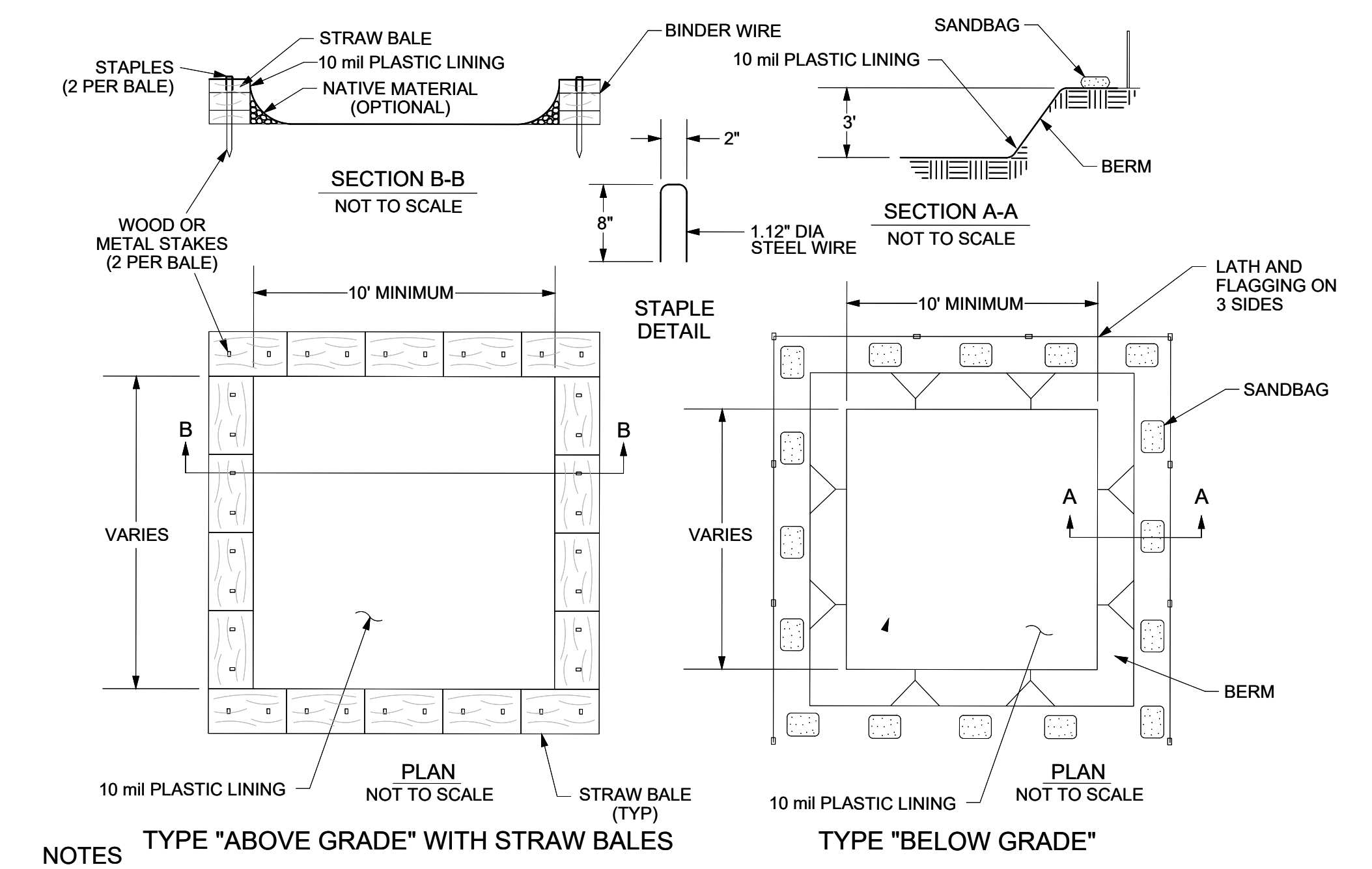


SD SILT SOCK DETAIL
SD Silt Sock: Standard Duty Fabric



1. WOVEN FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL



NOTES

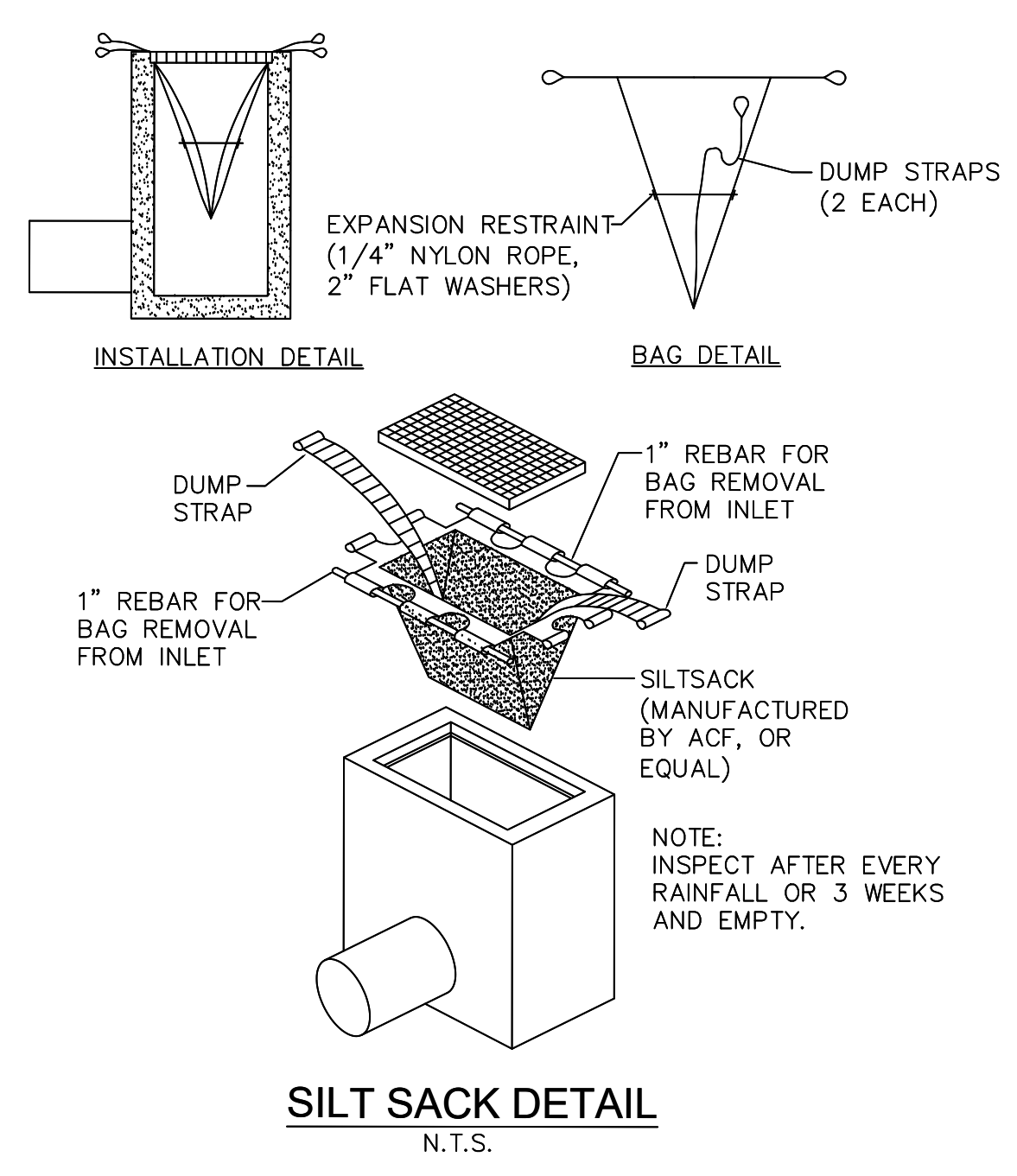
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
2. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
3. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

CAPACITY
The washout facility should be sized to contain solids, wash water, and rainfall and sized to allow for the evaporation of the wash water and rainfall. Wash water shall be estimated at 7 gallons per chute and 50 gallons per hopper of the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2 horizontal to 1 vertical.

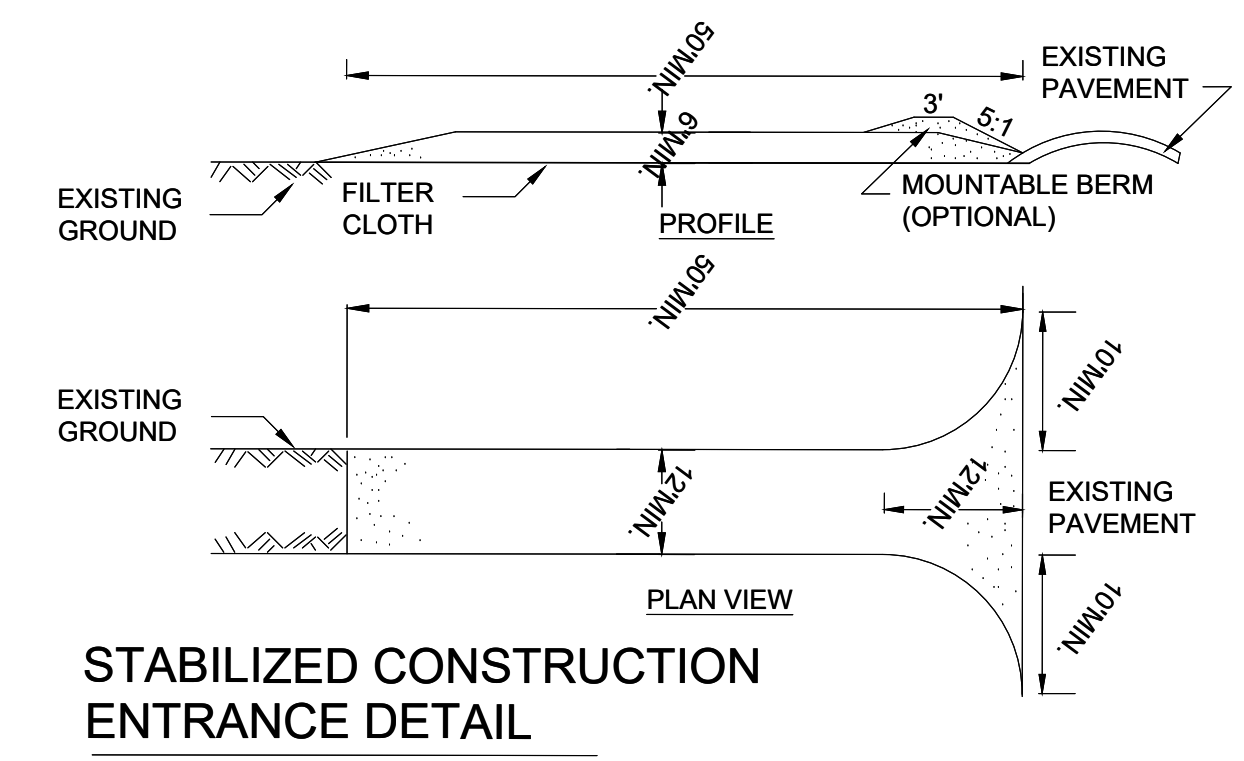
LOCATION
Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

MAINTENANCE
All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip. Accumulated hardened material shall be removed when 75% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site. Dispose of the hardened material off-site in a construction/demolition landfill. The plastic liner shall be replaced with each cleaning of the washout facility. Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.

CONCRETE WASHOUT DETAIL



SILT SACK DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE DETAIL

- NOT TO SCALE
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Revisions	Revision/Issue	No.	Date

Notes & References

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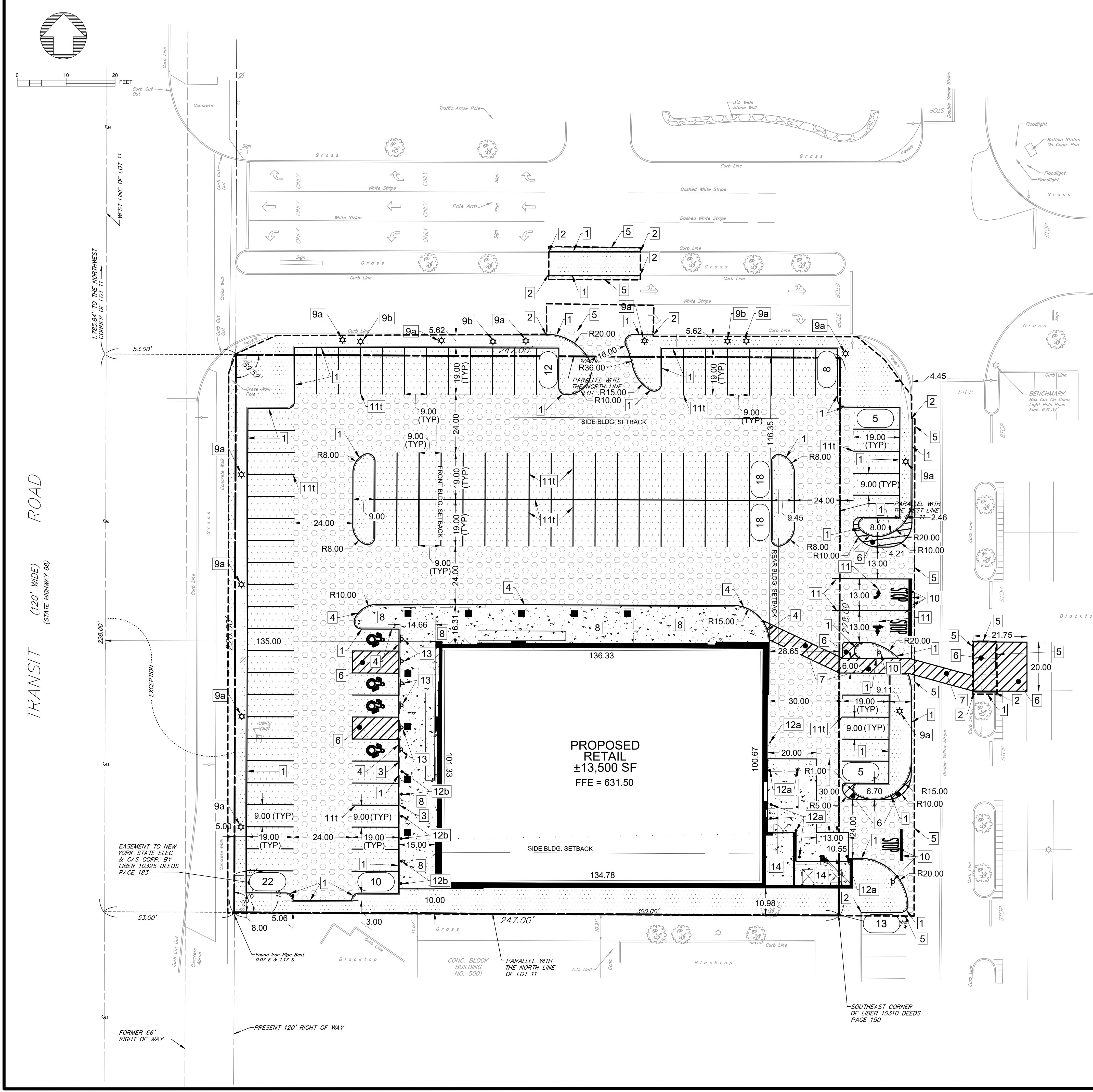
570 DELAWARE AVE. BUFFALO, NY 14202
 PHONE: (716) 886-0211 FAX: (716) 886-7781
 WWW.BENDERSON.COM
 PROJECT NO: 1105

LAND DEVELOPMENT & STORM WATER MANAGEMENT
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 Phone: (585) 361-7852

PROPOSED RETAIL
 EASTGATE PLAZA
 5017 Transit Road
 Clarence, New York 14221

EROSION CONTROL DETAILS

Sheet	8 OF 16	Drawing Number	C-3.1
Date	12/16/2024	Scale	
Scale	AS-NOTED		



TOWN OF CLARENCE, NY ZONING ANALYSIS

TAX ACCOUNT NUMBER: 70.05-2-10.1	PARCEL AREA: 1.29 AC	
ZONED: MA - MAJOR ARTERIAL DISTRICT		
ZONING REQUIREMENTS	REQUIRED	PROVIDED
MIN. BLDG. SIZE	1,000 S.F.	±13,500 S.F.
MAX. BLDG. HT.	45-FT	<35-FT
BUILDING SETBACKS:		
FRONT	135 FT ¹	135.00 FT
SIDE	25 FT	10.00 FT
REAR	25 FT	-
PARKING SETBACKS:		
FRONT	-	-
SIDE	5 FT	8.00 FT
REAR	5 FT	N/A
PARKING STALL SIZE (90°):	9' X 19'	9'x19'
PARKING STALL NUMBER:	68 ²	98
DRIVE AISLE WIDTHS:	24 FT	24 FT

¹MEASURED FROM THE CENTERLINE OF THE ROAD. CANOPY MAY ENCRoACH 12-FT INTO FRONT OR SIDE SETBACK.
²GENERAL COMMERCIAL USE, 1 PER 200 S.F. OF BUILDING AREA, BLDG: 13,500 S.F. = 67.5 (68) SPACES REQUIRED

SITE NOTES LEGEND #

- 1 PROPOSED 6" CONCRETE CURB/INTEGRAL CURB, SEE DETAIL
 - 2 MATCH INTO EXISTING CURB
 - 3a BEGIN CURB TRANSITION
 - 3b END CURB TRANSITION
 - 4 PROPOSED 0" CONCRETE CURB/INTEGRAL CURB, (NO REVEAL)
 - 5 MATCH INTO EXISTING PAVEMENT - REFER TO TRANSITION DETAIL
 - 6 PROPOSED 4" YELLOW PAVEMENT STRIPE (@ 2'C-C IN NO PARKING ZONES) (t=TYPICAL)
 - 7 PROPOSED 6-FT WIDE YELLOW PAVEMENT STRIPE (@ 2'C-C)
 - 8 PROPOSED CONCRETE PAVEMENT, SEE BUILDING AND SIDEWALK DETAIL
 - 9a NEW LIGHT POLE BASE, SEE DETAIL
 - 9b RELOCATED LIGHT POLE BASE, SEE DETAIL
 - 10 PROPOSED STOP BAR PAVEMENT MARKINGS AND STOP SIGN, SEE DETAILS
 - 11 NEW YELLOW PAVEMENT MARKING (t=TYPICAL)
 - 12a 6" BOLLARD, 4.5' TALL, SEE DETAIL (t=TYPICAL)
 - 12b 6" BOLLARD, 3.0' TALL, SEE DETAIL
 - 13 'NO PARKING' SIGN, SEE HANDICAP PARKING DETAIL
 - 14 DUMPSTER ENCLOSURE & STORAGE, REFER TO ARCH. PLANS
 - 15 SEE CONCRETE PAVEMENT DETAIL
- *ALL CURB RADII TO BE 3 FT. UNLESS OTHERWISE NOTED

SITE SYMBOLOLOGY LEGEND

- NEW PROPERTY LINE
- - - - - NEW EASEMENT
- ▭ PROPOSED BUILDING
- ▭ PROPOSED BUILDING CANOPY
- NEW 6" CONCRETE CURB (TYPICAL)
- NEW PARKING STRIPE
- ⊕ PROPOSED SITE SIGNS
- PROPOSED/RELOCATED LIGHT POLE
- 8 PARKING ROW STALL COUNT
- NEW CONCRETE PAVEMENT
- ▨ NEW FULL-DEPTH STANDARD DUTY ASPHALT PAVEMENT
- ▩ NEW FULL-DEPTH HEAVY DUTY ASPHALT PAVEMENT
- LAWN/LANDSCAPE AREA

Revisions	No.	Revision/Issue	Date
	3	REVISIONS PER BENDERSON	1/13/25
	2	REVISIONS PER BENDERSON	1/5/25
	1	REVISIONS PER BENDERSON	12/25/24

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PROJECT NO: 1105

Engineer's Seal

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 SANI LYNN GILBERT
 087296
 PROFESSIONAL ENGINEER

Engineer

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LAND DEVELOPMENT & STORM WATER MANAGEMENT
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 Phone: (585) 361-7852

Project Name and Address

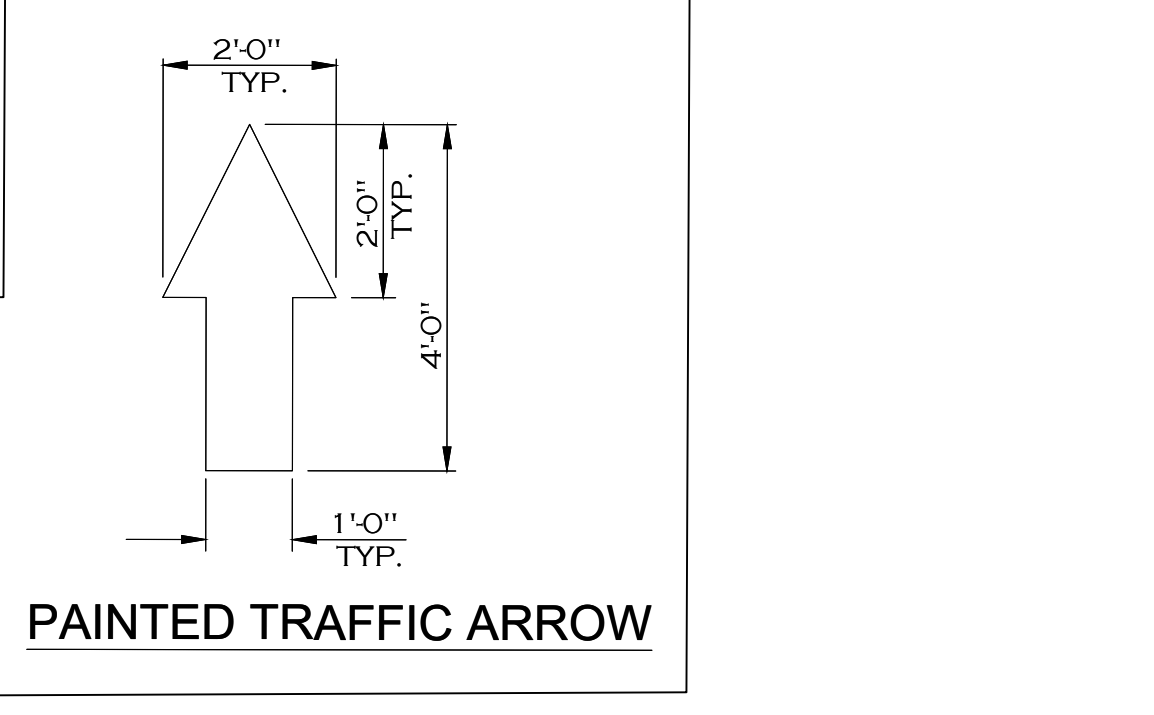
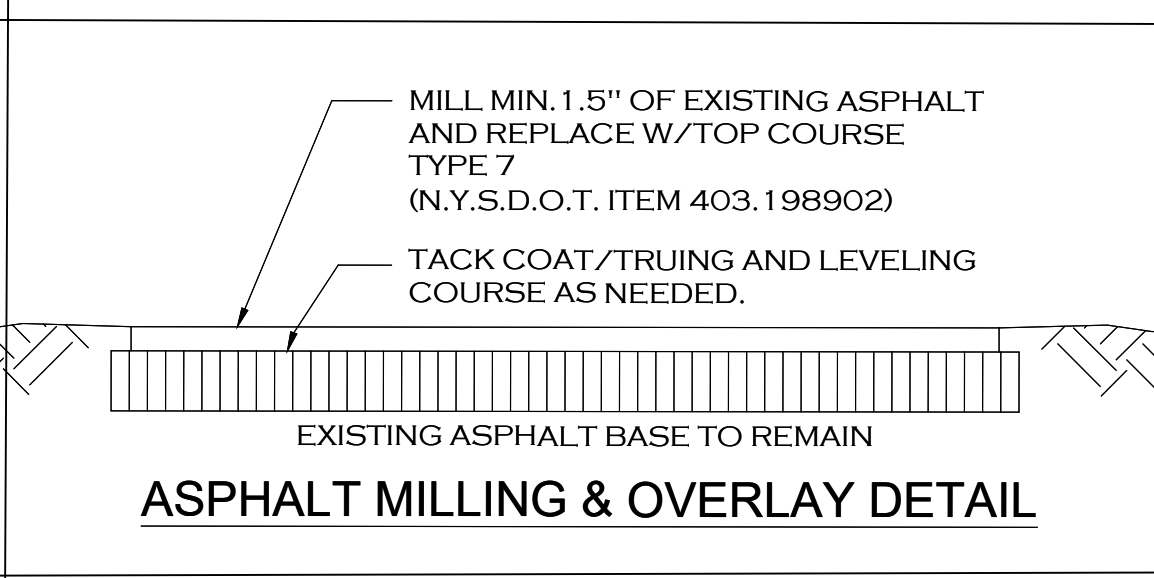
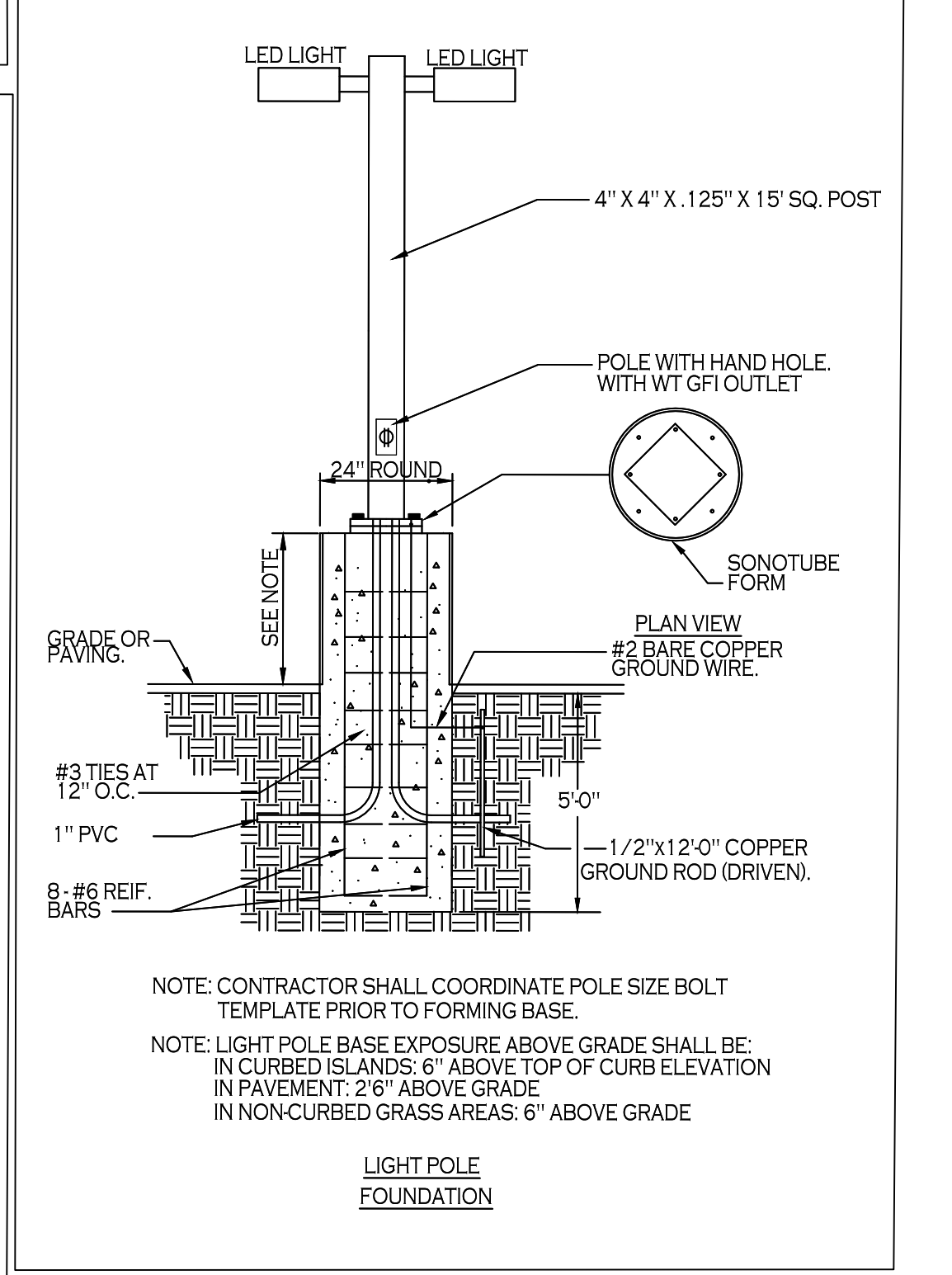
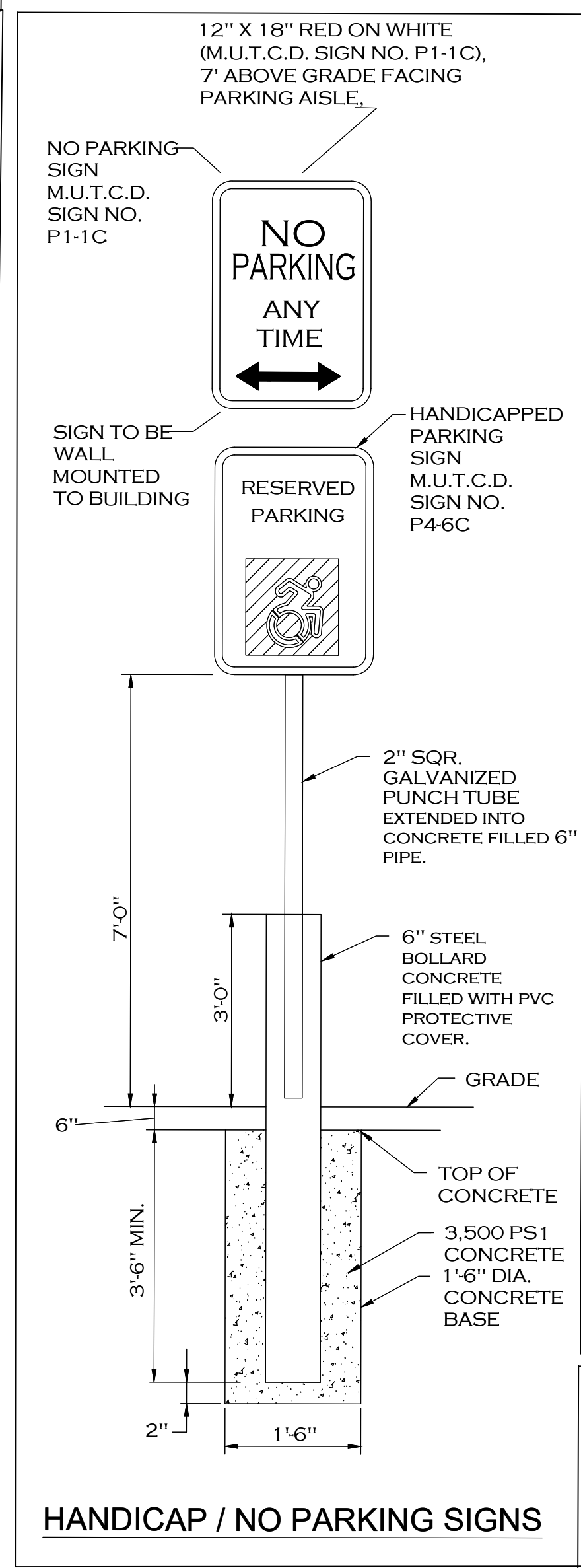
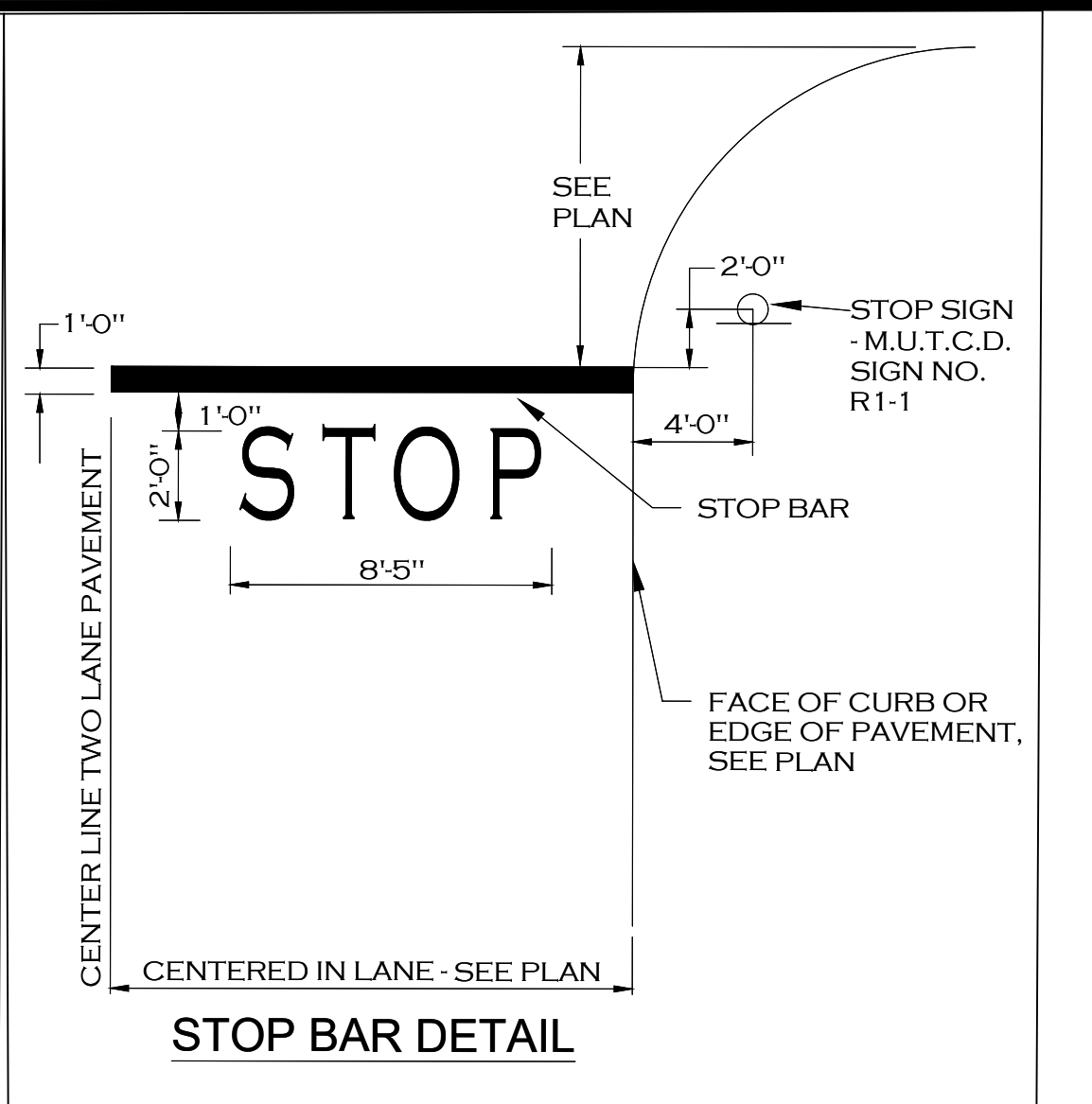
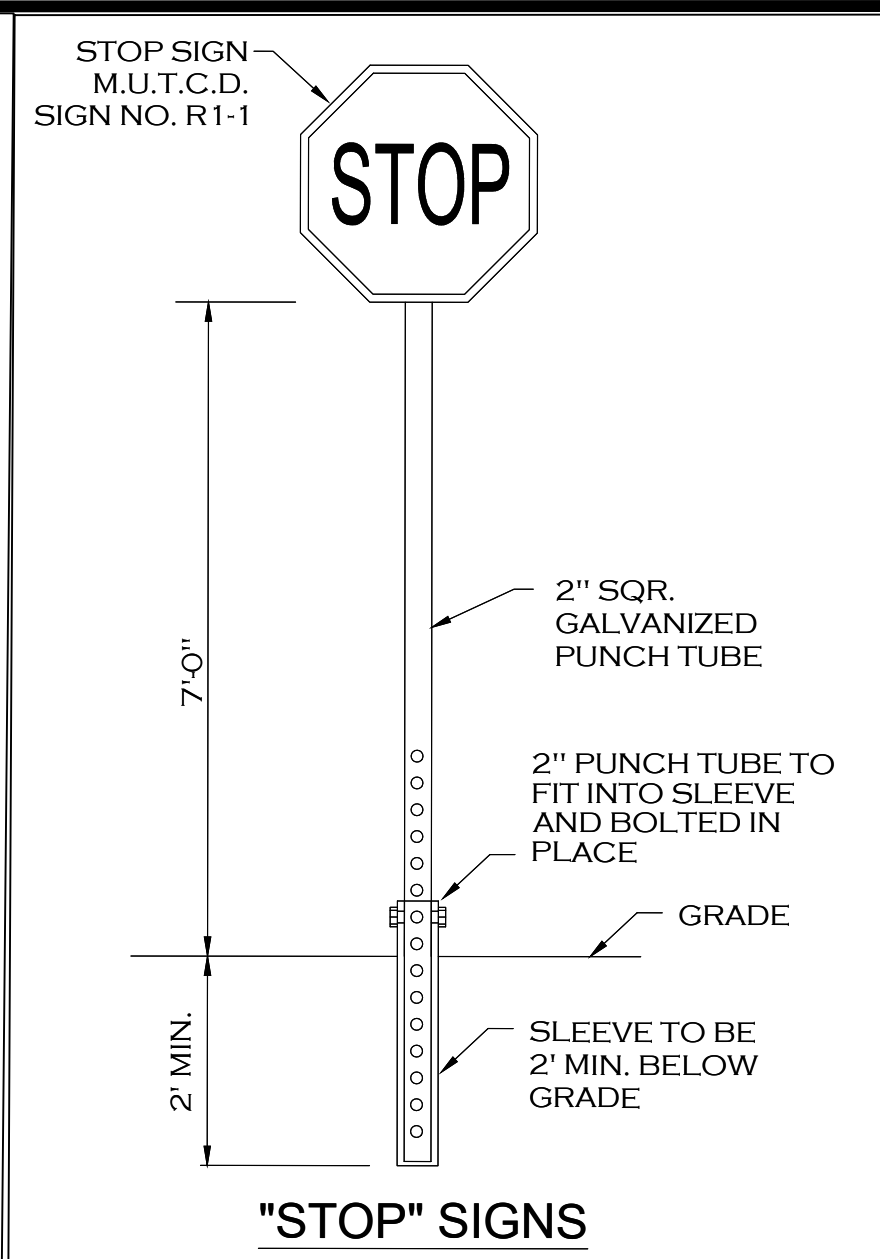
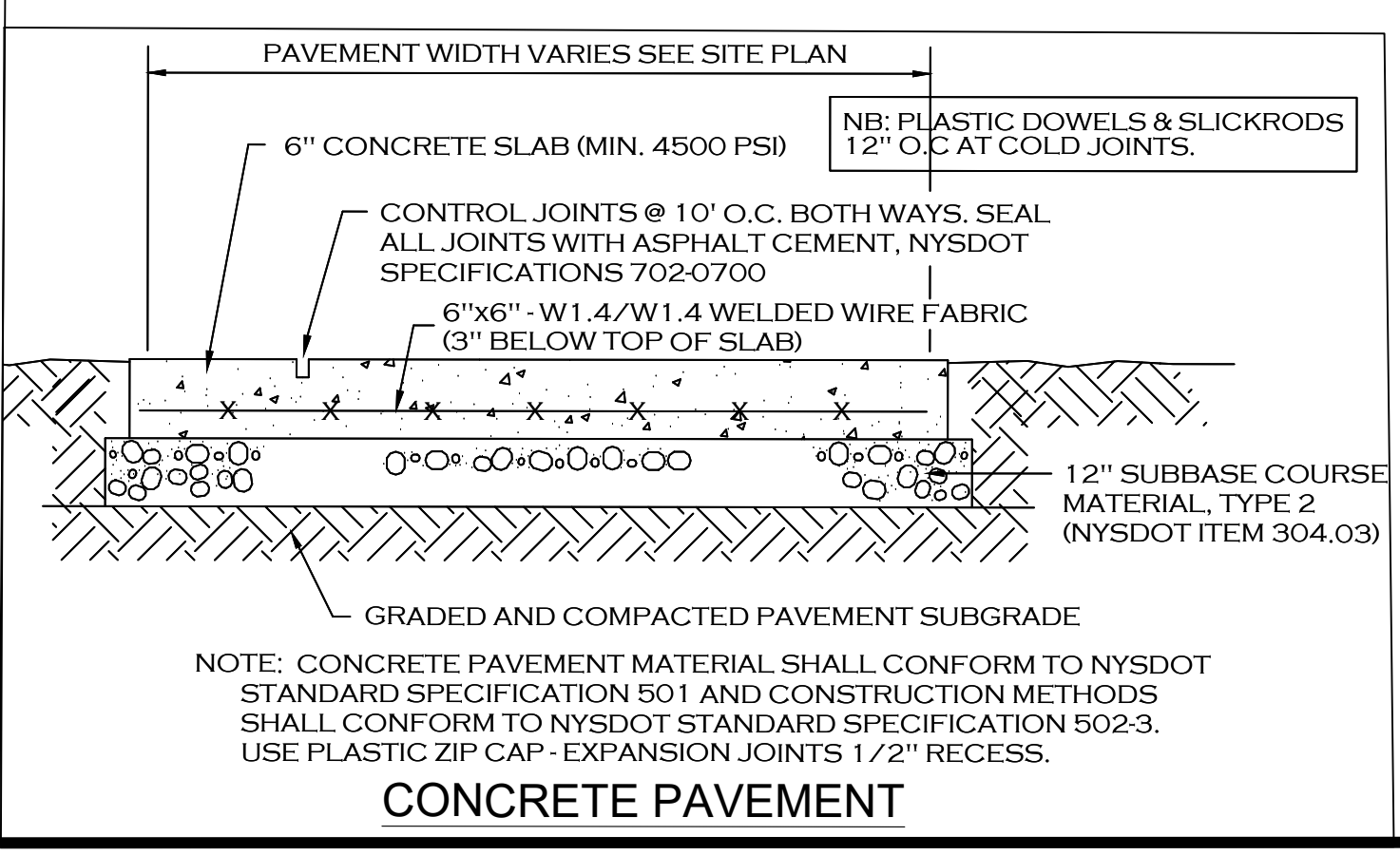
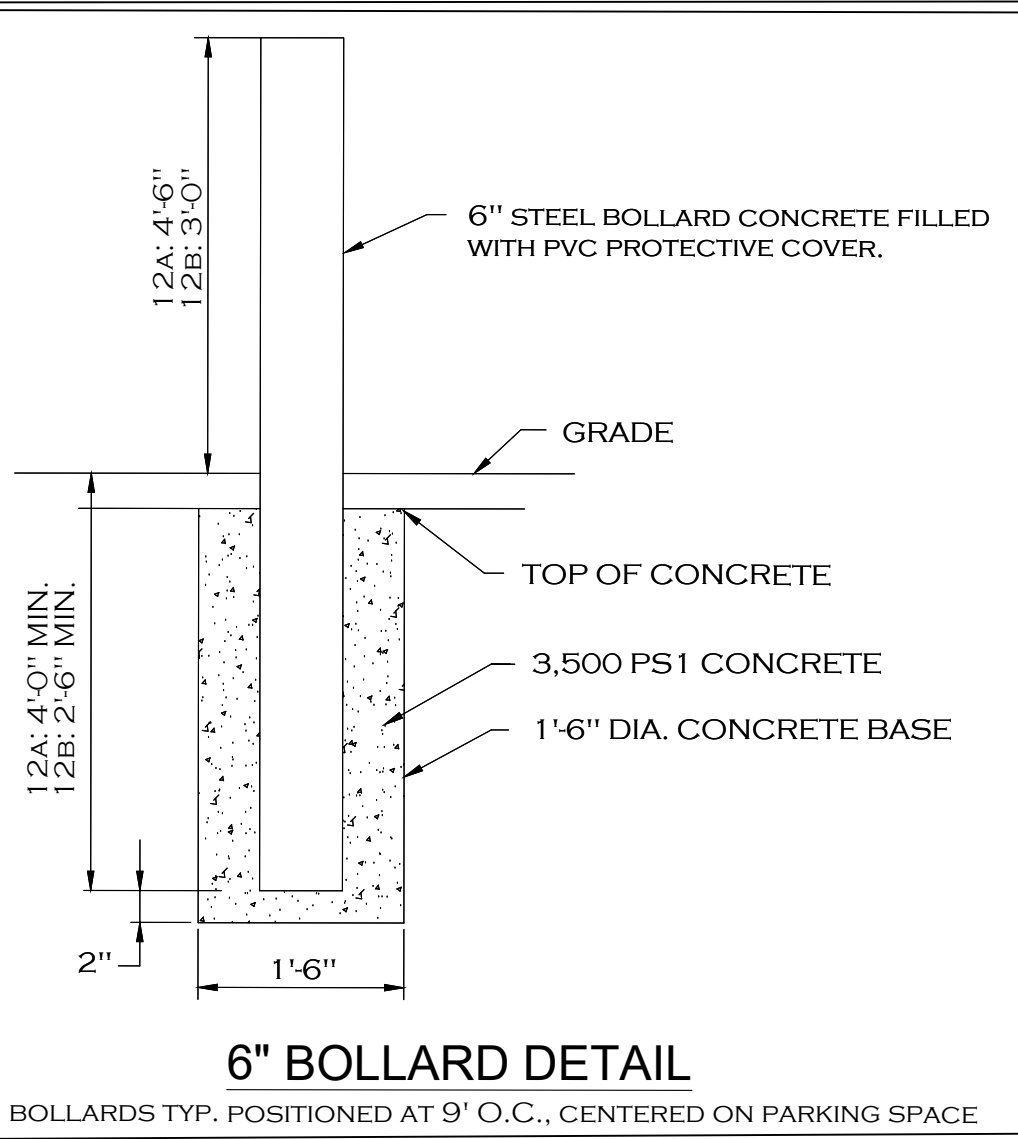
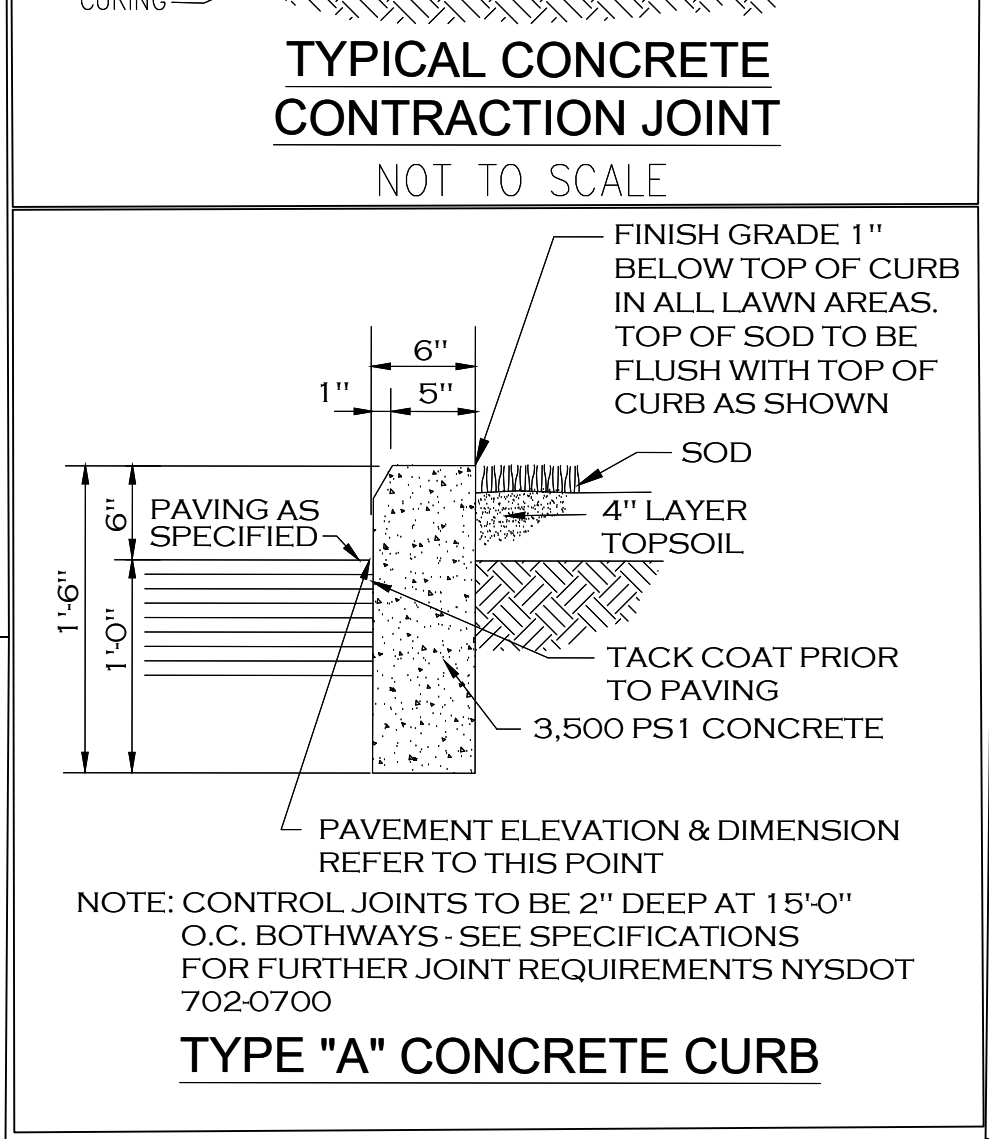
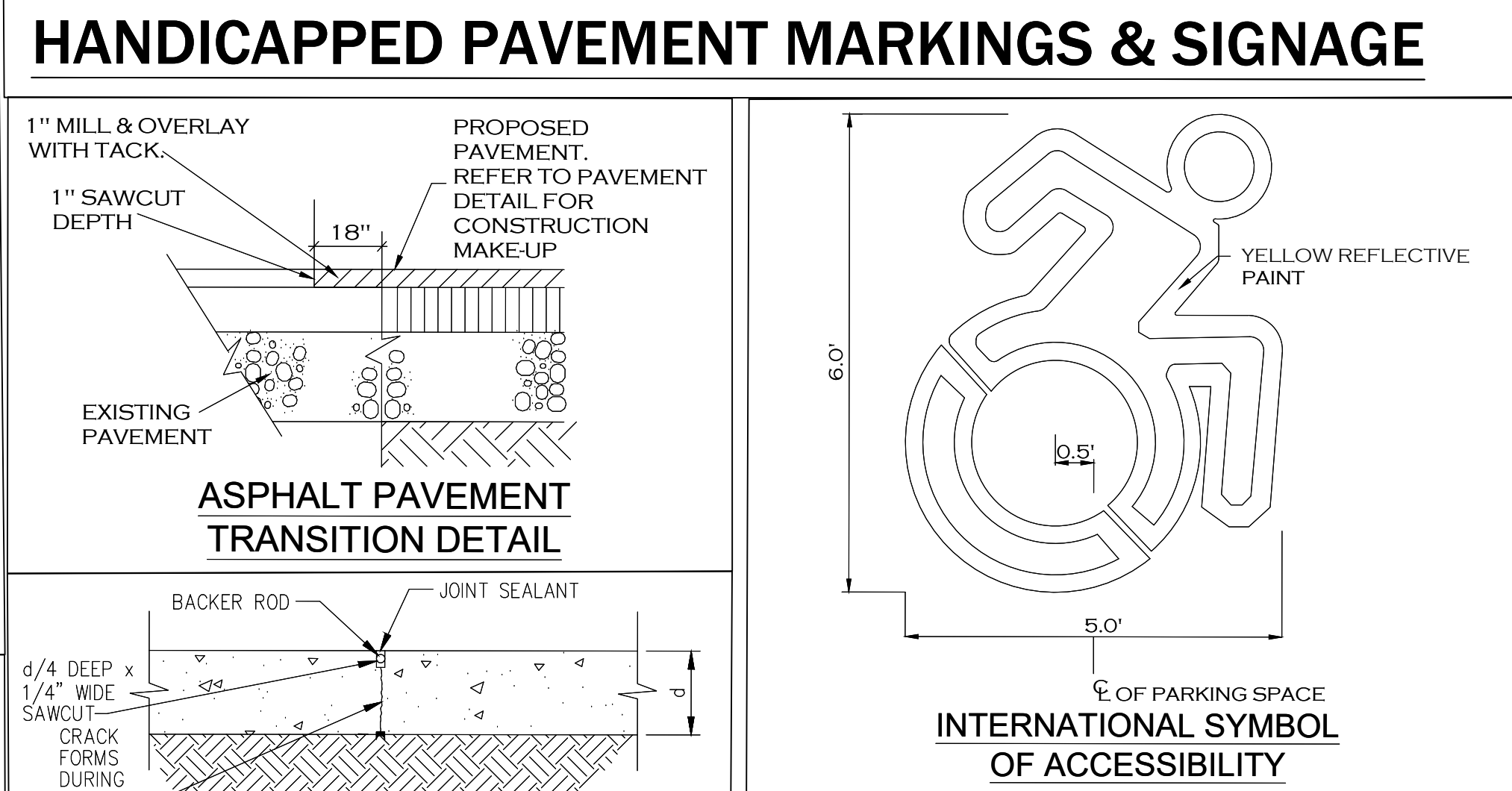
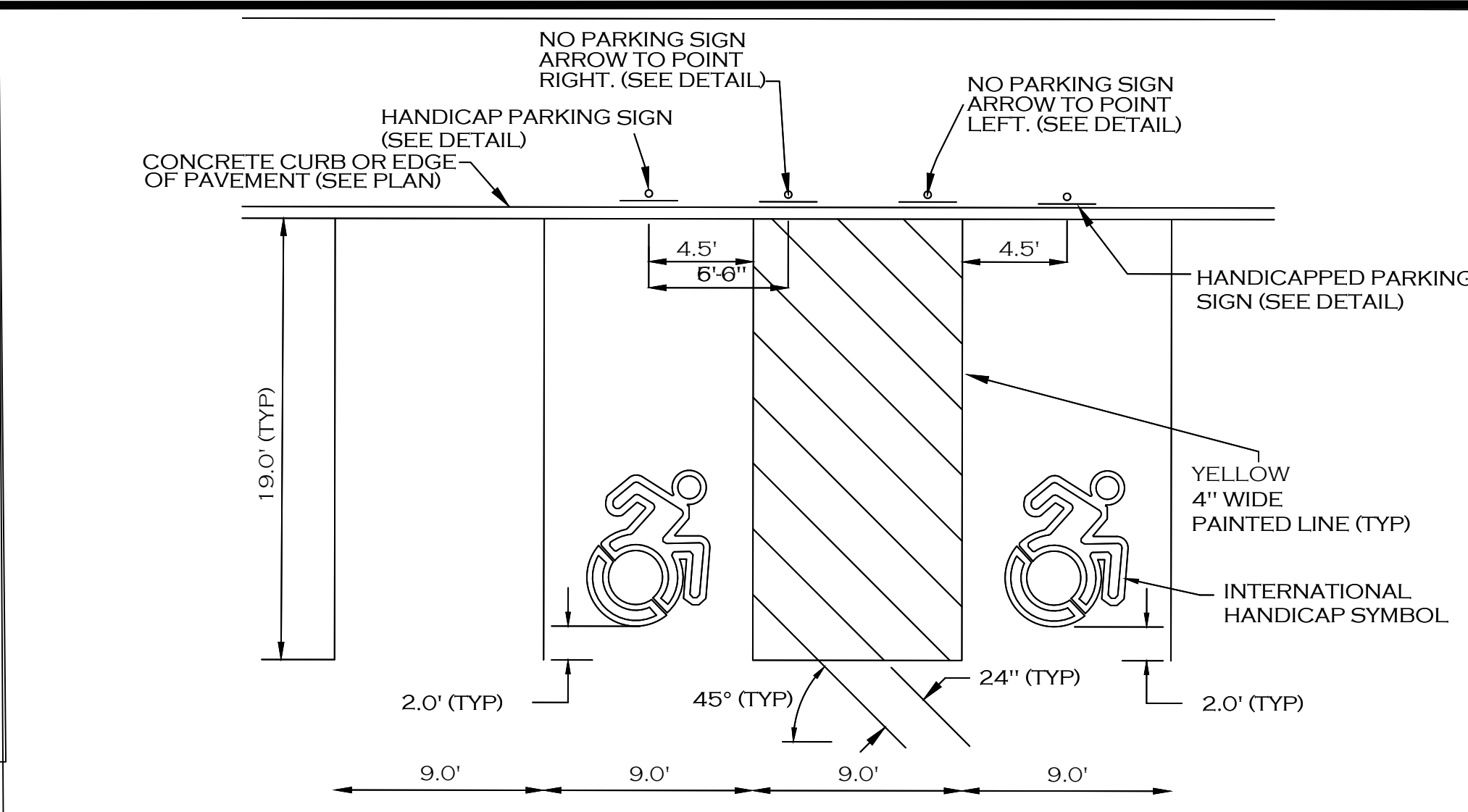
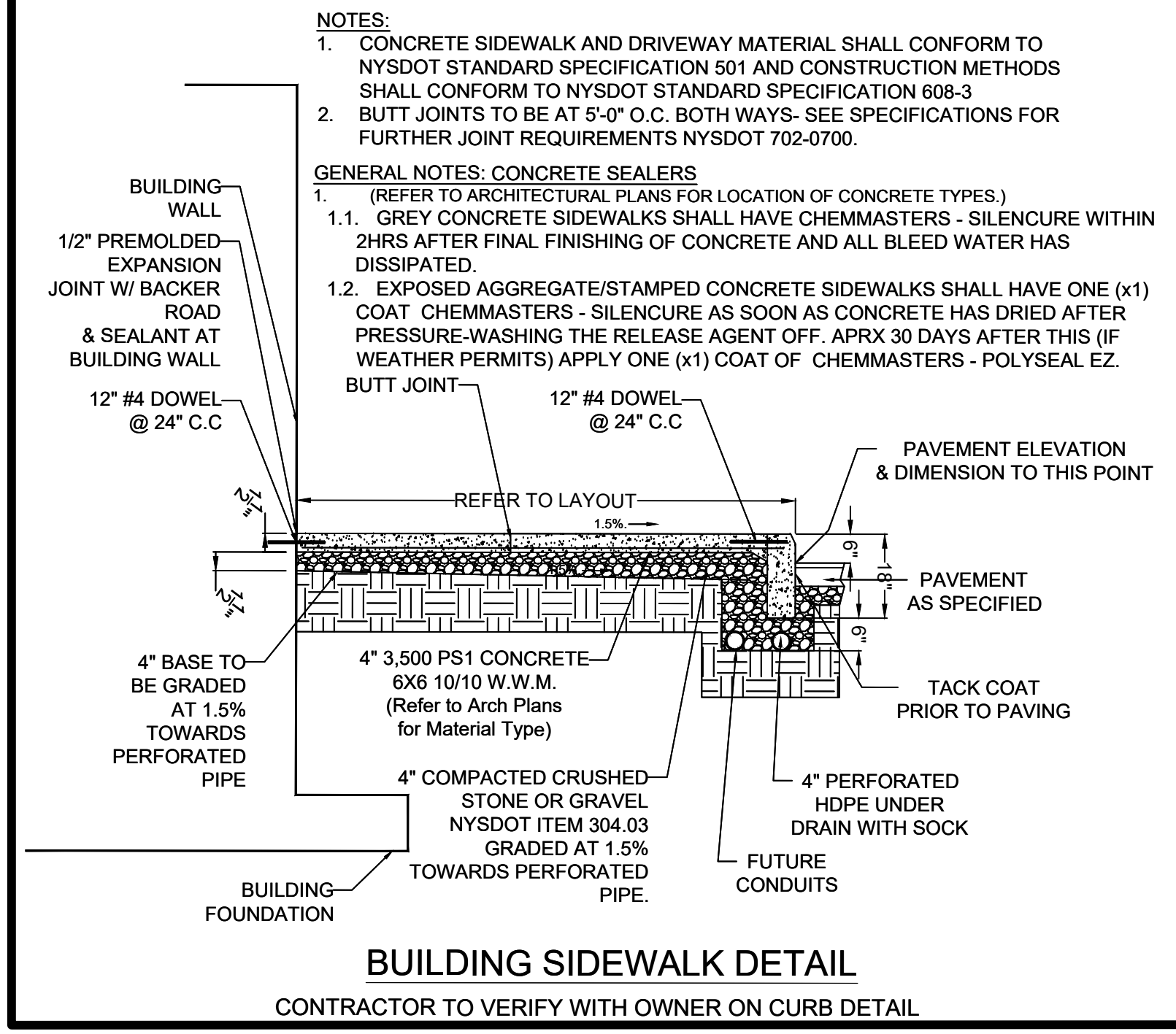
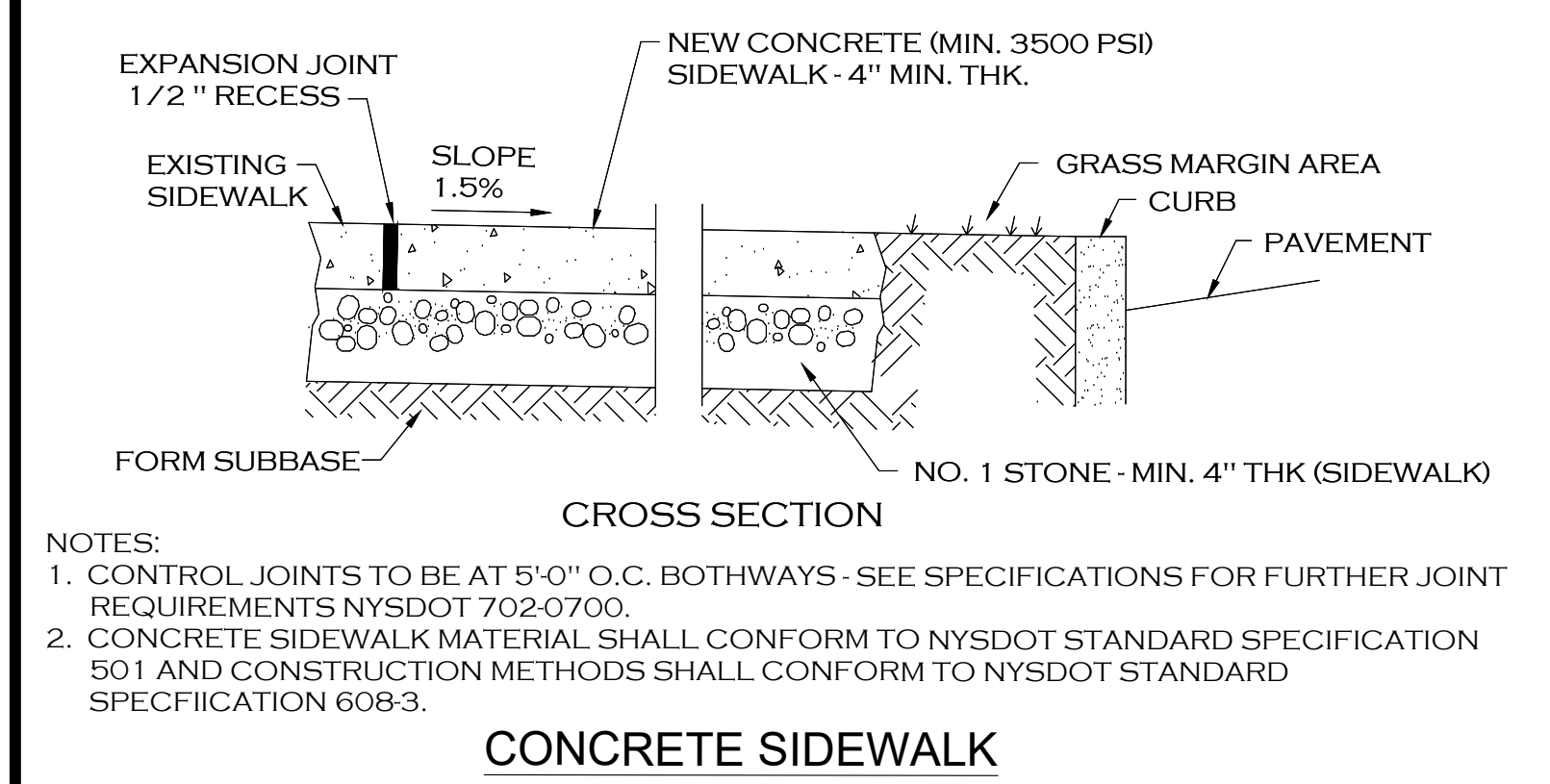
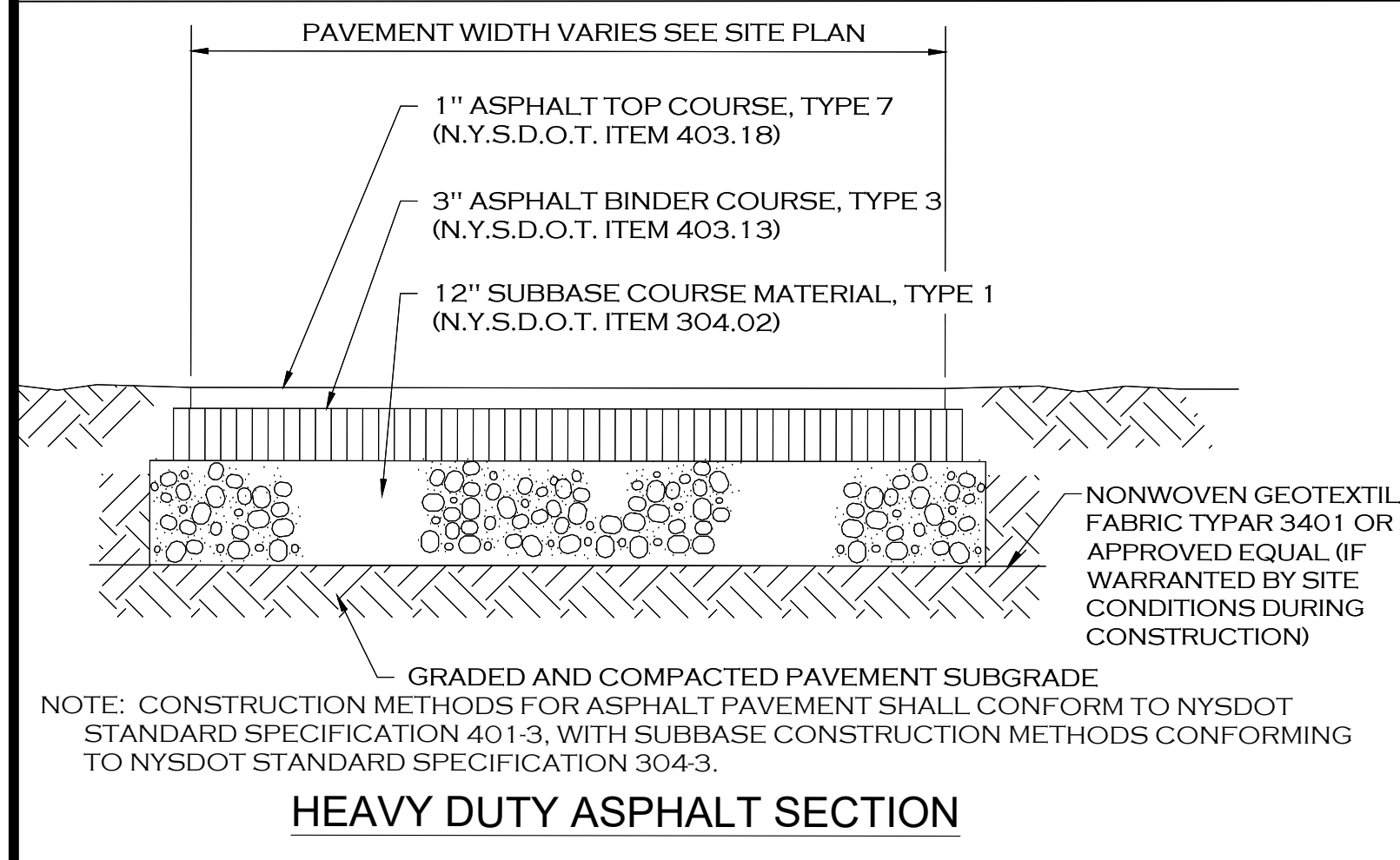
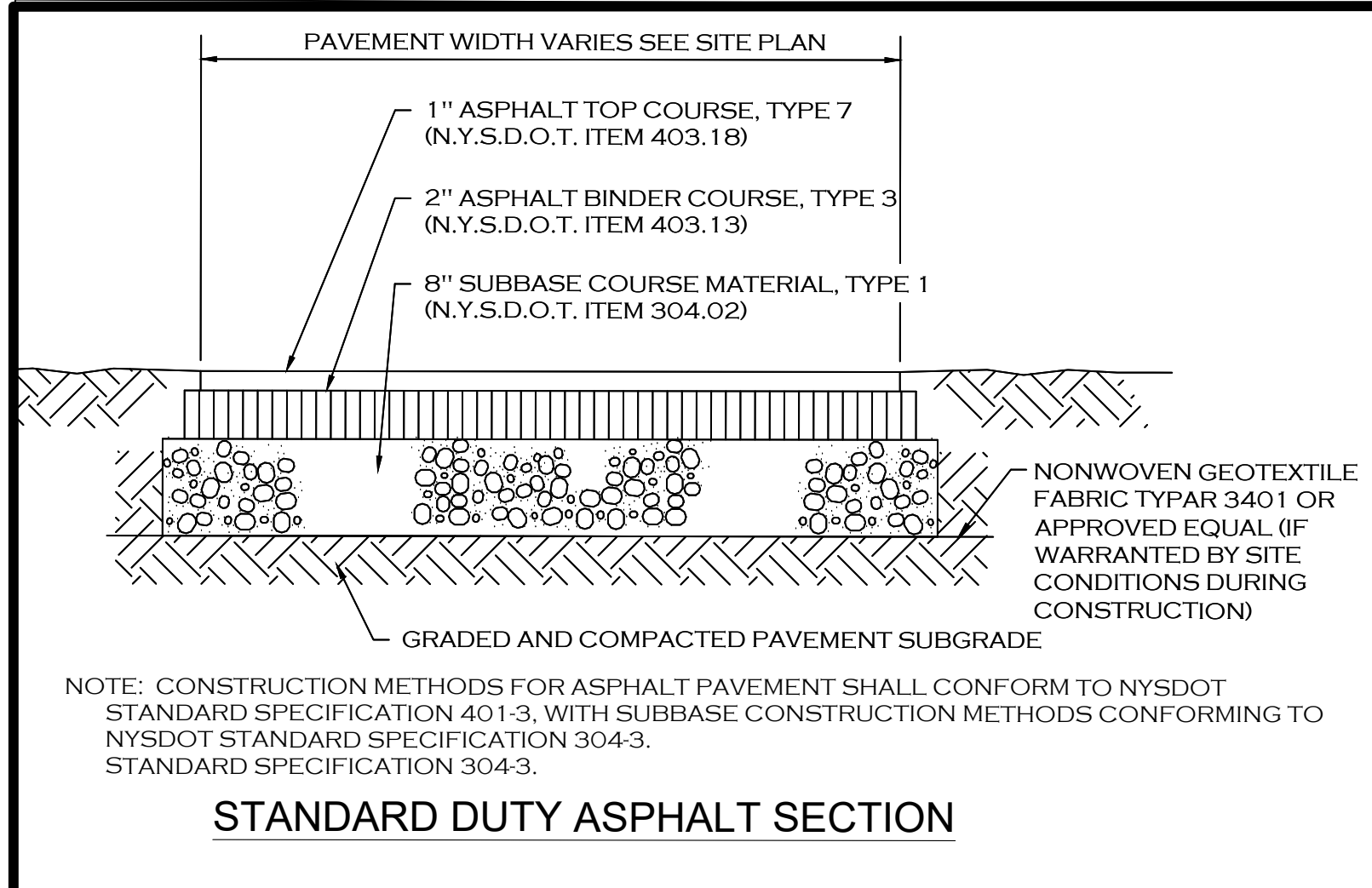
PROPOSED RETAIL
 EASTGATE PLAZA
 5017 Transit Road
 Clarence, New York 14221

Drawing Name

SITE PLAN

Sheet: 6 OF 16
 Date: 12/16/2024
 Scale: 1" = 20'

Drawing Number: C-4.0



Revisions	No.	Revision/Issue	Date
	1	REVISIONS PER BENDERSON	1/13/25

Notes & References

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PROJECT NO. 1105

Engineer's Seal

STATE OF NEW YORK
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087296
REGISTERED PROFESSIONAL ENGINEER

Engineer

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PINWOODS ENGINEERING

LAND DEVELOPMENT & STORM WATER MANAGEMENT

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Phone: (585) 361-7852

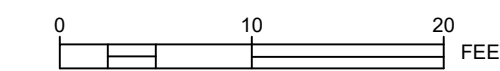
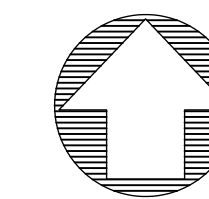
Project Name and Address

PROPOSED RETAIL
EASTGATE PLAZA
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Drawing Name

SITE DETAILS

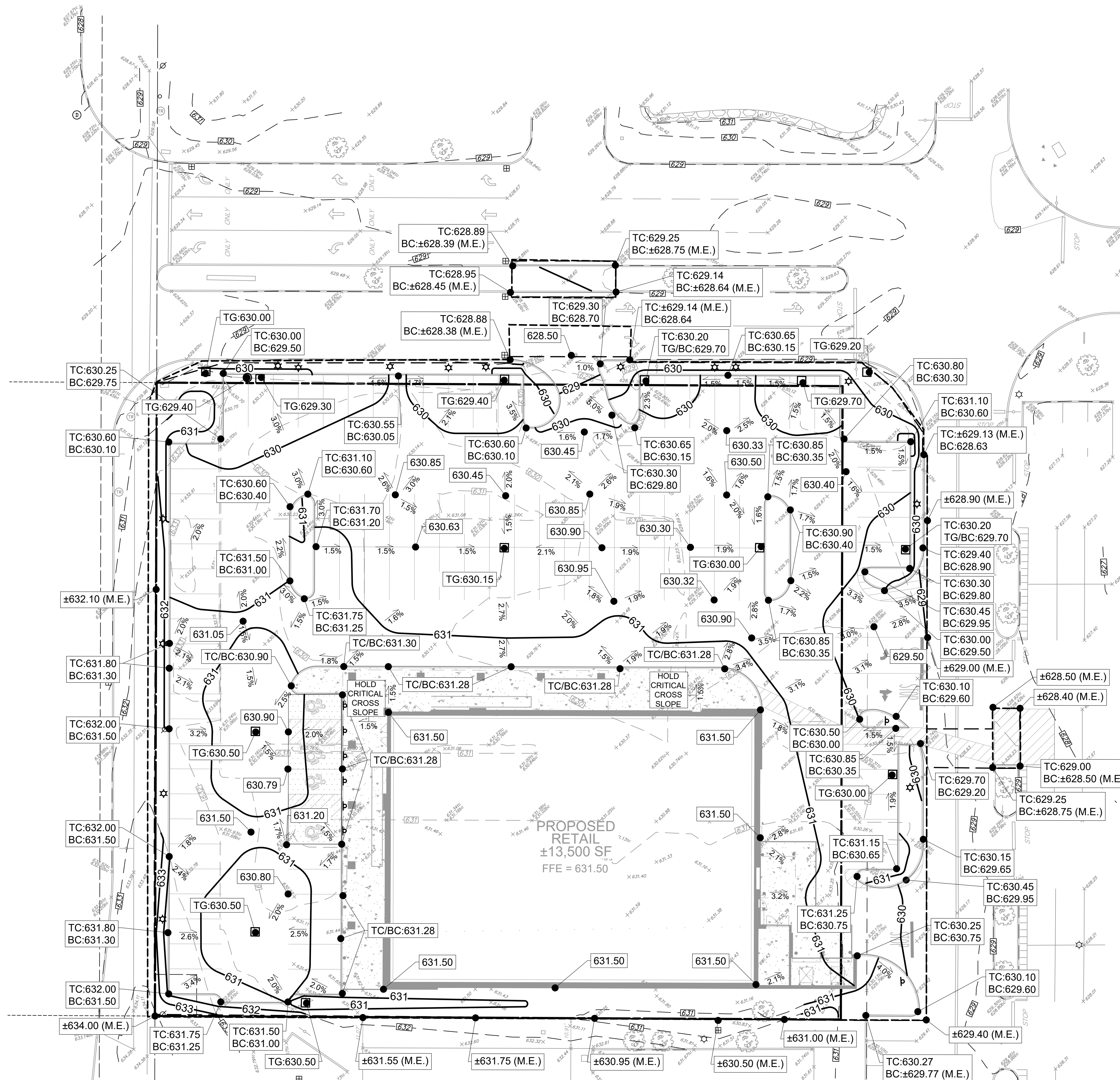
Sheet	7 OF 16	Drawing Number	C-4.1
Date	12/16/2024		
Scale	N/A		



GRADING SYMBOLY LOG

- 630 NEW CONTOUR & ELEVATION
- 631.50 NEW SPOT ELEVATION*
- ADA ACCESSIBLE AREA, MAX. 2% SLOPE ALL DIRECTIONS
- NEW FLOW ARROW AND PAVEMENT SLOPE
- LIMITS OF DISTURBANCE

* TC=TOP OF CURB, BC=BOTTOM OF CURB, TR=TOP OF RIM, TG=TOP OF GRATE, ME= MATCH EXISTING GRADE (ELEVATION SHOWN IS APPROXIMATE).



TRANSIT ROAD (120' WIDE) (STATE HIGHWAY 86)

Revisions	No.	Revision/Issue	Date
	3.	REVISIONS PER BENDERSON	1/13/25
	2.	REVISIONS PER BENDERSON	1/5/25
	1.	REVISIONS PER BENDERSON	12/25/24

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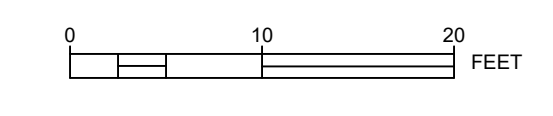
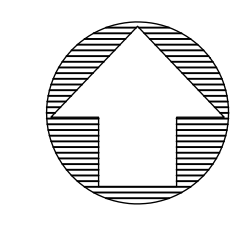
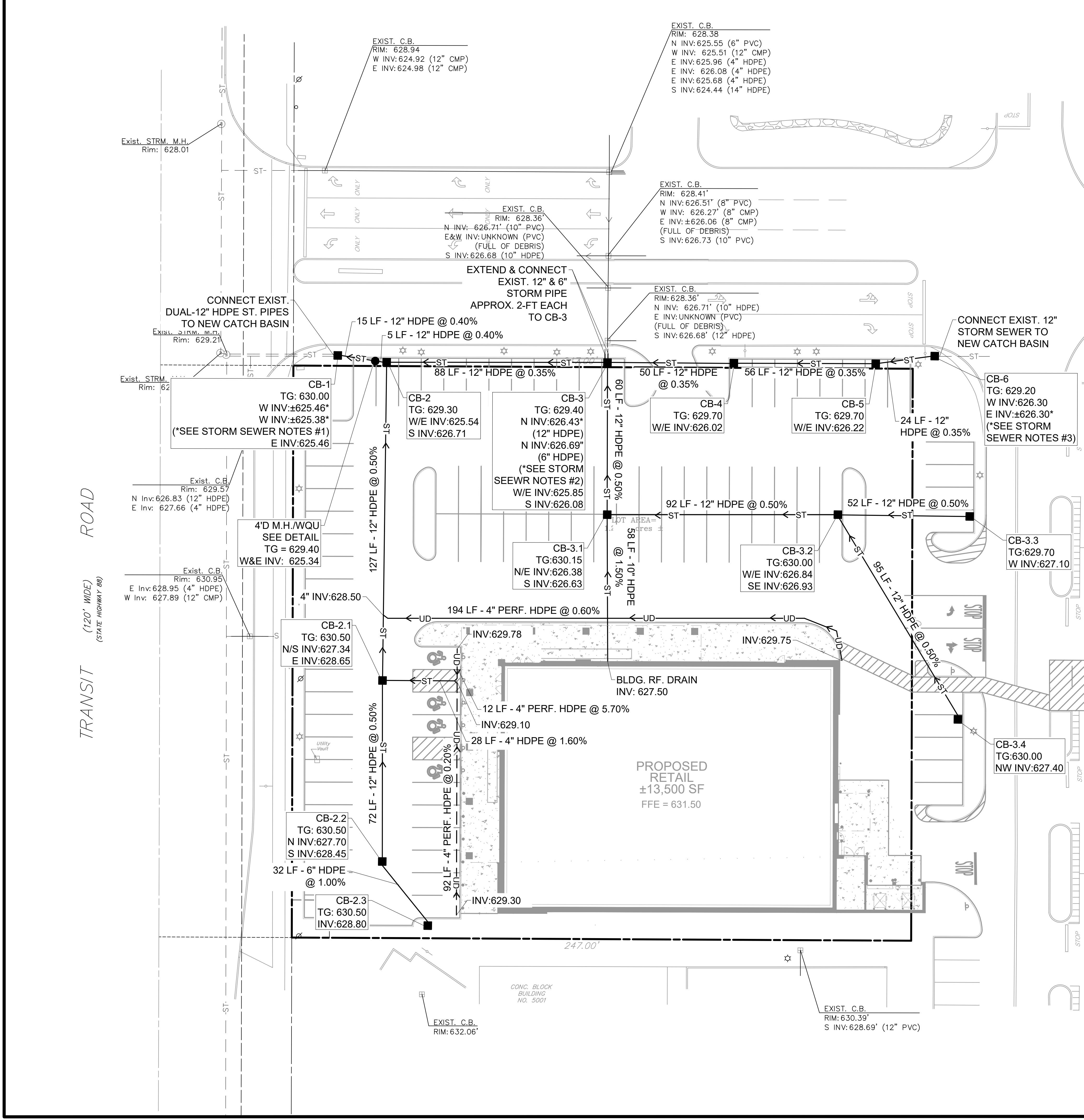
Project Name and Address

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EASTGATE PLAZA
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Drawing Name

GRADING PLAN

Sheet	8 OF 16	Drawing Number	C-5.0
Date	12/16/2024		
Scale	1" = 20'		



STORM SEWER SYMBOLOGY LEGEND	
— ST —	NEW STORM PIPE
— UD —	NEW PERFORATED UNDERDRAIN
■	NEW STORM STRUCTURE: CATCH BASIN ("CB")

- ### STORM SEWER NOTES
1. INVERTS OF EXISTING 12-INCH STORM PIPES ASSUMED AT THE LOCATION OF CONNECTION TO CB-1. CONTRACTOR TO DIG A TEST PIT TO VERIFY EXISTING INVERT PRIOR TO ORDERING NEW CATCH BASINS AND NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN CONSTRUCTION PLANS AND FIELD CONDITIONS.
 2. CONNECT EXISTING 12-INCH AND 6-INCH HDPE PIPES TO CB-3. CONTRACTOR TO DIG A TEST PIT TO VERIFY EXISTING INVERTS AND CHECK THAT EXISTING INVERTS EXCEED WEST INVERT OF CB-3. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN CONSTRUCTION PLANS AND FIELD CONDITIONS.
 3. INVERT OF EXISTING 12-INCH STORM PIPE AT CB-6 ASSUMED. CONTRACTOR TO DIG A TEST PIT TO VERIFY EXISTING INVERT PRIOR TO ORDERING NEW CATCH BASINS AND NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND CONSTRUCTION PLANS.

Revisions	No.	Revision/Issue	Date
	3	REVISIONS PER BENDERSON	1/13/25
	2	REVISIONS PER BENDERSON	1/5/25
	1	REVISIONS PER BENDERSON	12/25/24

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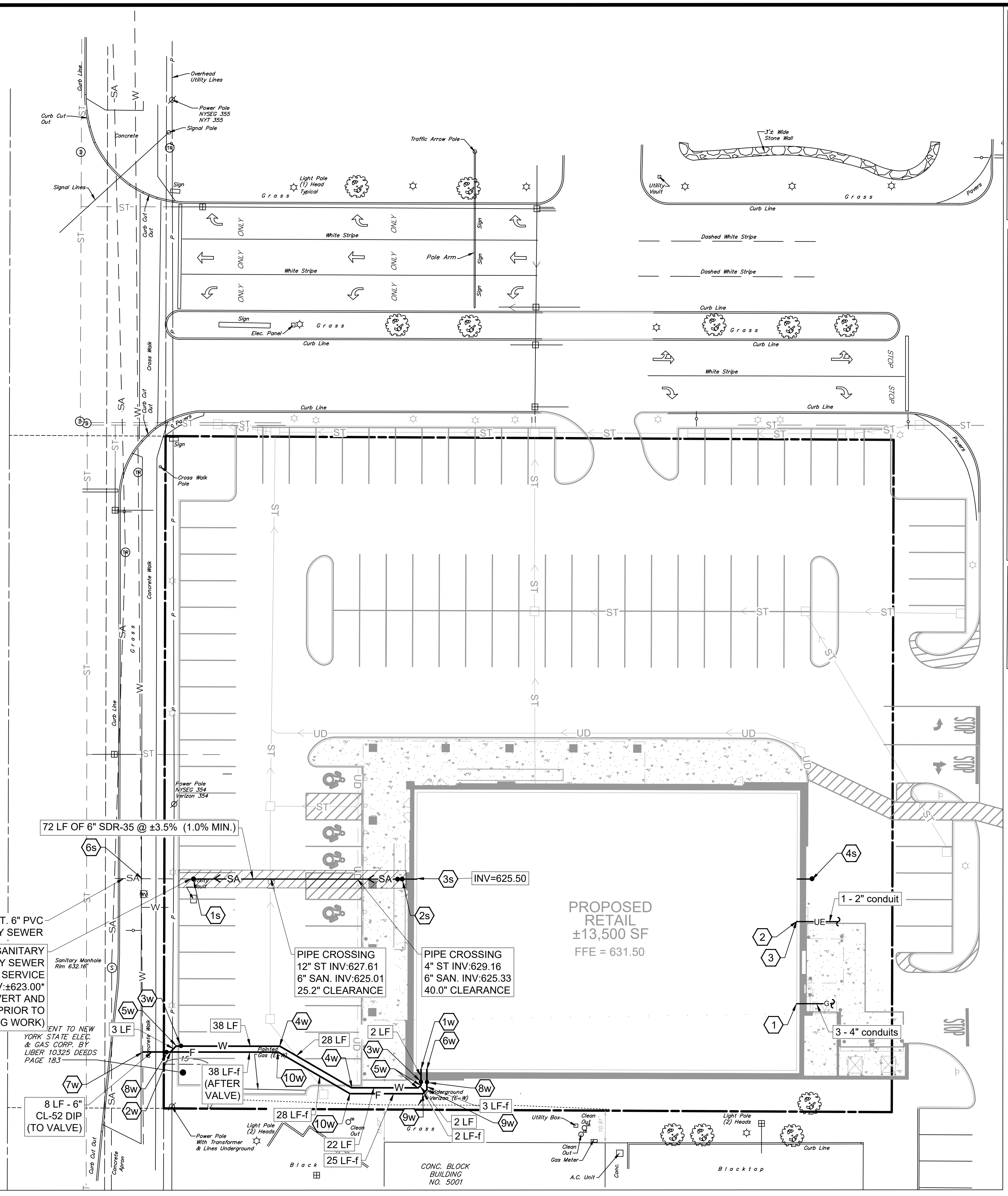
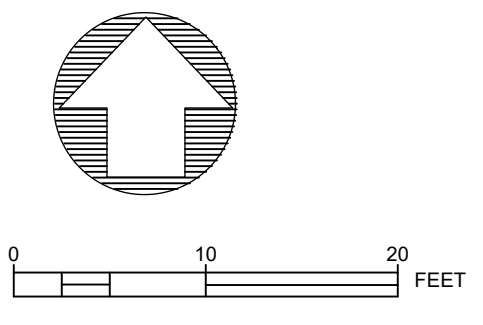
Project Name and Address

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Drawing Name

STORM PLAN

Sheet	9 OF 16	Drawing Number	C-5.1
Date	12/16/2024	Scale	
Scale	1" = 20'		



- ### SANITARY SEWER NOTES LEGEND #s
- 1s NEW CLEAN-OUT
 - 2s NEW CLEAN-OUT, TRAP & VENT, VENT THROUGH BLDG. WALL AND OUT ROOF BY BLDG. PLUMBER, REFER TO COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL.
 - 3s NEW 6" SEWER BLDG. ENTRY LOCATION
 - 4s 2-FT STUB-OUTS OF 6" SANITARY LINE WITH CLEAN-OUT BY BUILDING PLUMBER, REFER TO ARCH. PLANS
 - 5s VENT THROUGH WALL AND OUT ROOF
 - 6s 18" MIN. VERTICAL SEPARATION BETWEEN OUTSIDE OF WATER AND SEWER PIPES

- ### WATERLINE NOTES LEGEND #W
- 1W NEW 2" DOMESTIC WATER SERVICE BLDG. ENTRY LOCATION AND TURN UP INSIDE BLDG. AND CAP WITH FLANGE BY SITE CONTRACTOR
 - 2W NEW 2" DOMESTIC WATER SERVICE TAP FROM 6" PRIVATE SERVICE LATERAL
 - 3W NEW 2" GATE VALVE
 - 4W 2" - 120° BEND, AWWA C-900
 - 5W 2" - 45° BEND, AWWA C-900
 - 6W NEW 6" FIRE WATER SERVICE BLDG. ENTRY LOCATION AND TURN UP INSIDE BLDG. AND CAP WITH FLANGE BY SITE CONTRACTOR
 - 7W CONNECT NEW 6" FIRE WATER TO WATER MAIN W/ 6" TAP
 - 8W NEW 6" GATE VALVE
 - 9W 6" - 45° BEND, AWWA C-900
 - 10W 6" - 120° BEND, AWWA C-900
- # LF = 2" DOMESTIC POLY PE3408 - DOMESTIC WATER SERVICE LINE
 # LF-f = 6" C-900 PVC - FIRE WATER SERVICE LINE

- ### GAS & ELECTRIC/TELEPHONE/CABLE NOTES LEGEND #
- 1 GAS SERVICE BLDG. ENTRY LOCATION, 3-4" CONDUITS
 - 2 ELECTRIC SERVICE BLDG ENTRY LOCATION
 - 3 TELEPHONE/CABLE BLDG. ENTRY LOCATION, 1-2" CONDUIT

- ### UTILITY SYMBOLOGY LEGEND
- SA — NEW SANITARY PIPE W/ CLEAN-OUT
 - [Hatched Area] USE SELECT FILL OVER SANITARY PIPE IN PAVEMENT AREAS (SEE NOTE #1)
 - W — NEW 2" DOMESTIC WATER LINE W/ VALVE
 - F — NEW 6" FIRE WATER LINE
 - G — NEW GAS LINE
 - UE — NEW UNDERGROUND ELECTRIC/TELEPHONE/CABLE LINE

Revisions	No.	Revision/Issue	Date
	3	REVISIONS PER BENDERSON	1/13/25
	2	REVISIONS PER BENDERSON	1/5/25
	1	REVISIONS PER BENDERSON	12/25/24

Notes & References

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

BENDERSON DEVELOPMENT

570 DELAWARE AVE, BUFFALO, NY 14202
 PHONE: (716) 886-0211 FAX: (716) 886-7781
 WWW.BENDERSON.COM

PROJECT NO. 1105

Engineer's Seal

Engineer

PWE
PINEWOODS ENGINEERING

LAND DEVELOPMENT & STORM WATER MANAGEMENT
 42 Aston Villa, North Chili, New York 14514
 Phone: (585) 361-7852

Project Name and Address

PROPOSED RETAIL EASTGATE PLAZA
 5017 Transit Road
 Clarence, New York 14221

Drawing Name

UTILITY PLAN-I

Sheet	10 OF 16	Drawing Number	C-6.0
Date	12/16/2024	Scale	
Scale	1" = 20'		

T.O. TOWER 31'-0"

T.O. CORNICE 22'-6"













Short Environmental Assessment Form

Part 1 - Project Information

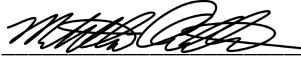
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature:  Title: _____		

December 2, 2024

VIA HAND DELIVERY

Patrick Casilio, Supervisor and Members of the Town Board
Town of Clarence
One Town Place
Clarence, New York 14031

Attn: Jonathan C. Bleuer, Director of Community Development

**Re: Proposed 13,500 SF Retail Building (BDP# 2085)
Eastgate Shopping Center, 5017 Transit Road
Application for Site Plan Approval**

Dear Supervisor Casilio and Members of the Town Board:

In connection with the above-referenced matter, enclosed please find the application materials required to allow for Concept Review of the site plan that proposes redevelopment of the former Applebee's restaurant into a new 13,500 s.f. retail outparcel for the existing Eastgate Shopping Center (the "Subject Property").

The Existing Property

As the Town Board is aware, the Subject Property is a former Applebee's restaurant that is currently vacant and acts as an outparcel to the Eastgate Plaza. Eastgate Plaza is a large shopping center located on Transit Road and includes tenants such as BJ's Wholesale Club, Dicks Sporting Goods, LA Fitness, PetSmart, Michaels and Wal-Mart. The property maintains two main entrances on Transit Road, with one being along the plaza's main entrance drive off of Transit Road and the second being off the plaza's main north/south internal access drive.

The Proposed Project

Benderson is proposing a new 13,500 s.f. freestanding retail building on the former Applebee's parcel. The proposed retail building will be located on the south side of the main, signalized access for Eastgate Plaza and north of the existing Garelick Jewelers property. The existing full access driveway on the main entrance drive will be converted to a right-in and the existing break within the entrance drives center island will be closed. In addition, two full access drives will be added onto the north/south plaza drive to allow for loading of the retail building and access to the main parking field. The front entrance will be located at the northwest corner of the building and will provide a covered canopy on both the north and west sides with flush curbing to allow for easy access to the parking field with shopping carts. In addition, pedestrian access will be provided to the east providing convenient access to the large parking field to the east.

The architecture of the proposed building will blend the architecture of the shopping center and the new buildings which have recently been constructed. The building utilizes brick and stone, as well as hardiboard siding EIFs trim and a covered canopy over the sidewalk. The rear façade has been designed so that it is not simply a flat wall but includes a mix of materials as well to break up the rear of the building.

Conclusion:

Eastgate Plaza is an attractive, well-maintained shopping center in the heart of the Transit Road commercial corridor. This proposed project is a significant upgrade to the plaza and as a redevelopment of a vacant former restaurant property. We look forward to reviewing this matter with the Town. Should you require any additional information or wish to discuss the matter please do not hesitate to contact me at (716) 878-9626 or by e-mail at JamesBoglioli@Benderson.com.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

James A. Boglioli

James A. Boglioli, Esq.
Director, Right to Build – Northeast US



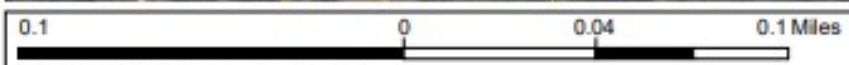
Existing Configuration



Legend

- Parcels

9775 Main Street:
+/- 6.69 acres



WGS_1984_Web_Mercator_Auxiliary_Sphere
THIS MAP IS NOT TO BE USED FOR NAVIGATION

ERIE COUNTY
DEPARTMENT OF ENVIRONMENT & PLANNING
OFFICE OF GIS

This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

NOTE:
This map is not an official property survey.

1: 2,257

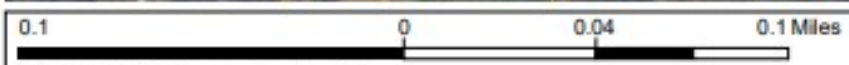


Proposed Configuration



- Legend**
- Parcels
 - 9775 Main Street:
+/- 1.47 acres
 - New Lot:
+/- 5.22 acres

+/- 182.38'
 +/- 296.94'
 +/- 76.27'
 +/- 125.96'
 +/- 28.70'
 +/- 308.80'
 +/- 143.41'
 +/- 633.05'
 +/- 202.81'
 +/- 324.25'
 +/- 479.26'



WGS_1984_Web_Mercator_Auxiliary_Sphere
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1: 2,257

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: 9775 Main St Parceling		
Project Location (describe, and attach a general location map): 9775 Main St, Clarence NY 14031		
Brief Description of Proposed Action (include purpose or need): Divide the parcel into two separate parcels with the existing building being located on the 1.47 acre section.		
Name of Applicant/Sponsor: 9775 Main LLC		Telephone: 716-759-1715
		E-Mail:
Address: 9829 Main St		
City/PO: Clarence	State: NY	Zip Code: 14031
Project Contact (if not same as sponsor; give name and title/role): Brienne Frawley, VisoneCo Site Development, Director of Real Estate		Telephone: 716-759-1715
		E-Mail: brienne@visoneco.com
Address: 9829 Main St		
City/PO: Clarence	State: NY	Zip Code: 14031
Property Owner (if not same as sponsor):		Telephone: 716-759-1715
		E-Mail: brienne@visoneco.com
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission		
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes<input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes<input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes<input checked="" type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
 Commercial _____

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Clarence Central School District _____

b. What police or other public protection forces serve the project site?
 Erie County Sheriff's Department and New York State Police _____

c. Which fire protection and emergency medical services serve the project site?
 Clarence Fire District _____

d. What parks serve the project site?
 Thompson Rd Park, Clarence Town Park _____

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed - commercial and residential _____

b. a. Total acreage of the site of the proposed action? _____ 6.7 acres
 b. Total acreage to be physically disturbed? _____ 0 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 10 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
 Selling approx 1.47 acres with house _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____ 2 _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ 1.47 _____ Maximum _____ 5.23 _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ 0 months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No

If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):</p> <p>_____</p> <p>_____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p> <p>_____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>_____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p>_____</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>_____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>_____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):
 Typical residential type lawn fertilizer and weed control

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): vacant land

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
Clarence District High School

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 2-4 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Benson very channery loam	_____	83 %
Wassaic Silt	_____	17 %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: approx 7 feet

e. Drainage status of project site soils: Well Drained: 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
White tailed deer	Rabbit	Squirrel
Various species of birds	Raccoon	Various species of rodent
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>		
<p>E.3. Designated Public Resources On or Near Project Site</p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:
 i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District
 ii. Name: _____
 iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:
 i. Describe possible resource(s): _____
 ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:
 i. Identify resource: Tillman Nature Preserve: Clarence Town Park
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): NYSDEC Wildlife Management area: local park
 iii. Distance between project and resource: Approx 2 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:
 i. Identify the name of the river and its designation: _____
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name 9775 MAIN LLC Date 10/24/24

Signature  Title managing member

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)