

November 6, 2024

Jonathan Bleuer, Director of Community Development  
Town of Clarence Planning Department  
1 Town Place  
Clarence, NY 14031

**Re: Updated Concept Plan Submission**  
Sheridan Drive Mixed-Use Redevelopment  
9105 Sheridan Drive [SBL No. 71.13-2-3]

Dear Jonathan:

This letter and the enclosed project documentation are being submitted as an update to the Concept Plan Application submitted to the Planning Department on September 18, 2024 for the proposed Mixed-Use Redevelopment project (the “Project”) to be located at 9105 Sheridan Drive (the “Project Site”).

The updated Concept Site Plan [Drawing C-100 – Date: 11/05/2024], prepared by Christopher Wood, P.E. of Carmina Wood Design (the “Site Plan”) incorporates suggestions and comments made by members of the Planning Board Executive Committee during its meeting on Monday, November 4<sup>th</sup>. A reduced-size copy of the Site Plan is attached hereto as “**Exhibit 1**”. Five full-sized copies of the Site Plan are also enclosed. The changes to the Site Plan based on input received during the meeting of the Executive Committee of the Planning Board held on Monday, November 3<sup>rd</sup> are as follows:

**I. Front Yard Setback Increase:**

The front yard setback for the mixed-use building on the previous Concept Site Plan [Drawing C-100 – Date: 10/02/2024] was 10 ft., the minimum front yard setback expressly permitted per Section 229-87 C. (1) of the Town of Clarence Zoning Code. Based on comments received from multiple members of the Planning Board Executive Committee, the front yard setback of the mixed-use building has been increased to 15 ft. to allow for additional space and landscaping along the front yard of the Project Site and the Sheridan Drive Right-of-Way. As Supervisor Casilio mentioned during the Planning Board Executive Committee meeting, the New York State Department of Transportation will not allow any improvements including signage within the Sheridan Drive Right-of-Way.

**II. Split Rail Fence Extension:**

The proposed split rail fence entrance feature was extended on the Site Plan to include the entire front yard in the western half of the Project Site in accordance with a request received from a member of the Planning Board Executive Committee.

### **III. Extension of Internal Sidewalk to Proposed Municipal Sidewalk:**

The internal sidewalk within the Project Site located adjacent to the mixed-use building was extended to connect to the proposed municipal sidewalk located in the Sheridan Drive public Right-of-Way to enhance pedestrian connectivity and access throughout the Project. The Project Sponsor will coordinate the design and placement of the proposed municipal sidewalk with the Town of Clarence Engineering Department and the New York State Department of Transportation.

In addition to the updated Site Plan, corresponding updates to the Landscape Plan [Drawing L-100 – L-101 – Date: 11/04/2024], prepared by Christopher Wood, P.E. of Carmina Wood Design (the “Landscape Plan”). A reduced-size copy of the Landscape Plan is attached as “**Exhibit 2**”. Five full-sized copy of the Landscape Plan are also enclosed.

In response to comments received from the Clarence Town Board during its work session held on September 25<sup>th</sup>, the Project Sponsor previously reduced the number of residential units proposed in the mixed-use building from twelve (12) units to ten (10) units and increased the overall commercial space from 5,250 square feet to approximately 7,000 square feet. Sean Hopkins, Esq. of Hopkins, Sorgi, & McCarthy PLLC prepared an Amended Part I of the Full Environmental Assessment Form, dated November 1<sup>st</sup> that was e-mailed to the Planning Department on November 4<sup>th</sup>. The Amended Part I of the Full Environmental Assessment Form (the “FEAF”) dated November 1<sup>st</sup> is attached hereto as “**Exhibit 3**” reflects modifications made based on the input received from the Town Board during its work session meeting on September 25<sup>th</sup>.

The Applicant looks forward to attending the meeting of Planning Board to be held on Wednesday, November 13<sup>th</sup> at 7:00 p.m. for the purpose of making an initial presentation of the Project to the Planning Board. If you should have any questions or comments in the meantime, please feel free to reach out to either Sean Hopkins, Esq. or me.

Sincerely,



Bill Burke  
Edge Development LLC  
T. (716) 225-6117  
E. [bill@goedgeco.com](mailto:bill@goedgeco.com)

Enc.

cc:

Robert Sackett, Chairman  
Wendy Salvati, Planning Board

Jason Geasling, Planning Board  
Jason Lahti, Planning Board  
Richard Bigler, Planning Board  
Gregory Todaro, Planning Board  
Daniel Tytka, Planning Board  
Sean Hopkins, Esq., Hopkins, Sorgi, & McCarthy PLLC  
Christopher Wood, P.E., Carmina Wood Design

# **Exhibit 1**

*Concept Site Plan [Drawing C-100 – Dated: 11/05/2024], prepared  
by Christopher Wood, P.E. of Carmina Wood Design*



# **Exhibit 2**

*Landscape Plan [L-100 – L-101 – Dated 11/05/2024], prepared by  
Christopher Wood, P.E. of Carmina Wood Design*

No.	Description	Date

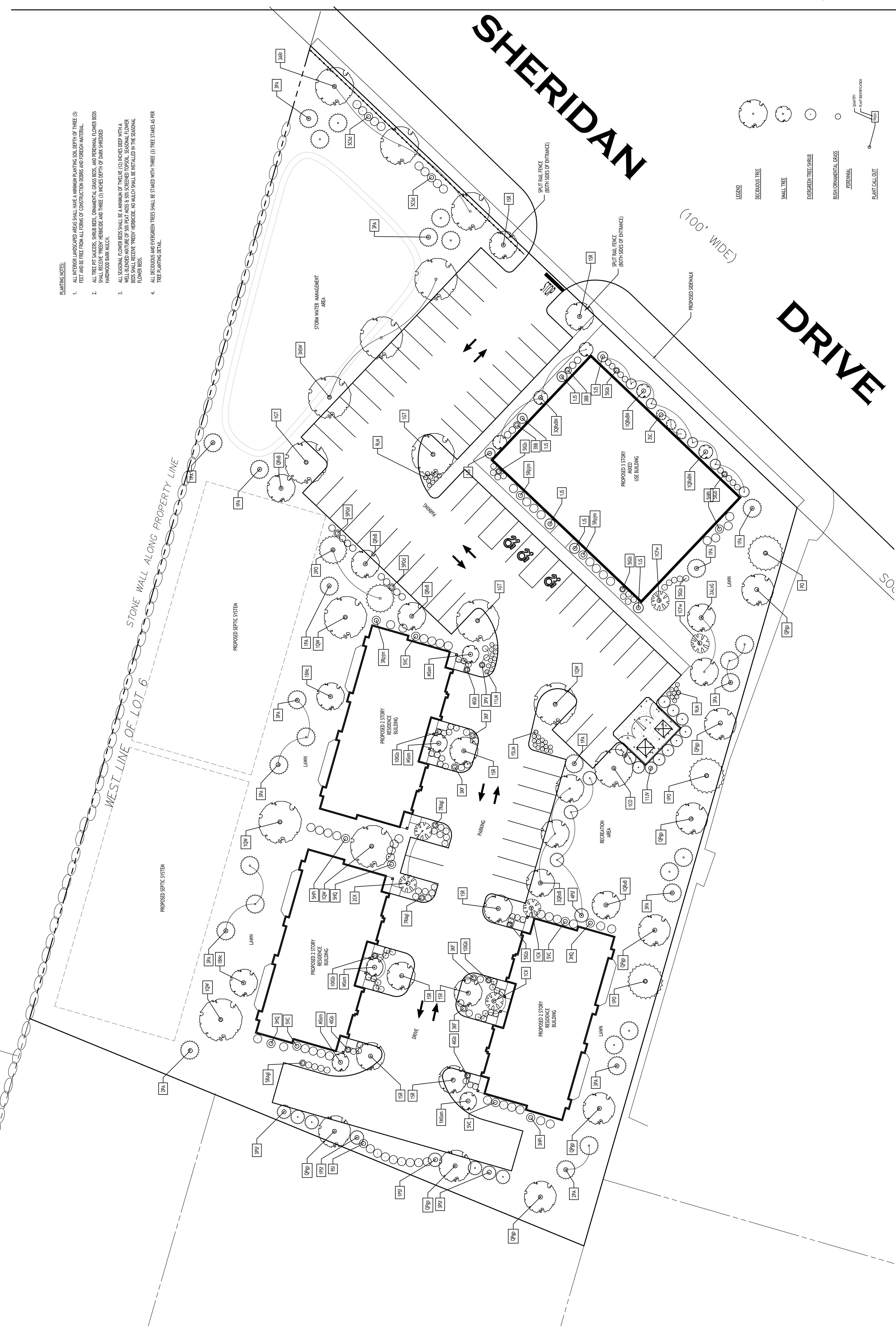
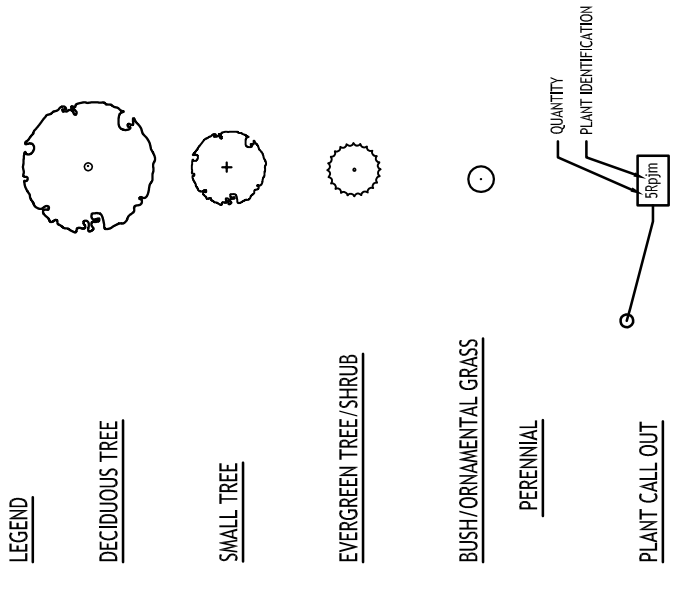
**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
**Site Landscape Plan**

Date: 09.16.24  
Drawn By: C. Wood  
Scale: As Noted  
DRAWING NO.: L-100

Project No.: 24-4106

- PLANTING NOTES:**
- ALL EXTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
  - ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE THREE" HERBICIDE AND THREE (3) INCHES DEPTH OF DARK SHREDED HARDWOOD BARK MULCH.
  - ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. SEASONAL FLOWER BEDS SHALL RECEIVE THREE" HERBICIDE. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
  - ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.



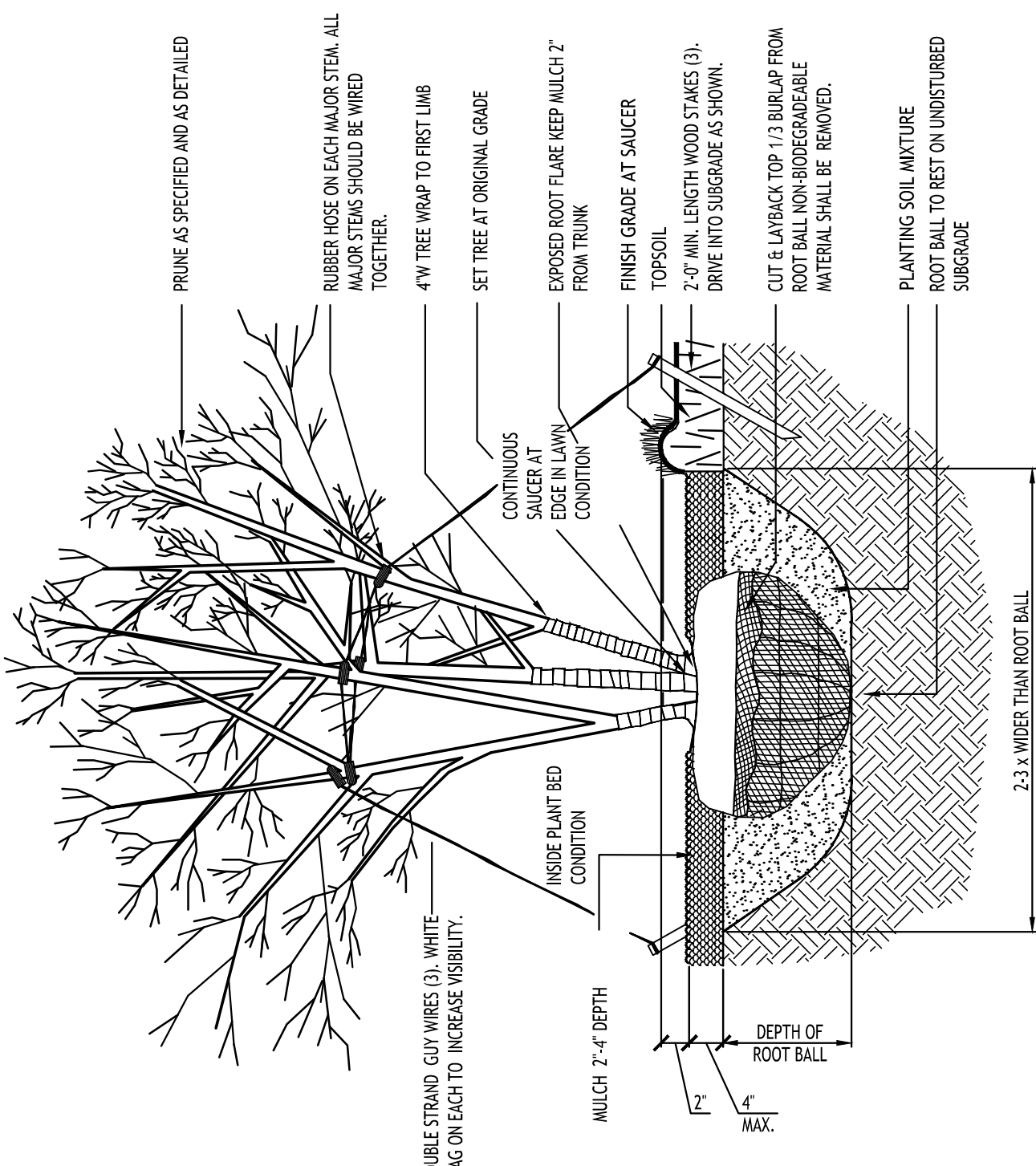
NO.	DESCRIPTION	DATE

**PRELIMINARY**  
NOT FOR CONSTRUCTION

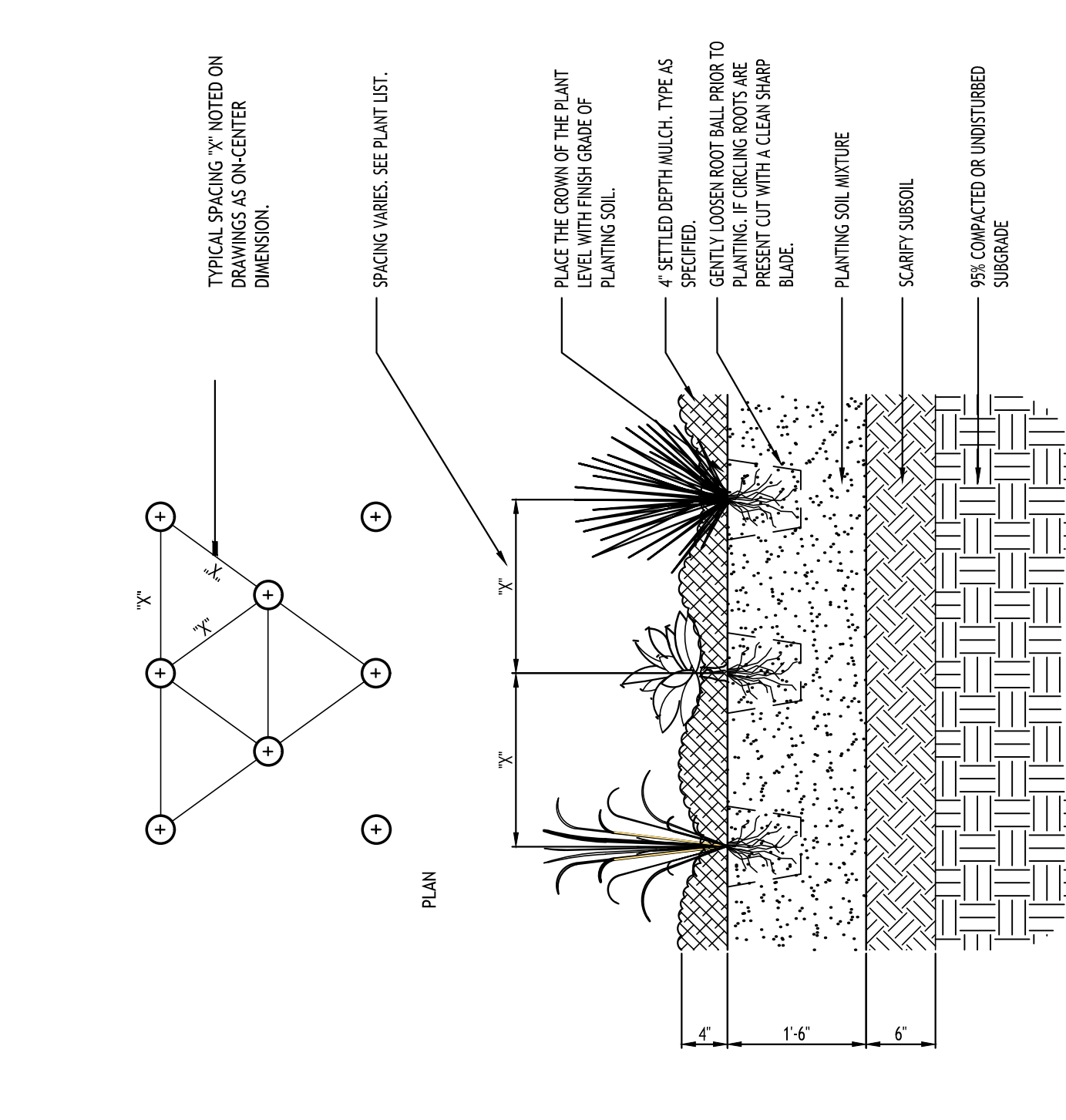
DRAWING NAME:  
**Site Details**  
**Finish Schedule**

Date: 09.16.24  
Drawn By: C. Wood  
Scale: As Noted  
DRAWING NO. **L-101**

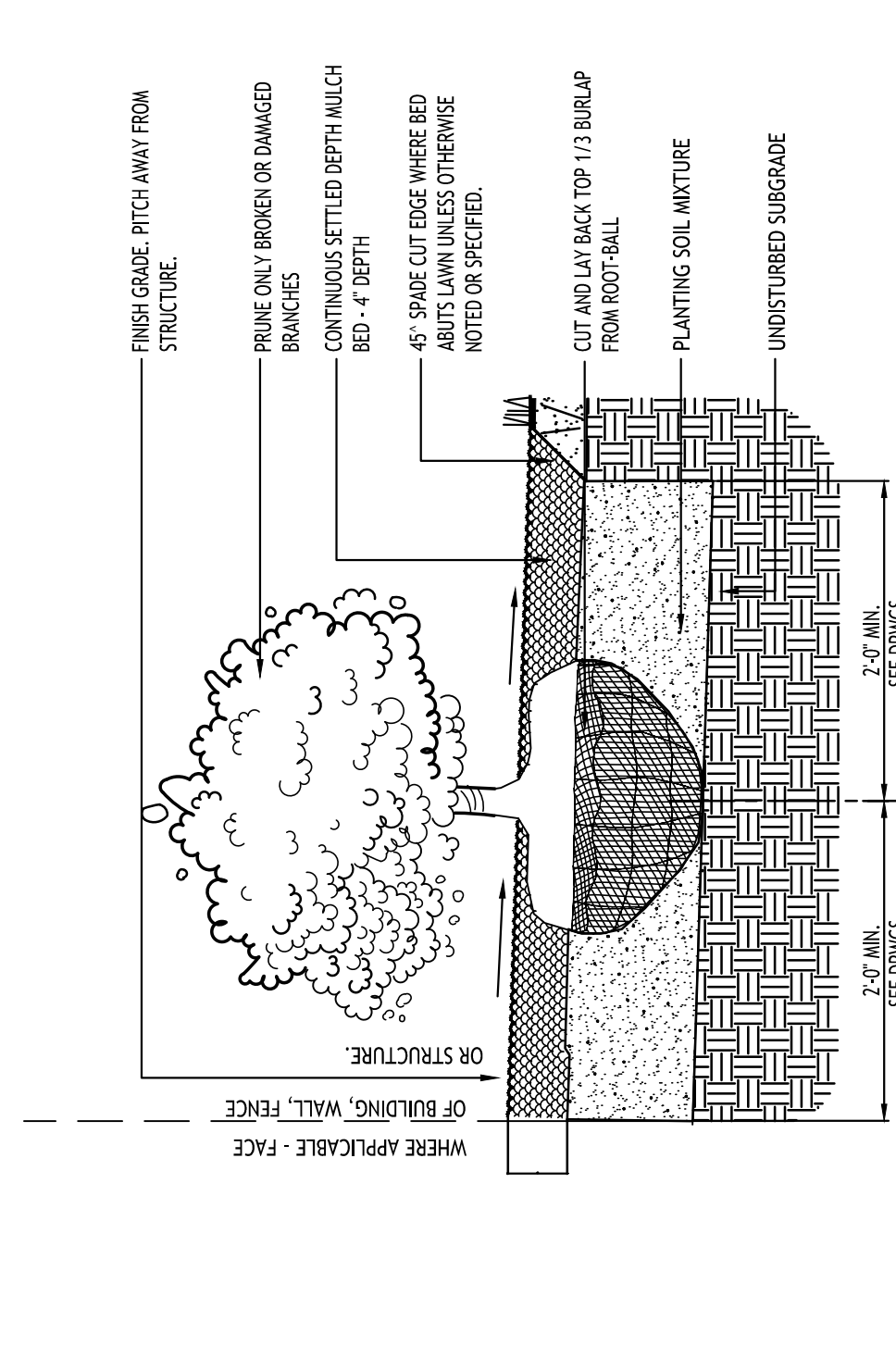
Project No: 24-4106



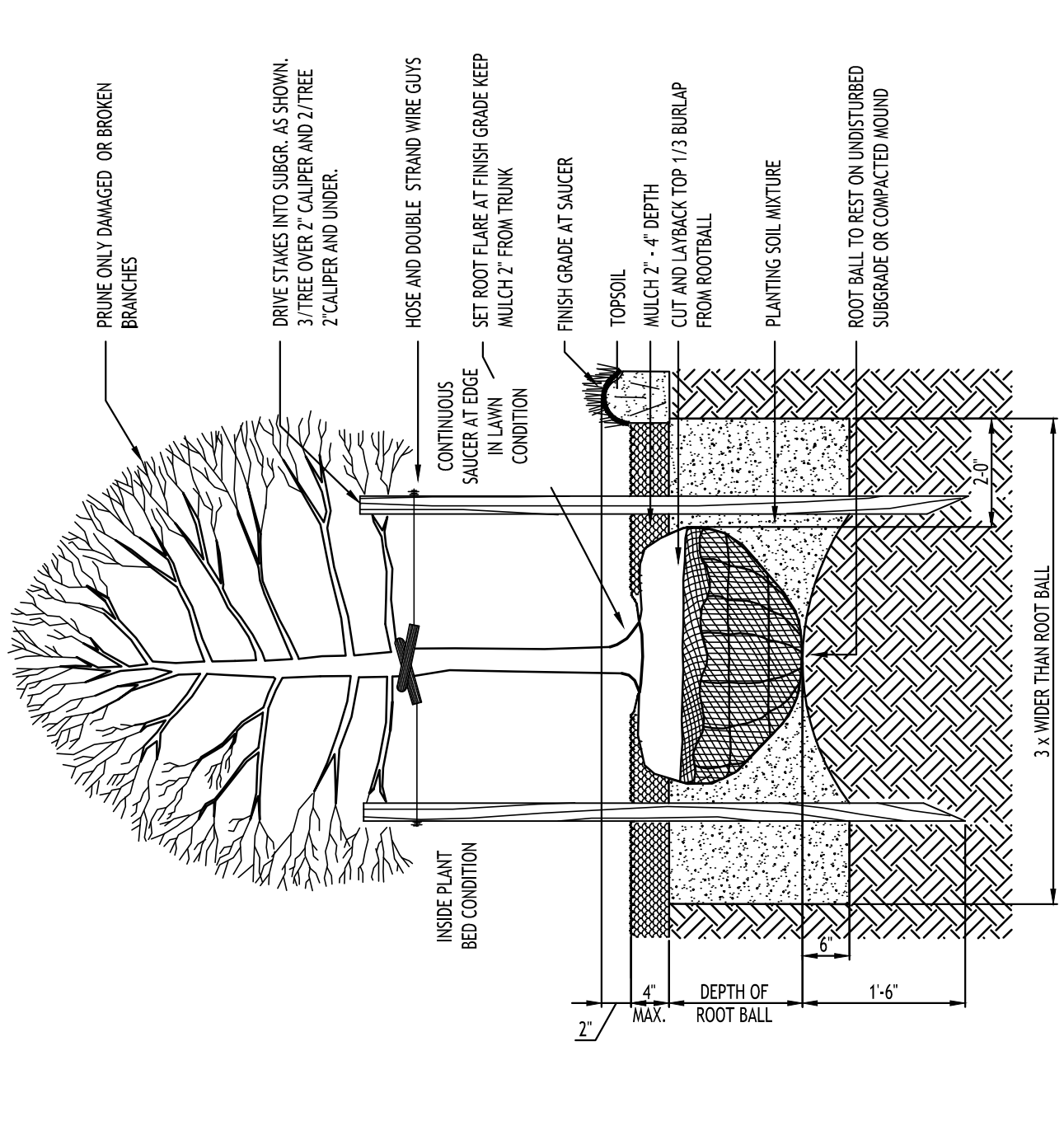
**STD. MULTI-STEM DECIDUOUS TREE PLANTING**  
NO TO SCALE



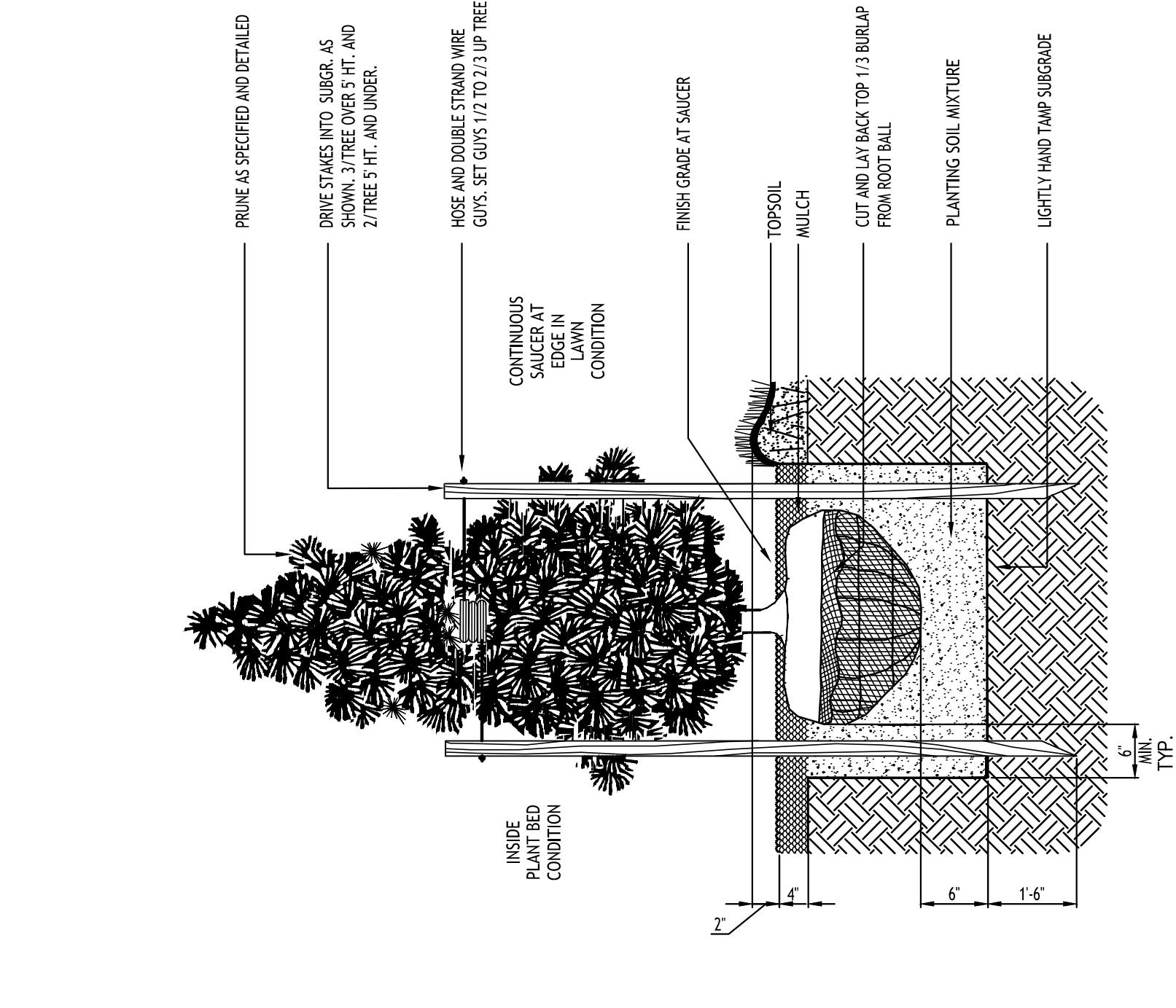
**GROUND COVER PLANT SPACING**  
NO TO SCALE



**STD. SHRUB PLANTING**  
NO TO SCALE



**STD. DECIDUOUS TREE PLANTING**  
NO TO SCALE



**STD. EVERGREEN PLANTING**  
NO TO SCALE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>DECIDUOUS TREES</b>					
ARR	3	Acer rubrum 'Redpointe'	Autumn Flame Maple	2 1/2\" - 3\" Cal.	B&B; Grows to 40 ft. high, 35 ft. wide
BN	2	Betula nigra 'Cully'	Heritage River Birch	12 ft. high min	B&B; Multi-stem, min. 3 major stems
GT	3	Gleditsia triacanthos inermis 'Skycole'	Skyline Honeylocust	2 1/2\" - 3\" Cal.	B&B; Grows to 45 ft. high, 35 ft. wide
NSW	3	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	2 1/2\" - 3\" Cal.	B&B; Grows to 30-40 ft. high and wide
QW	5	Quercus warei	Regal Prince Oak	2 1/2\" - 3\" Cal.	B&B; Grows to 75 ft. high, 60 ft. wide
CO	1	Celtis occidentalis	Hackberry	2 1/2\" - 3\" Cal.	B&B; Grows to 65 ft. high, 45 ft. wide
OPgp	8	Quercus palustris 'Green Pillar'	Green Pillar Pin Oak	2 1/2\" - 3\" Cal.	B&B; Grows to 35 ft. high, 35 ft. wide
<b>SMALL/ORNAMENTAL TREES</b>					
SR	8	Syringa reticulata	Ivory Silk Japanese Lilac Tree	8\" High Min.	B&B; Height to 20 ft., width to 20 ft.
QRxB	7	Quercus robur x bicolor	Regal Prince Oak	8\" High Min.	B&B; Height to 20 ft., width to 20 ft.
CK	4	Cornus kousa	Kousa Dogwood	8\" High Min.	B&B; Height to 18 ft., width to 20 ft.
QRxBh	5	Quercus robur x bicolor 'Nadler pp17604'	Kindred Spirit Oak	8\" High Min.	B&B; Height to 18 ft., width to 20 ft.
MSsm	5	Magnolia stellata	Star Magnolia	8\" High Min.	B&B; Height to 20 ft., width to 20 ft.
CFw	2	Cornus florida 'White Cloud'	White Dogwood	8\" High Min.	B&B; Height to 20 ft., width to 20 ft.
ALUG	2	Amelanchier x grandifolia	Autumn Brilliance Service Berry	8\" High Min.	B&B; Height to 20 ft., width to 20 ft.
<b>EVERGREEN TREES</b>					
PA	30	Picea abies 'Hillside'	Norway Spruce - upright	6\" High min.*	B&B; Full to Ground
PSF	12	Pinus strobus 'Fastigiata'	White Pine 'Fastigiata'	6\" High min.*	B&B; Full to Ground
PO	5	Picea omorika	Serbian Spruce	6\" High min.*	B&B; Full to Ground
*Measured from bottom of leader					
CSd	10	Cornus sericea	Red Twig Dogwood	36\" High Min.	No. 7 Cont.; Grows 6-9 ft. h, 7-10 ft. w
IGb	72	Ilex glabra 'chamin'	Nordic Inkberry	24\" High Min.	Grows to 4 ft. high and wide
JS	12	Juniperus scopulorum	Skyrocket juniper	4\" High Min.	B&B; Grows to 15 ft. tall, 6 ft. wide.
JV	11	Juniperus virginiana 'Emerald Sentinel'	Eastern Red Cedar	4\" High Min.	B&B; Grows to 15 ft. tall, 6 ft. wide.
Rpjm	13	Rhododendron pjim	Rhododendron	24\" High Min.	B&B; Grows to 6 ft. tall, 7 ft. wide.
SC	3	Sambucus nigra	Black Lace Elderberry	4\" High Min.	B&B; Grows to 20 ft. tall, 20 ft. wide.
HPI	13	Hydrangea paniculata 'Limelight'	Panicle Hydrangea	24\" High Min.	B&B; Grows to 20 ft. tall, 20 ft. wide.
HQ	11	Hydrangea quercifolia	Oakleaf Hydrangea	24\" High Min.	B&B; Grows to 8 ft. tall, 8 ft. wide.
CaD	76	Cotoneaster divaricatus	Peking cotoneaster	24\" High Min.	No. 5 Cont.; grows 4-6 ft. high and wide
VC	20	Viburnum carlesii	Korean Spice Viburnum	36\" High Min.	No. 7 Cont.; Grows 6-9 ft. h, 7-10 ft. w
SI	9	Salix integra 'Hakuro-Nishiki'	Dappled Willow	24\" High Min.	B&B; Grows to 8 ft. tall, 8 ft. wide.
POd	10	Physocarpus opulifolius	Ninebark	36\" High Min.	No. 5 Cont.; grows 4-6 ft. high and wide
<b>ORNAMENTAL GRASS/GROUND COVER</b>					
RaGl	19	Rhus aromatica 'Gro-low'	Gro-Low Sumac	12\" H. Min.	No. 3 Cont.; Grows 2 ft. high and 6' w
KF	12	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	No. 3 Cont.	Grows 2-5 ft. high, 2-3 ft. wide
PV	3	Panicum virgatum	Switch Grass	No. 3 Cont.	Grows 2-5 ft. high, 2-3 ft. wide
BB	6	Andropogon Gerardi	Big Blue Stem Grass	No. 3 Cont.	Grows 2-5 ft. high, 2-3 ft. wide
LM	44	Liriope muscari	Lily Turf	No. 3 Cont.	Grows 1-1.5 ft. high, 2-3 ft. wide

**NOTE:** All planting beds and trees shall receive a minimum 3-inch depth of dark shredded hardwood bark mulch

**LANDSCAPE NOTES:**

- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND 260.1
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF. THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PERFORM A PRE-PLANTING FIELD CHECK OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNER'S FIELD REPRESENTATIVE PRIOR TO ACTUAL INSTALLATION. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNER'S FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNER'S FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS INDICATE THIS SITUATION.
- ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART MULDONITE.
- STAKE TREES IMMEDIATELY FOLLOWING INSTALLATION.
- ALL PLANTED AREAS SHALL RECEIVE A 2\"/>



# **Exhibit 3**

*Amended Part I of the Full Environmental Assessment Form, dated  
November 1<sup>st</sup>, prepared by Sean Hopkins, Esq. of Hopkins, Sorgi, &  
McCarthy PLLC*

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

*i.* Total number of structures \_\_\_\_\_

*ii.* Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

*iii.* Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

*i.* Purpose of the impoundment: \_\_\_\_\_

*ii.* If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify:  
 \_\_\_\_\_

*iii.* If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

*iv.* Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

*v.* Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

*vi.* Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

*i.* What is the purpose of the excavation or dredging? \_\_\_\_\_

*ii.* How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

*iii.* Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

*iv.* Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

*v.* What is the total area to be dredged or excavated? \_\_\_\_\_ acres

*vi.* What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

*vii.* What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

*viii.* Will the excavation require blasting?  Yes  No

*ix.* Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

*i.* Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking? Yes No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

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d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

---

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site      <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

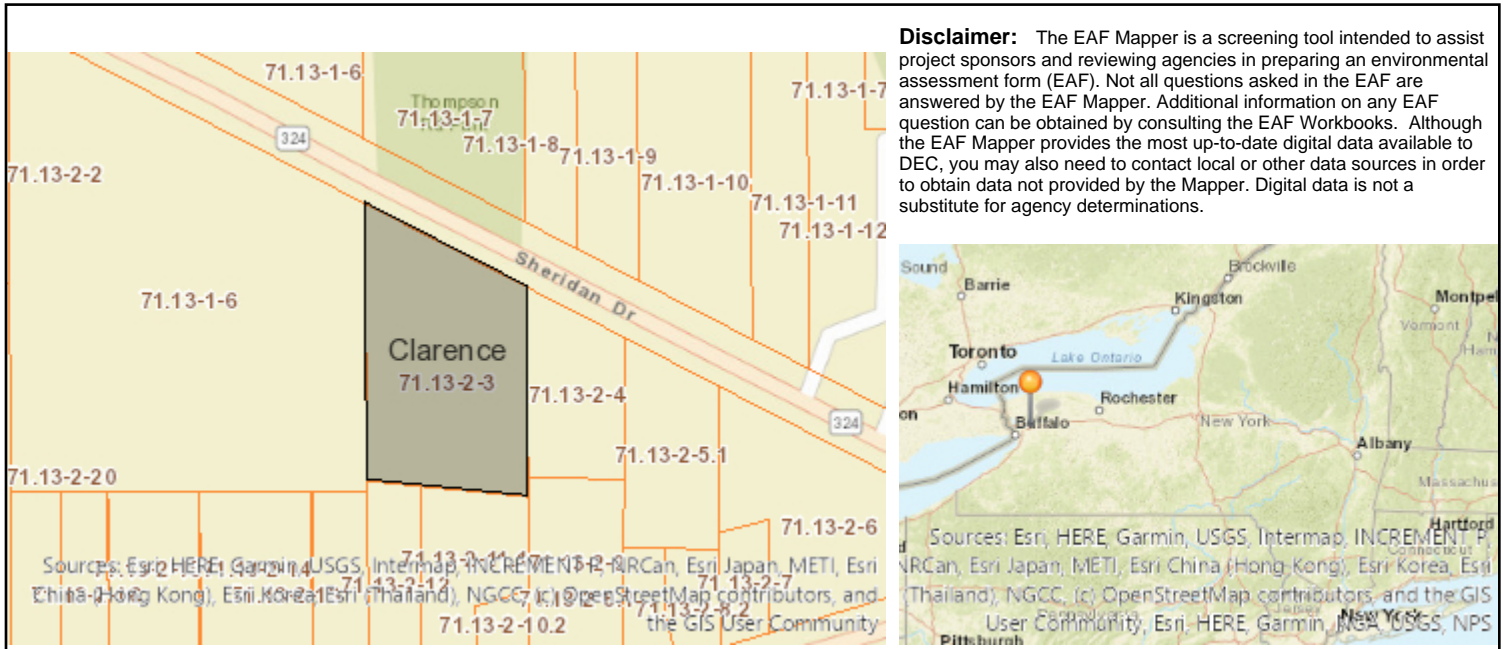
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature Sean Hopkins \_\_\_\_\_ Title \_\_\_\_\_



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



# **Exhibit 2**

*Aerial Image of the Project Site & Surrounding Development*



**Dynabrade Facility**

**Sheridan Drive**

**NYSDOT Property**

**NYSDOT Property**

**Subject Property**

**Main Street**

**Main & Sheridan Intersection**

300ft

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# **Exhibit 4**

*Architectural Renderings of the proposed mixed-use concept building design, prepared by David Sutton, R.A. of Sutton Architecture PLLC*



View of the proposed Mixed-Use Building looking southeast from Sheridan Drive



View of the proposed Mixed-Use Building looking southwest from Sheridan Drive



View of the proposed Mixed-Use Building looking south from Sheridan Drive

# **Exhibit 5**

*Architectural Renderings of the proposed residential townhome  
building designs, prepared by David Sutton, R.A. of Sutton  
Architecture PLLC*



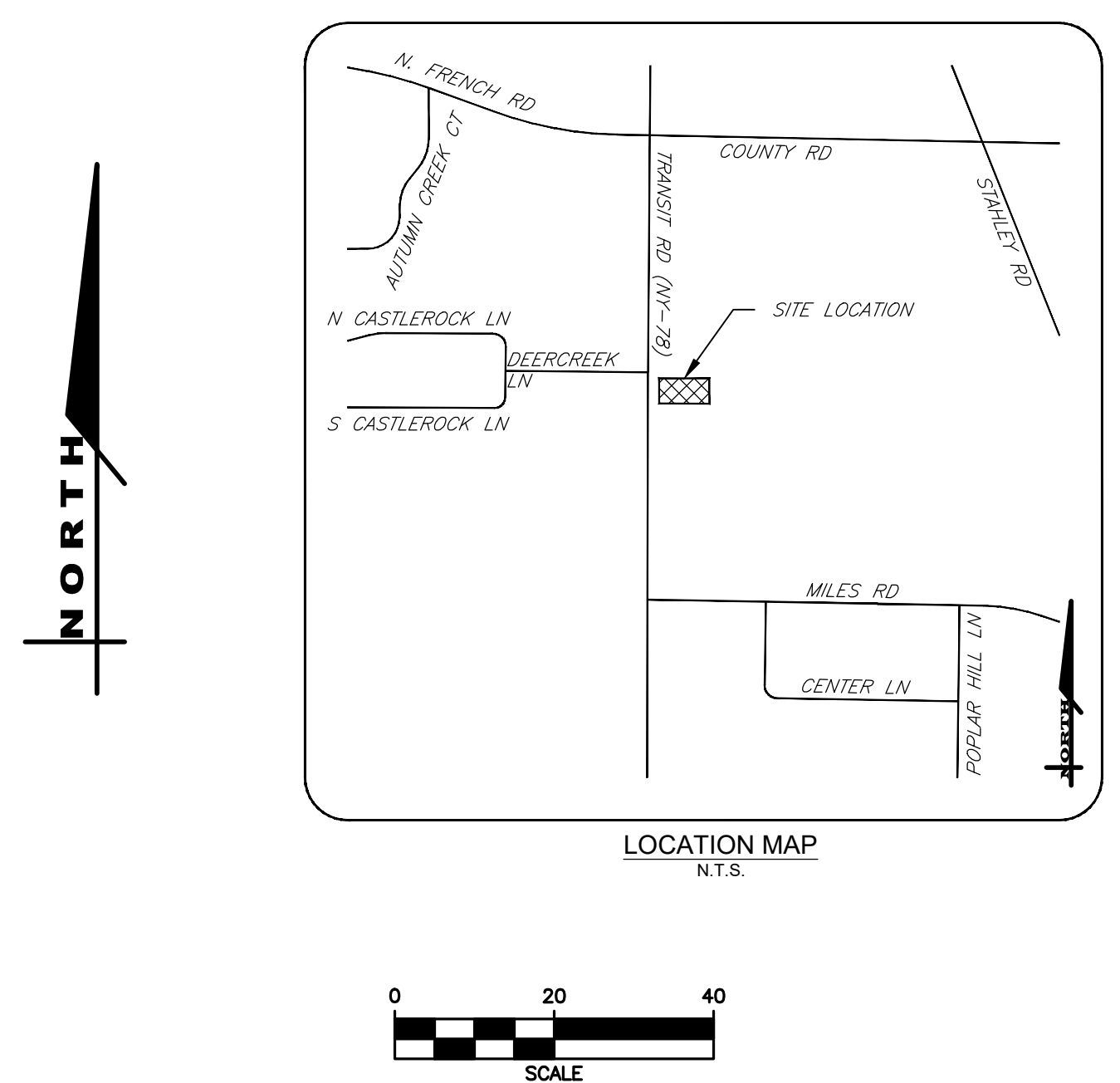
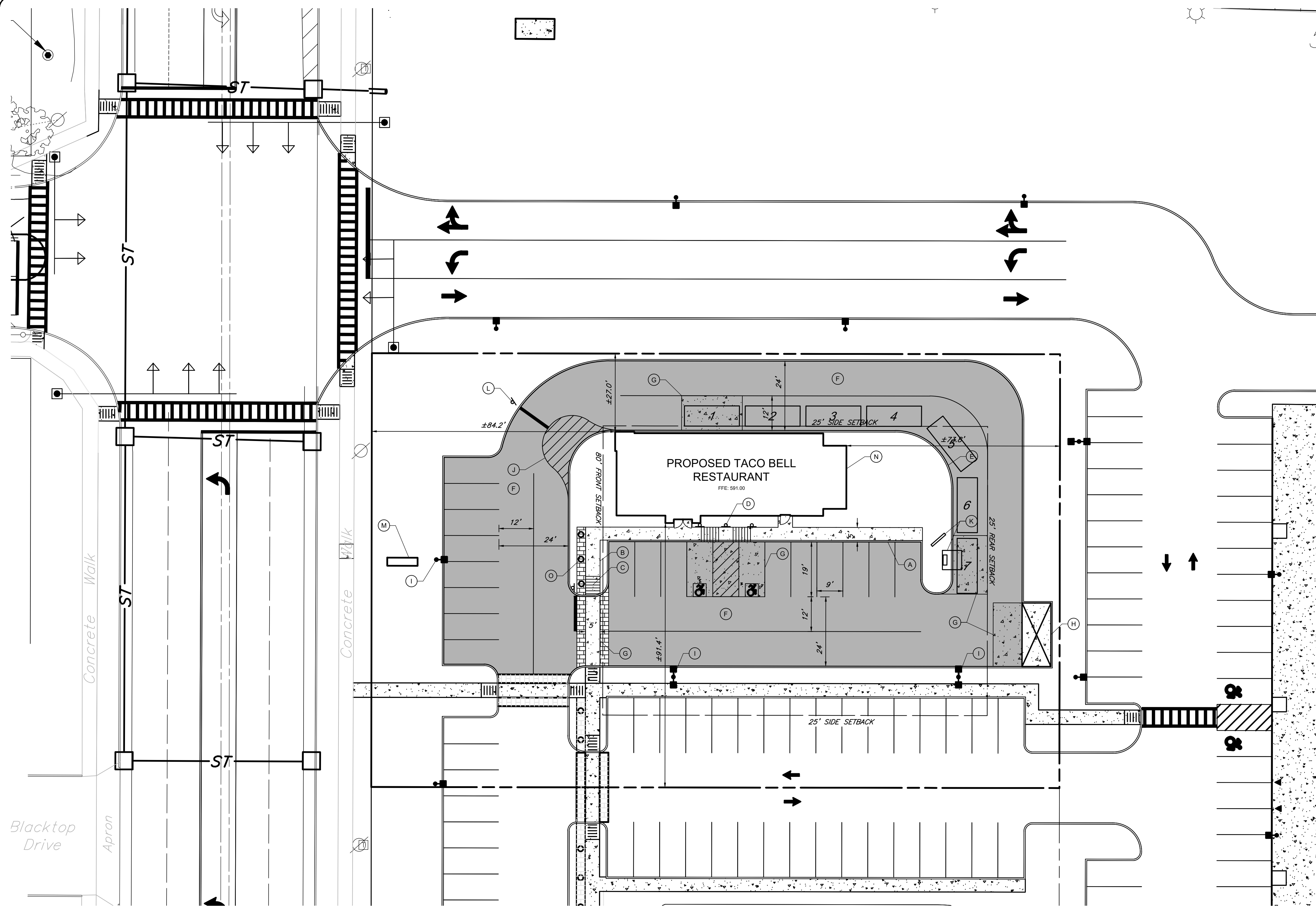
View of one of the proposed residential townhome buildings



View of one of the proposed residential townhome buildings



File: I:\Engineering\Job Files\1742-24\Drawings\Sheets\C-6.0 Truck Turn Plan.dwg, Last saved: 8/27/2024, Plot Date: 8/27/2024, Plot Style: -----



**GENERAL**

- 1. APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
- 2. MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
- 3. UTILITY STAKEOUT** - THE CONTRACTOR SHALL NOTIFY UDIG NY (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- 4. PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- 5. ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- 6. SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 7. EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- 8. MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 9. CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.
- 10. PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.
- 11. INTERIM CONDITIONS** - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WITHIN PROJECT AREA TO A STABILIZED OUTLET THROUGHOUT THE CONSTRUCTION PERIOD. THIS MAY REQUIRE INTERIM GRADING, SHIMMING OF PAVEMENT ETC. THAT IS NOT SPECIFICALLY SHOWN ON THE PLANS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 12. SPECIFICATIONS** - TECHNICAL SPECIFICATIONS, IF SUPPLIED AS PART OF CONTRACT DOCUMENTS, ARE INTENDED TO AID AND HELP DEFINE THE CONTRACTOR'S WORK SCOPE. IF DISCREPANCIES OCCUR THE CONTRACTOR SHALL REQUEST A CLARIFICATION.

**CONSTRUCTION**

- 1. STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "SITE PLAN". THE BUILDING FOOTPRINT(S), DATED 07/22/24, WERE PROVIDED BY DESIGN PLUS. DISCREPANCIES WITH BUILDING(S), CONTROL POINTS, AND/OR THE DIMENSIONS SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
- 2. BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM SURVEY OF: VAC. LOT TRANSIT ROAD, TOWN OF CLARENCE PREPARED BY MILLARD, MACKAY & DELLES LAND SURVEYORS, LLP, DATED 08/01/2019 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- 3. LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- 4. DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
- 5. COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- 6. STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREAMETHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNER'S ON-SITE REPRESENTATIVE.
- 7. DOCUMENTATION REQUIREMENTS** - THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING THE OWNER OR ENGINEER WITH THE PRECISE LOCATIONS OF BLIND CONNECTIONS (I.E. WYE LOCATIONS), AS WELL AS THE CONFIGURATIONS OF LATERALS AND SERVICES TO FACILITATE THE CREATION OF AS-BUILT MAPS. THIS INFORMATION PROVIDED SHOULD BE ABLE TO BE RECREATED ON THE GROUND SURFACE, SUCH AS MEASUREMENTS FROM BUILT INFRASTRUCTURE OR COORDINATES ON THE PROJECT DATUM, OR AS AGREED UPON DURING THE PRECONSTRUCTION MEETING. ANY EXPENSES RELATED TO CONFIRMING UTILITY LOCATIONS THAT WERE NOT RECORDED DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 8. CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
  - REMOVAL OF ANY CONSTRUCTION DEBRIS.
  - CLEANING PAVEMENT AND WALKWAY SURFACES.
  - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
  - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
  - PROVIDING REDLINES FOR RECORD DRAWING.
  - COMPLETION OF FINAL PUNCH LIST ITEMS.

**SITE KEYNOTES**

- (A) RAISED SIDEWALK WITH INTEGRAL CURBING, WIDTH SHOWN ON PLANS
- (B) CONCRETE SIDEWALK, WIDTH SHOWN ON PLANS
- (C) ACCESSIBLE RAMP
- (D) ACCESSIBLE PARKING AND SIGNAGE
- (E) 18" CONCRETE CURBING
- (F) HEAVY DUTY ASPHALT PAVEMENT
- (G) HEAVY DUTY CONCRETE PAVEMENT
- (H) DUMPSTER ENCLOSURE
- (I) LIGHT FIXTURE TO BE INSTALLED BY OTHERS, TYP.
- (J) STRIPED AREA. EDGE LINES TO BE SW/SL4" AND STRIPES ARE TO BE SW/SL4" 2'-0" O.C. @45° TO THE EDGE LINES.
- (K) MENU BOARD, SPEAKER POST & ORDERING CANOPY. DRIVE-THRU PICK UP WINDOW, RE: ARCH
- (L) STOP SIGN AND BAR
- (M) BUSINESS SIGN, RE: ARCH
- (N) WALK-IN FREEZER, RE: ARCH
- (O) BOLLARD LIGHTING, TYP OF 3.

**PROJECT STATISTICS**

- 1. GENERAL:**
    - 1.1 PROPERTY OWNER** - QUICK SERVICE REALCO, LLC.
    - 1.2 PROPERTY ADDRESS** - 6625 TRANSIT ROAD CLARENCE, NEW YORK 14051
    - 1.3 TAX ACCOUNT** - 43.05-2-1.11
  - 2. ZONING REGULATIONS:**
    - 2.1 ZONING DISTRICT** - COMMERCIAL
    - 2.2 CODE REQUIREMENTS**

	REQUIRED	PROVIDED	VARIANCE REQ'D
MINIMUM FRONT YARD SETBACK	80'	±84.2'	NO
MINIMUM REAR YARD SETBACK	25'	±73.8'	NO
MINIMUM SIDE YARD SETBACK	25'	±27.0'	NO
MAXIMUM BUILDING HEIGHT	45'	<45'	NO
MINIMUM GREENSPACE	20%	>20%	NO*
MINIMUM INTERIOR GREENSPACE	8%	>8%	NO*
MINIMUM PARKING SPACE SIZE	9'x19'	9'x19'	NO
- 3. PARCEL STATISTICS:**
  - 3.1 AREA** - ±0.82 ACRES
  - 3.2 EXISTING CONDITIONS:** VACANT COMMERCIAL
  - 3.3 PROPOSED CONDITIONS:** ±2,250 SF DRIVE-THRU RESTAURANT, 27 SEATS.
- \*FEATURES SHOWN IN THIS DRAWING SET WERE TAKEN DIRECTLY FROM THE APPROVED SET OF PLANS PREPARED BY CARRIMWOOD DESIGN FOR THE LARGER OVERALL DEVELOPMENT PLAN WITH NO CHANGES PROPOSED. AS PART OF A LARGER OVERALL DEVELOPMENT THIS PROJECT AS DESIGNED IN THE APPROVED PLANS AND AS SHOWN IN THIS SET OF PLANS IS IN COMPLIANCE WITH THE TOWN OF CLARENCE ZONING CRITERIA.
- \*\*THE MINIMUM REQUIRED PARKING COUNT IS REPRESENTATIVE OF THE LARGER OVERALL DEVELOPMENT AND NOT JUST THIS PROJECT.

**MARATHON ENGINEERING**  
 ROCHESTER LOCATION  
 39 CASCADE DRIVE  
 ROCHESTER, NY 14614  
 585-458-7770  
 ITHACA LOCATION  
 840 HANSHAW RD, STE 6  
 ITHACA, NY 14850  
 607-241-2917  
 www.marathoneng.com

**SITE DEVELOPMENT PLANS**  
 for  
**QUICK SERVICE REALCO, LLC.**  
 STATE OF NEW YORK  
 TRANSIT ROAD (NY-78)  
 ERIE COUNTY  
 TOWN OF CLARENCE CENTER

JOB NO:	1742-24
SCALE:	1" = 20'
DRAWN:	RLJ
DESIGNED:	AMF
DATE:	7/09/24

**REVISIONS**

DATE	BY	REVISION

IF A PROFESSIONAL ENGINEER OR ARCHITECT HAS REVIEWED THIS DRAWING FOR ANY PART OF THE PROJECT, THE REVIEWER'S NAME AND TITLE SHALL BE SHOWN ON THIS DRAWING. THE REVIEWER'S REVIEW IS LIMITED TO THE REVIEWED PORTION OF THE DRAWING. THE REVIEWER'S REVIEW DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. THE REVIEWER'S REVIEW IS LIMITED TO THE REVIEWED PORTION OF THE DRAWING. THE REVIEWER'S REVIEW DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING.

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STATE OF NEW YORK  
 ADAM M. FISHEL  
 PROFESSIONAL ENGINEER  
 NO. 086648

DRAWING TITLE: Site Plan	
1 of 9 SHEET No:	<b>C-1.0</b>
1742-24 JOB No:	DRAWING No:

---

**Exhibit 6 – Building Material and Walkable  
Streetscape Inspiration Photos**

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**BUILDING MATERIAL INSPIRATION 6625 Transit Rd / Clarence, NY / Proposed Mixed Use Project / Concept Design 2.1.23**



**METAL OVERHANG**



**UNIQUE WINDOW DESIGNS**



**STACKED STONE / IPE WOOD**



**HARDY BOARD/BRICK/GLASS FACADE**



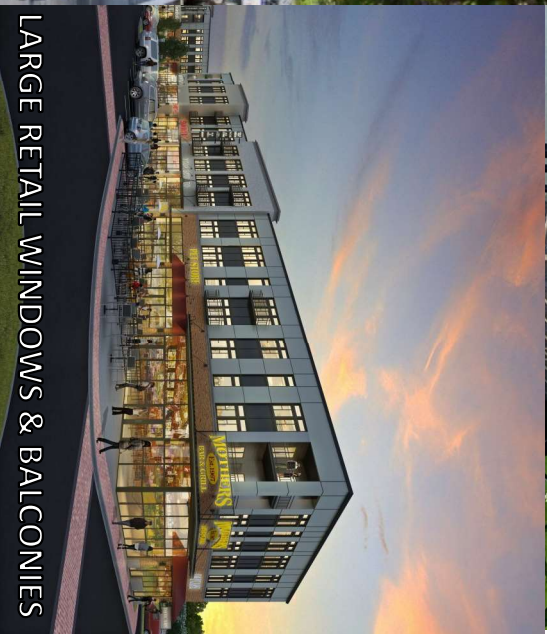
**BRICK COLOR SCHEME**



**METAL PROJECTING SIGNS**



**OUTDOOR PATIOS/METAL FENCING**



**LARGE RETAIL WINDOWS & BALCONIES**

**WALKABLE STREETSCAPE INSPIRATION 6625 Transit Rd / Clarence, NY / Proposed Mixed Use Project / Concept Design**



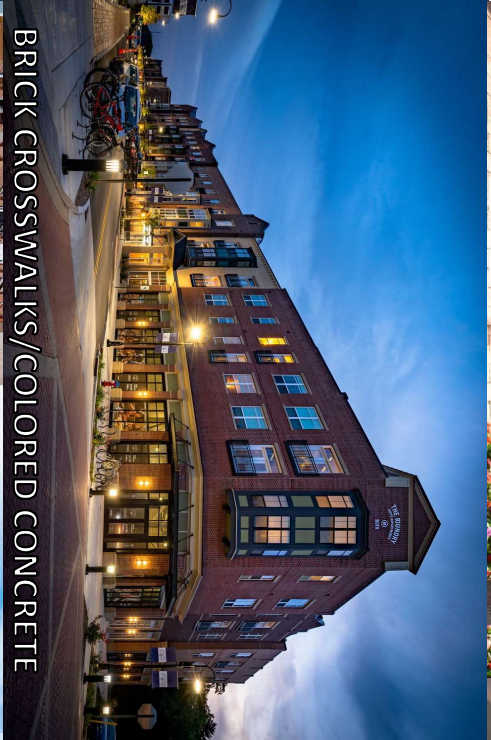
**PEDESTRIAN FRIENDLY**



**OUTDOOR BENCHES**



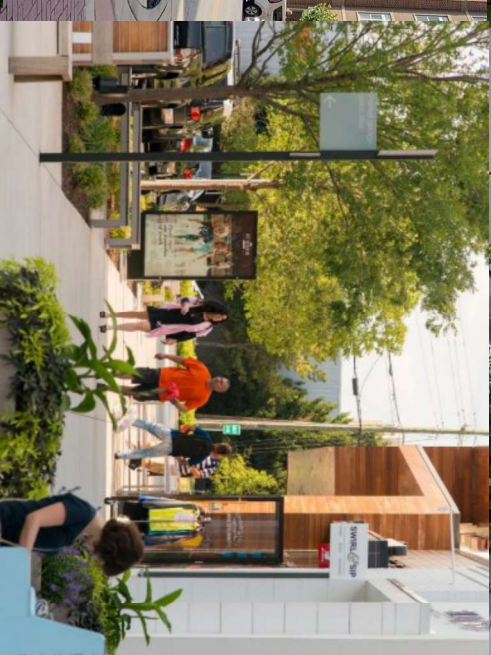
**RESIDENTIAL ENVIRONMENT**



**BRICK CROSSWALKS/COLORED CONCRETE**



**ENHANCED SIDEWALKS**



**GREENERY THROUGHOUT**



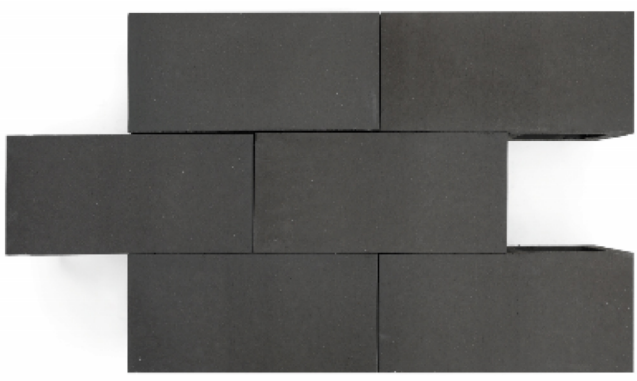
**STREETPOLES/PROJECTING SIGN**



**UNIFORM SIGNAGE**



**GREENERY THROUGHOUT**



## Midnight Black

**Size Pictured:**  
8x8x16 Atlas Structural Brick

**Available In:**

- Structural Brick
- Thin Brick
- Face Brick
- Pavers

[BROWSE ALL SIZES](#)









## Platinum

**Size Pictured:**

8x8x16 Atlas Structural Brick

**Available In:**

Structural Brick

Thin Brick

Face Brick

[BROWSE ALL SIZES](#)













**NOTES:**

1. ALL RADI SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
2. ALL DISTURBED AREAS SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
3. ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
4. CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
5. ALL HANDICAPPED RAMPS OR SIDEWALKS THAT ARE FLUSH SHALL HAVE ADA COMPLIANT TACTILE WARNING STRIPS WHERE ENTERING PARKING AREAS/DRIVEWAYS
6. BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
7. ALL SIDEWALKS 5' WIDE UNLESS OTHERWISE NOTED

**GENERAL NOTES:**

1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

**NOTES:**

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CLARENCE'S SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISIONS BY THE TOWN ENGINEER.
2. FILL SHALL BE PLACED AND SATISFACTORILY COMPACTED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES (TYPICAL), AND MUST BE APPROVED BY THE SUPERVISING PROJECT ENGINEER.
3. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATION BEFORE BEGINNING WORK AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.
4. STUMPS AND BRUSH SHALL NOT BE BURIED IN TOWN.

SITE DATA		
SITE AREA = 2.92± ACRES		
PROJECT AREA = 36,154± SF = 0.83± ACRES		
ZONED: I-1 INDUSTRIAL		
SITE USE: PROPOSED 5,760 SF COLD STORAGE BUILDING		
SETBACKS	REQUIRED	PROVIDED
FRONT:	80 FT	86.0 FT
SIDE:	20 FT	21.0 FT
REAR:	25 FT	222.5 FT
*EXISTING BUILDING		

**SITE LEGEND**

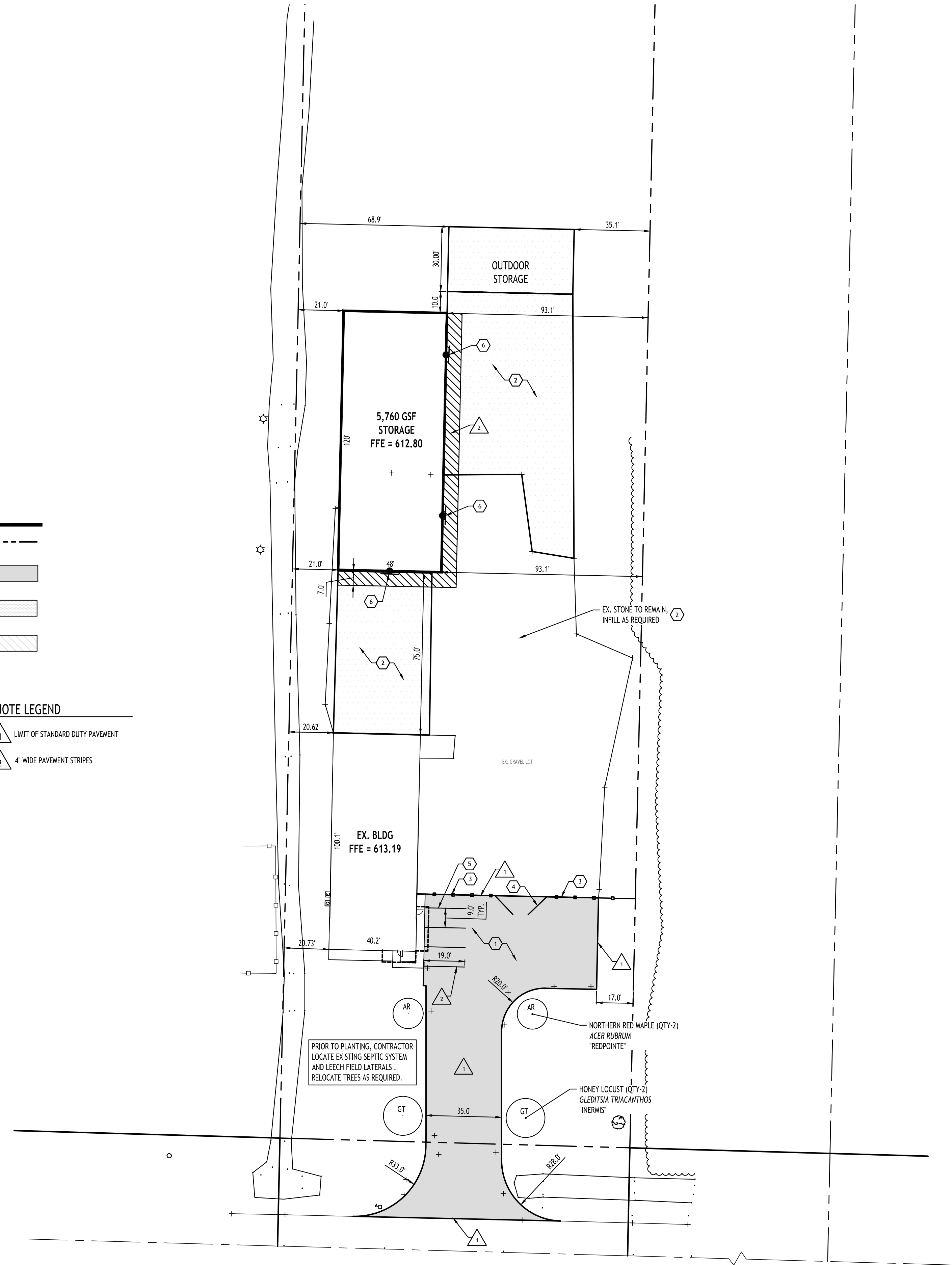
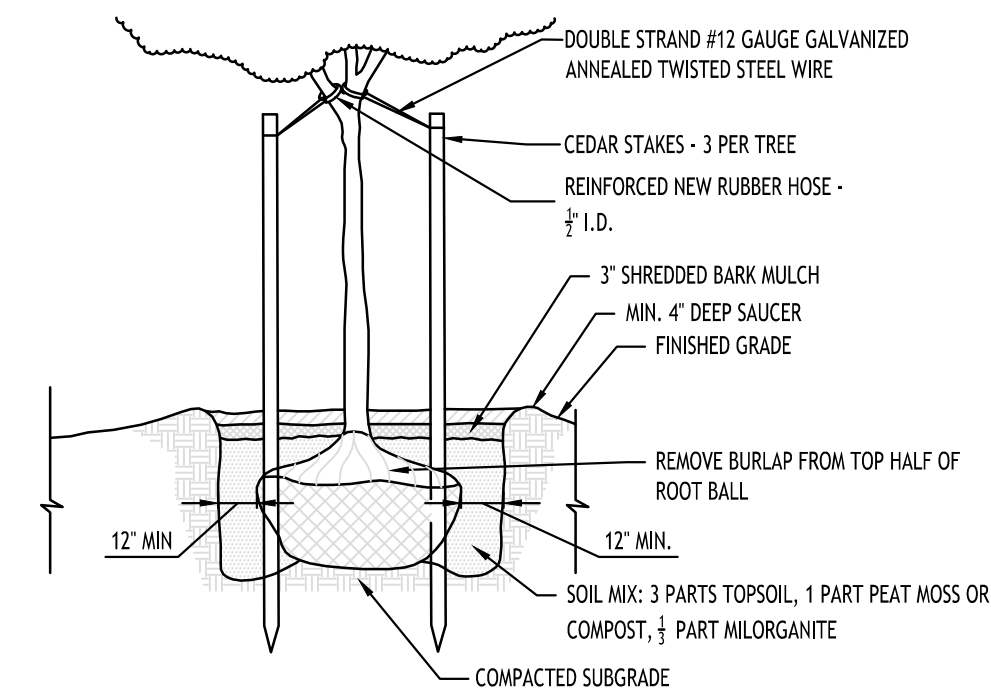
- PROPERTY LINE
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED STONE PAVEMENT
- PROPOSED FIRE LANE

**DETAIL LEGEND** SEE SITE DETAIL SHEET

- 1 HEAVY DUTY ASPHALT - 75,000 LB. RATING
- 2 HEAVY DUTY STONE SURFACING - 75,000 LB. RATING
- 3 CHAIN LINK FENCE
- 4 VEHICLE ACCESS GATE WITH MOUNTED KNOX BOX
- 5 90° PARKING STALL
- 6 FIRE LANE - NO PARKING SIGNAGE MOUNTED ON BUILDING FACE. SIGN PLACEMENT TO BE COORDINATED WITH ARCHITECTURAL PLANS

**NOTE LEGEND**

- 1 LIMIT OF STANDARD DUTY PAVEMENT
- 2 4' WIDE PAVEMENT STRIPES



**Proposed Building Addition**

9780 County Road  
Clarence, New York 14032  
SBL: 30.00-4-41.2

REVISIONS:	No.	Description	Date
	1	Rev. Per Town Comments	9/26/2024

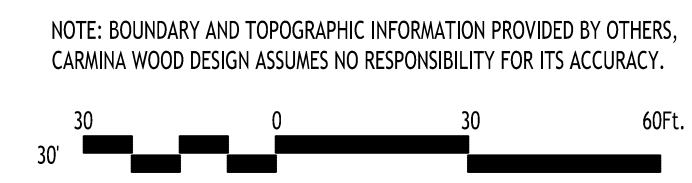
**DRAWING NAME:**  
Site Plan

Date: 7.17.24  
Drawn By: C. Wood  
Scale: As Noted

**DRAWING NO.:**

**C-100**

Project No: 23-4006





# CARMINAWOOD DESIGN

September 27, 2024

Jonathan Bleuer  
Director of Community Development  
Town of Clarence Office of Planning and Zoning  
One Town Place  
Clarence, NY 14031

Re: Proposed Storage Warehouse  
9780 County Road  
Clarence Center, NY 14032

Mr. Bleuer:

On behalf of our client, Stately Builders/SB22 Properties LLC, please find enclosed the following documents for processing and review:

- (1) Comment Response Letter
- (5) Revised Site Layout Plan C-100
- (5) Revised Grading, Drainage & Utility Plan C-200

The following sections of this letter have been prepared for the purpose of responding to the comments from the Town of Clarence Planning Board Executive Committee meeting of September 9<sup>th</sup>, 2024, regarding the application of the proposed warehouse. For convenience, each of the comments are below in *italics*, followed by a response.

## **PLANNING BOARD EXECUTIVE COMMITTEE COMMENTS:**

1. *Confirm if gate at the newly constructed fence will be the same material as the fence.*

Response: Owner to confirm. Owner is anticipating use of an electric sliding gate which may not be able to handle the weight of a board-on-board gate. Alternate would be chain link gate with privacy slats.

2. *The Board recommends additional landscaping within the grass area in front of the existing building and along the driveway over conservation board review.*

Response: Acknowledged. The owner accepts and has provided landscaped beds at front of existing building. Shade trees are now proposed on the attached revised Site Layout Plan, C-

100, along the proposed driveway. The grass area in front of the existing building contains the site septic system and would not be optimal for trees/planning.

3. *The Board recommends installing asphalt pavement to the limits of the fence*

Response: Acknowledged. Site Plan C-100 attached has been revised to show pavement to the limits of the existing fence.

4. *Confirm the height of the garage doors on the proposed warehouse*

Response: Owner confirmed the height of doors will be 14-FT.

5. *Confirm if there will be any site lighting, including lighting at the proposed doors.*

Response: Owner confirmed that site lighting and door lighting is not part of the proposed work but will consider in a future update.

6. *The Board presented concerns with dust control at the existing driveway.*

Response: Additional asphalt paving has been added to the limits of the existing fence as well as replacing the existing stone driveway. Pavement at these areas will reduce dust produced from vehicles entering/exiting the property. See attached revised sheet C-100.

7. *Similar to the updates at the existing building, confirm if any signage (Stately Builders logo) will be provided on the proposed warehouse building.*

Response: Owner confirmed that similar signage will not be provided at the proposed building.

8. *Confirm distance to hydrants is less than 800-FT*

Response: Nearest hydrant to West along County Rd is 710-LF to furthest point of proposed building. Nearest hydrant to the East along County Rd is 739-LF to furthest point of proposed building.

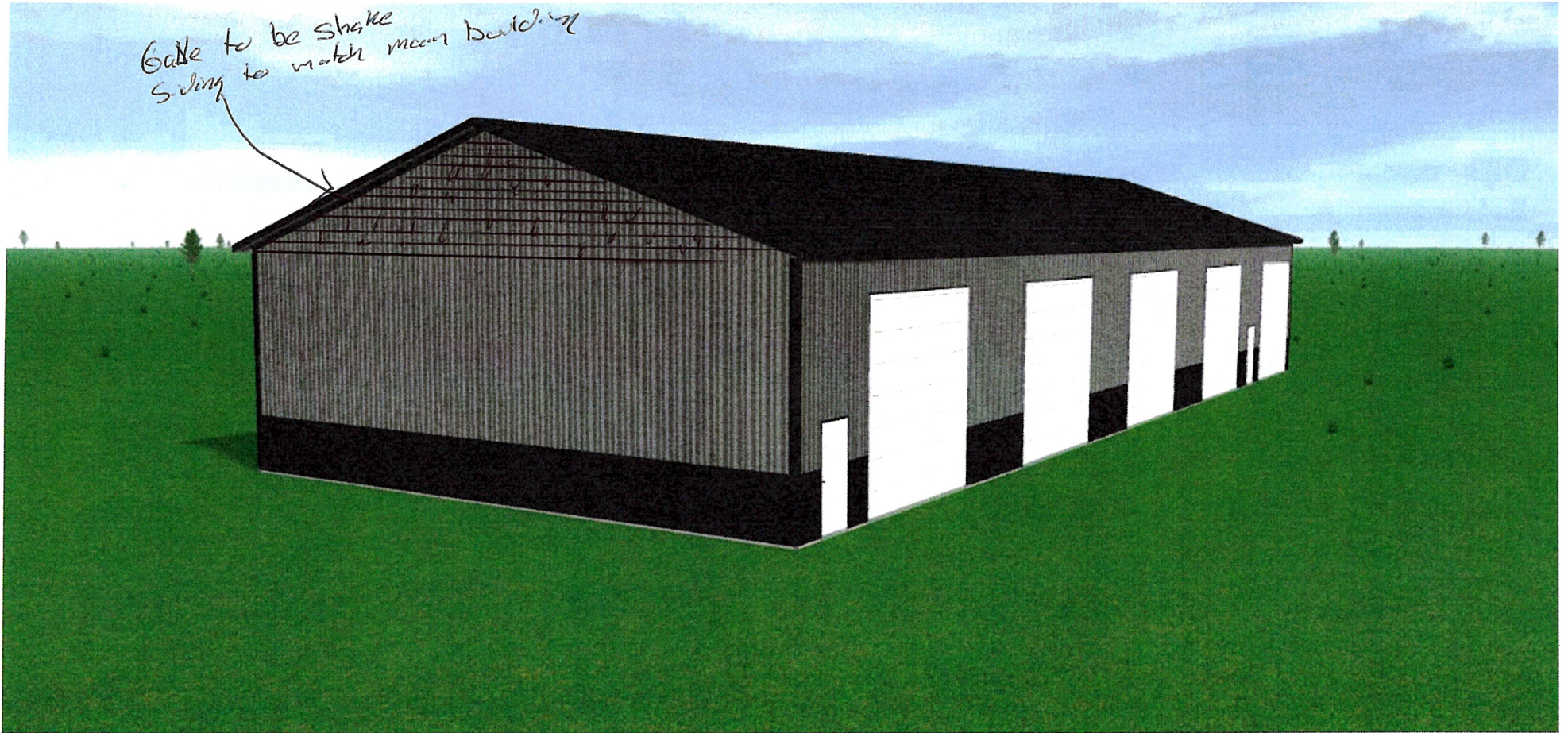
If you should have any questions regarding this letter, please contact me at (716) 469-2308 or at [dlapietra@carminawooddesign.com](mailto:dlapietra@carminawooddesign.com). Thank you.

Sincerely,



Dan LaPietra, EIT | Civil Engineering





# *Short Environmental Assessment Form*

## *Part 1 - Project Information*


### Instructions for Completing

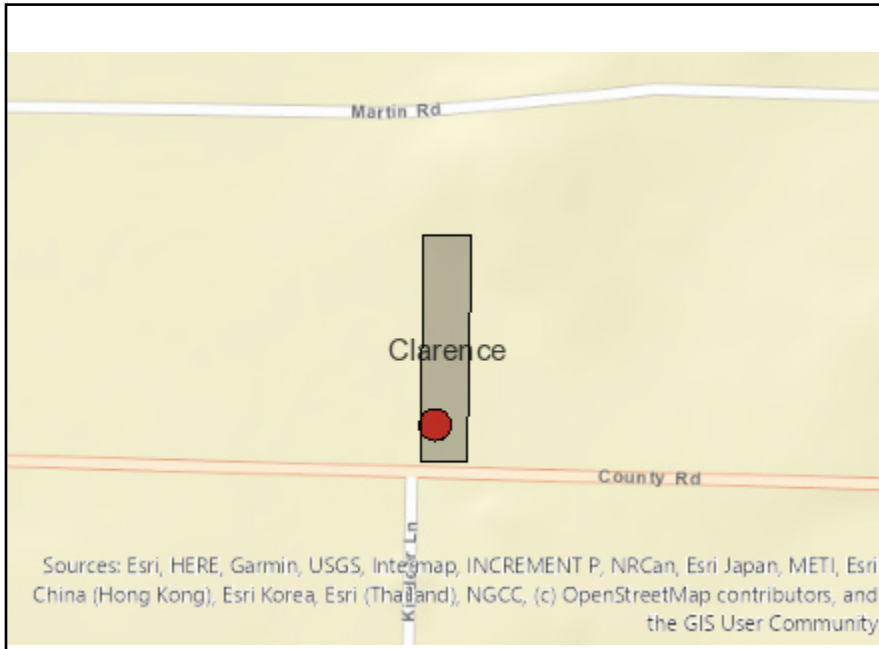
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5.     Urban           Rural (non-agriculture)           Industrial           Commercial           Residential (suburban)			
<input type="checkbox"/> Forest           Agriculture                           Aquatic           Other(Specify):			
<input type="checkbox"/> Parkland			

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest    Agricultural/grasslands    Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban    Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: _____ Signature:  _____ Title: _____		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Short-eared Owl
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

Project:

Date:

***Short Environmental Assessment Form  
Part 2 - Impact Assessment***

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

### ***Short Environmental Assessment Form Part 3 Determination of Significance***

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)

## **SEAF Part 3b Reasons Supporting this Determination:**

### **Stately Builders Accessory Building: 9780 County Road – Clarence, NY**

**11-13-2024**

The Proposed Project involves the construction of a 5,760 sq.ft. accessory building located at 9780 County Road – SBL: 30.00-4-41.2 (the “Project Site”) consisting of 2.9 acres in the Town of Clarence. The Project Site is zoned as Industrial Business Park (“I”) pursuant to the Town of Clarence Zoning Map. The Project Site currently contains an existing principal structure, a parking lot, and associated facilities. Associated improvements to the paved areas, stormwater management systems, and the site landscaping are also proposed. After a thorough review by the Town of Clarence and interested agencies, it has been determined that the Proposed Project should not have significant adverse impacts to the built and natural environment.

Pursuant to §229-100 of the Town of Clarence Zoning Code, warehousing and assembly operations are permitted uses in the Industrial Business Park zone. The Proposed Project is not in sharp contrast to nearby land use patterns, which include light industrial operations and single-family residences. The proposed accessory structure will use building materials that are compatible with the surrounding architectural styles. Clarence 2030, the Town’s Comprehensive Plan, encourages the development and adaptive reuse of industrial space in the Town of Clarence. The Proposed Project is in keeping with the recommended land use, design guidelines, and site layout for the area.

The Project Sponsor prepared a landscape plan as part of the Proposed Project, and said landscape plan shall be subject to approval from the Town of Clarence Landscape Review Committee prior to site disturbance. There will be limited clearing of existing vegetation as part of the Proposed Project. As part of the Site Plan review, all proposed lighting shall be dark sky compliant and shielded to ensure no light pollution or spillage will occur off site. The potential impact from noise, odors and lighting may minimally increase from the property’s current use. However, these impacts will be mitigated through the installation of dark-sky compliant lighting, the requirement of dumpster screening to minimize odors, and any necessary landscape or fence buffering to reduce noise. Noise produced by the Proposed Project will not be a significant increase in the ambient noise in the area. There will be a temporary unavoidable impact of noise, odor, and lighting during construction; however, construction is anticipated in one phase.

A Stormwater Pollution Prevention Plan (SWPPP) is not anticipated for the Proposed Project because it does not disturb more than one acre of land. Alterations and additions to the existing stormwater management system on the Project Site shall be reviewed and approved by the Town Engineering Department prior to site disturbance. The Project Site disturbance is considered minimal due to the absence of documented environmentally sensitive features that otherwise could be negatively impacted. The Project Site is not located within or adjacent to a Critical Environmental Area (“CEA”) and does not include a known source of regulated hazardous materials detrimental to human health or environmental resources. The Project Site is adjacent to regulated wetland; however, the Proposed Project would not physically alter or encroach into the wetland. Additionally, the Project Site is not located within the 100-year flood plan.



There are no unique or unusual land forms documented at this project site. Any proposals for deep excavations are subject to a hydrogeologic/geotechnical evaluation report as required by the Town of Clarence Engineering Department. Such report shall include, but not be limited to, analysis of the deep soils, soil stability, proximity to existing structures, basin constructability, groundwater, dewatering operations, and ability to hold water. The proposed project may cause an increase in the use of energy compared to the site's current use; however, overall use of power will not exceed the amount of power currently available at the site. The Project Site does not fall within an area designated as sensitive by the New York State Historic Preservation Office archaeological site inventory. Any potentially significant adverse environmental impact is mitigated due to the previous site disturbance on the Project Site. The proposed project will not result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.

The Project Sponsor shall obtain all appropriate permits from Erie County for any proposed modifications to the onsite septic system and water connections. Any enhancements to the septic system and water system shall be designed in accordance with the stringent local and state standards. Modifications to the existing curb cut are not proposed as part of this Proposed Project; however, the Project Sponsor shall obtain all appropriate permits from Erie County should there be proposed curb cut modifications to County Road. Using the NYS SEQRA EAF Workbook as a guiding document, the Proposed Project will not result in a significant increase in traffic.

The Project Sponsor received a variance from the State of New York Department of State ("NYS DOS") for 19 NYCRR Part 1225, The 2020 Fire Code of New York State, Section, 507.5.1, which involves the distance a building may be from a fire hydrant. Per the Decision Document dated July 16, 2024 from the NYS DOS (PETITION NO. 2024-0351),

*"The proposed variance will not substantially adversely affect the Code's provisions for health, safety and security. Strict compliance with the provisions of the Uniform Fire Prevention and Building Code would entail practical difficulties or would otherwise be unwarranted because such would be unnecessary in light of alternatives which, without a loss in the level of safety, achieve the intended purpose of the code."*

The Decision Document from the NYS DOS also provided a set of conditions, which included the installation of a fire alarm system monitored by an approved supervising station that will alert the local fire department in the event of a fire, and that all conditions, enhancements, and equipment offered by the petitioner be installed as described, and in accordance with the applicable generally accepted reference standards.