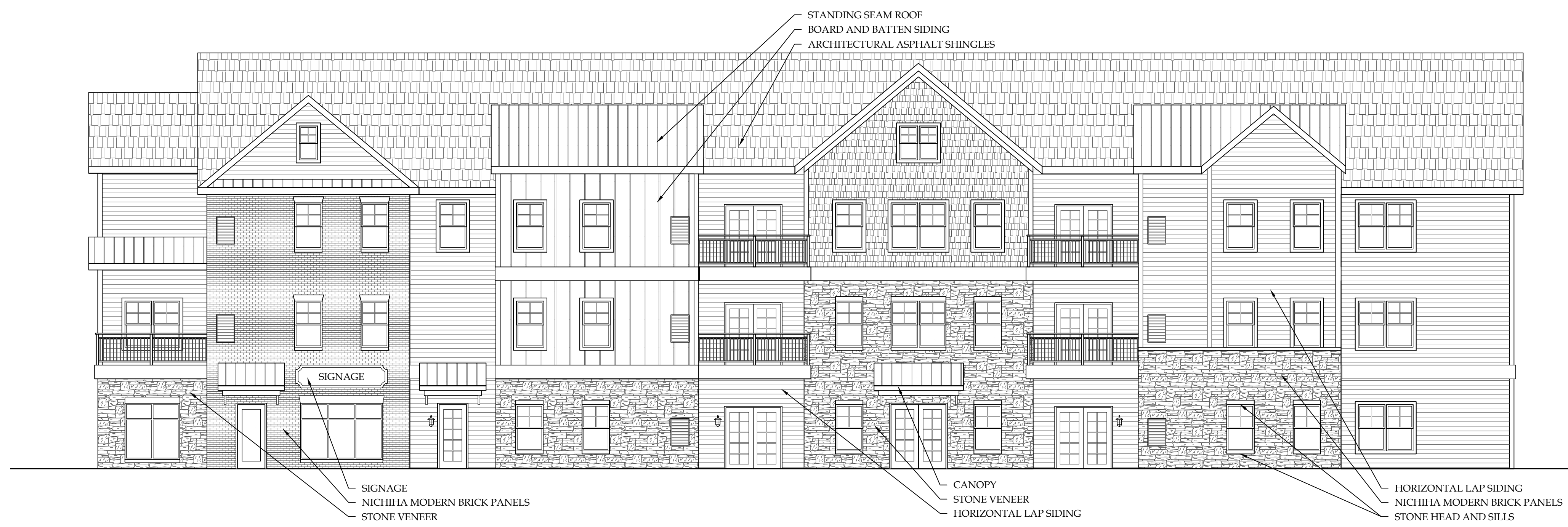


1 2 3 4 5 6

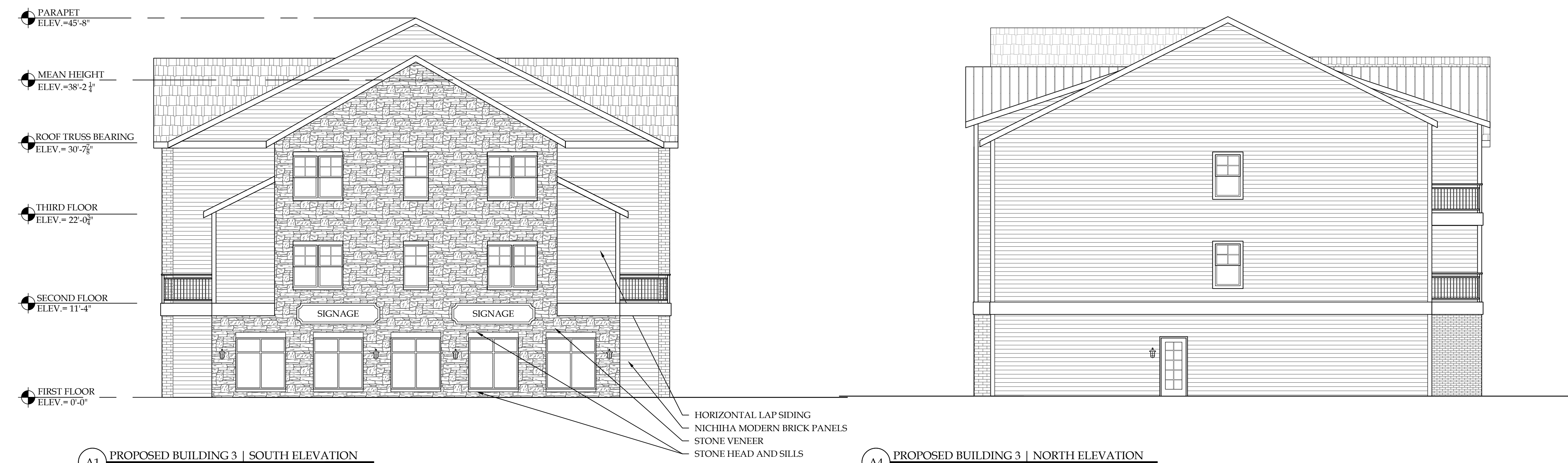
E  
D  
C  
B  
A



D1 PROPOSED BUILDING 3 | EAST ELEVATION  
1/8"=1'-0"



B1 PROPOSED BUILDING 3 | WEST ELEVATION  
1/8"=1'-0"



A1 PROPOSED BUILDING 3 | SOUTH ELEVATION  
1/8"=1'-0"

A4 PROPOSED BUILDING 3 | NORTH ELEVATION  
1/8"=1'-0"

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**TOWNHOMES & APARTMENT BUILDINGS**

8560-8568 MAIN STREET  
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:

TITLE:  
**PROPOSED BUILDING 3 FLOOR PLANS**

**SILVESTRI ARCHITECTS · PC**  
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **23084.01** DATE: **05-30-24**

DRAWING #: **A-201**

1 2 3 4 5 6

1 2 3 4 5 6

E  
D  
C  
B  
A



D1 PROPOSED BUILDING 4 | NORTH ELEVATION  
1/8"=1'-0"



B1 PROPOSED BUILDING 4 | SOUTH ELEVATION  
1/8"=1'-0"



A1 PROPOSED BUILDING 4 | EAST ELEVATION  
1/8"=1'-0"



A4 PROPOSED BUILDING 4 | WEST ELEVATION  
1/8"=1'-0"

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**TOWNHOMES & APARTMENT BUILDINGS**

8560-8568 MAIN STREET  
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:

TITLE:  
**PROPOSED BUILDING 4 FLOOR PLANS**



**SILVESTRI ARCHITECTS · PC**

1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 23084.01 DATE: 05-30-24

DRAWING #: **A-202**

1 2 3 4 5 6

**BUILDING DATA TABLE**

<b>EXISTING BUILDING 1 - RESIDENTIAL BUILDING</b>	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
<b>EXISTING BUILDING 2 - MIXED USE BUILDING</b>	
2 RESIDENTIAL DWELLING UNITS	1,950 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,760 SF
<b>PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING</b>	
19 DWELLING UNITS	24,339 SF
COMMERCIAL SPACE	1,928 SF
TOTAL BUILDING FLOOR AREA	26,267 SF
<b>PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING</b>	
14 DWELLING UNITS	17,895 SF
COMMERCIAL SPACE	6,873 SF
TOTAL BUILDING FLOOR AREA	24,768 SF
<b>PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE</b>	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
<b>TOTAL SITE SQUARE FOOTAGE</b>	
RESIDENTIAL SPACE	83,574 SF
COMMERCIAL SPACE	62,963 SF (75%)
	20,611 SF (25%)

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**TOWNHOMES & APARTMENT BUILDINGS**  
8560-8568 MAIN STREET  
CLARENCE, NY



C1 PROPOSED BUILDING 3 | SECOND FLOOR PLAN  
1/8"=1'-0"



A1 PROPOSED BUILDING 3 | FIRST FLOOR PLAN  
1/8"=1'-0"

**BUILDING 3 - SUMMARY OF UNITS**

ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	2	4	4	10
2 BEDROOM	3	3	3	9
<b>TOTAL</b>	<b>5</b>	<b>7</b>	<b>7</b>	<b>19</b>

ISSUE:  
  
SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:  
  
TITLE:

**PROPOSED BUILDING 3 FLOOR PLANS**



**SILVESTRI ARCHITECTS · PC**

1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 23084.01 DATE: 05-13-24

DRAWING #: A-101

BUILDING DATA TABLE	
<b>EXISTING BUILDING 1 - RESIDENTIAL BUILDING</b>	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
<b>EXISTING BUILDING 2 - MIXED USE BUILDING</b>	
2 RESIDENTIAL DWELLING UNITS	1,950 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,760 SF
<b>PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING</b>	
19 DWELLING UNITS	24,339 SF
COMMERCIAL SPACE	1,928 SF
TOTAL BUILDING FLOOR AREA	26,267 SF
<b>PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING</b>	
14 DWELLING UNITS	17,895 SF
COMMERCIAL SPACE	6,873 SF
TOTAL BUILDING FLOOR AREA	24,768 SF
<b>PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE</b>	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
<b>TOTAL SITE SQUARE FOOTAGE</b>	
RESIDENTIAL SPACE	83,574 SF
COMMERCIAL SPACE	62,963 SF (75%)
	20,611 SF (25%)

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**TOWNHOMES & APARTMENT BUILDINGS**  
8560-8568 MAIN STREET  
CLARENCE, NY



C1 PROPOSED BUILDING 3 | SECOND FLOOR PLAN  
1/8"=1'-0"



A1 PROPOSED BUILDING 3 | FIRST FLOOR PLAN  
1/8"=1'-0"

BUILDING 3 - SUMMARY OF UNITS				
ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	2	4	4	10
2 BEDROOM	3	3	3	9
<b>TOTAL</b>	5	7	7	19

ISSUE:  
  
SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:  
  
TITLE:

**PROPOSED BUILDING 3 FLOOR PLANS**



SA JOB #: 23084.01 DATE: 05-13-24

DRAWING #: A-101



C1 PROPOSED BUILDING 3 | THIRD FLOOR PLAN  
1/8"=1'-0"

BUILDING DATA TABLE	
<b>EXISTING BUILDING 1 - RESIDENTIAL BUILDING</b>	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
<b>EXISTING BUILDING 2 - MIXED USE BUILDING</b>	
2 RESIDENTIAL DWELLING UNITS	1,950 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,760 SF
<b>PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING</b>	
19 DWELLING UNITS	24,339 SF
COMMERCIAL SPACE	1,928 SF
TOTAL BUILDING FLOOR AREA	26,267 SF
<b>PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING</b>	
14 DWELLING UNITS	17,895 SF
COMMERCIAL SPACE	6,873 SF
TOTAL BUILDING FLOOR AREA	24,768 SF
<b>PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE</b>	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
<b>TOTAL SITE SQUARE FOOTAGE</b>	
RESIDENTIAL SPACE	83,574 SF
COMMERCIAL SPACE	62,963 SF (75%)
	20,611 SF (25%)

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**TOWNHOMES & APARTMENT BUILDINGS**  
8560-8568 MAIN STREET  
CLARENCE, NY

ISSUE:  
  
SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

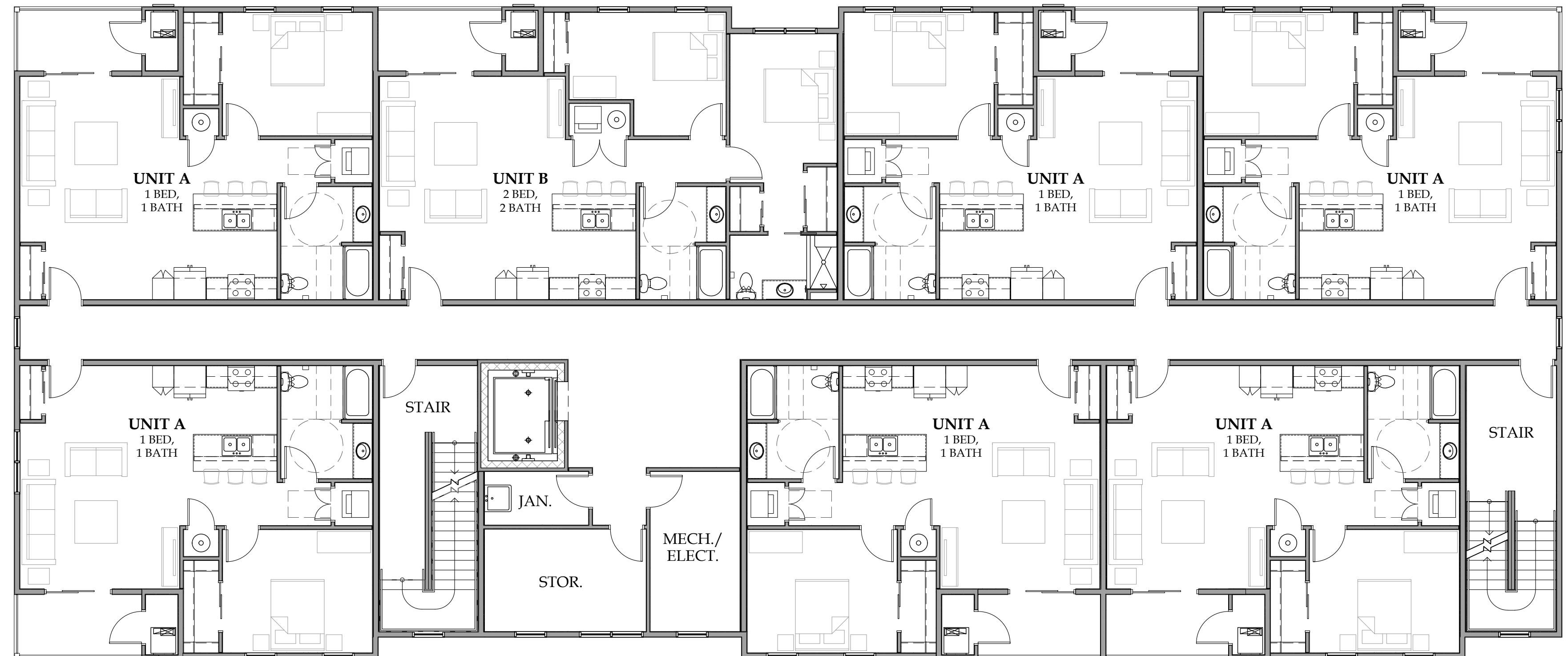
SEAL:  
  
TITLE:

**PROPOSED BUILDING 3 FLOOR PLANS**

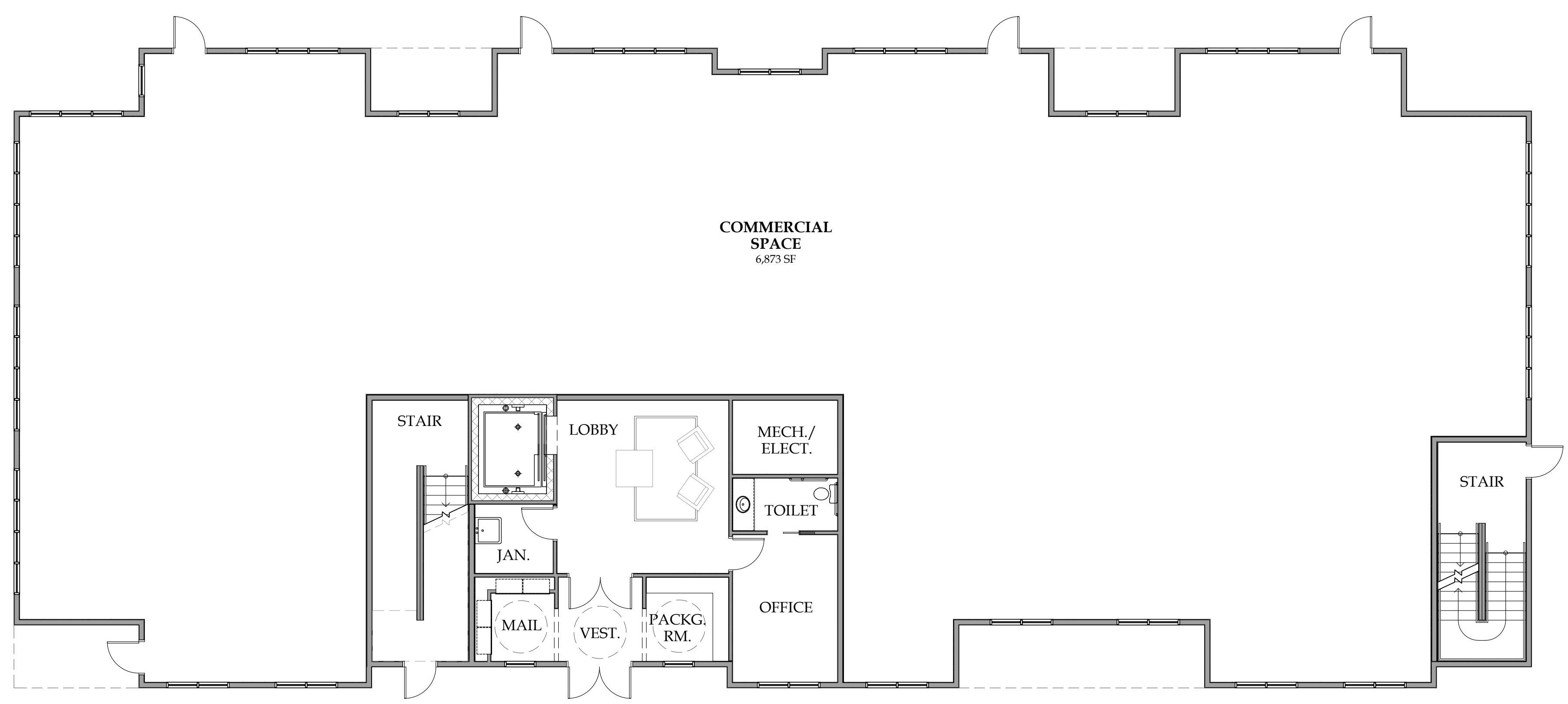
**SILVESTRI ARCHITECTS · PC**  
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 23084.01 DATE: 05-13-24  
DRAWING #: A-101b

BUILDING 3 - SUMMARY OF UNITS				
ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	2	4	4	10
2 BEDROOM	3	3	3	9
<b>TOTAL</b>	5	7	7	19



C1 PROPOSED BUILDING 4 | SECOND & THIRD FLOOR PLAN  
1/8"=1'-0"



A1 PROPOSED BUILDING 4 | FIRST FLOOR PLAN  
1/8"=1'-0"

**BUILDING DATA TABLE**

<b>EXISTING BUILDING 1 - RESIDENTIAL BUILDING</b>	
6 RESIDENTIAL DWELLING UNITS	6,100 SF
TOTAL BUILDING FLOOR AREA	6,100 SF
<b>EXISTING BUILDING 2 - MIXED USE BUILDING</b>	
2 RESIDENTIAL DWELLING UNITS	1,950 SF
COMMERCIAL SPACE	11,810 SF
TOTAL BUILDING FLOOR AREA	13,760 SF
<b>PROPOSED BUILDING 3 - 3 STORY MIXED USE BUILDING</b>	
19 DWELLING UNITS	24,339 SF
COMMERCIAL SPACE	1,928 SF
TOTAL BUILDING FLOOR AREA	26,267 SF
<b>PROPOSED BUILDING 4 - 3 STORY MIXED USE BUILDING</b>	
14 DWELLING UNITS	17,895 SF
COMMERCIAL SPACE	6,873 SF
TOTAL BUILDING FLOOR AREA	24,768 SF
<b>PROPOSED BUILDING 5 - 2 STORY TOWNHOUSE</b>	
8 DWELLING UNITS	12,679 SF
TOTAL BUILDING FLOOR AREA	12,679 SF
<b>TOTAL SITE SQUARE FOOTAGE</b>	
RESIDENTIAL SPACE	83,574 SF (75%)
COMMERCIAL SPACE	20,611 SF (25%)

**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**TOWNHOMES & APARTMENT BUILDINGS**  
8560-8568 MAIN STREET  
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER \_\_\_\_\_  
JOB CAPT. \_\_\_\_\_ INTERIORS \_\_\_\_\_

SEAL:

TITLE:  
**PROPOSED BUILDING 4 FLOOR PLANS**



SA JOB #: 23084.01 DATE: 05-13-24

DRAWING #: **A-102**

**BUILDING 4 - SUMMARY OF UNITS**

ROOM TYPE	LEVEL			TOTAL
	1st	2nd	3rd	
1 BEDROOM	0	6	6	12
2 BEDROOM	0	1	1	2
<b>TOTAL</b>	0	7	7	14

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Mixed Use Redevelopment of multiple parcels		
Project Location (describe, and attach a general location map): 8560-8574 Main Street (6 parcels total - see attached parcel map with submittal package for further details with SBL numbers)		
Brief Description of Proposed Action (include purpose or need):  The redevelopment of these parcels will require multiple approvals from the Town of Clarence including: (1) an area variance to allow the 3-story buildings; (2) five Special Exception Use Permits (SEUP) to allow multi-family dwelling units in TND zoning, a drive-thru, and buildings between 10,000 - 30,000 SF; (3) rezoning of a portion of the project from RSF to TND; and concept plan approval, development plan approval and final architectural approval.  The redevelopment project will comprise six parcels including 8560, 8564, 8568 and 8574 Main Street as well as 2 parcels without an address. A parcel map is attached to this EAF for further details. Together, the development will consist of five buildings including: (1) existing 6-unit apartment building; (2) existing mixed use building (to be partially demolished); (3) 3-story mixed use building (will contain 19 dwelling units and approximately 1,928 square feet of commercial space on the first floor); (4) 3-story mixed use building (will contain 14 dwelling units and approximately 6,873 square feet of commercial space on the first floor); (5) 8-unit upscale townhouse. The existing building at 8568 Main Street will be demolished as well as a portion of the building at 8560 Main Street.		
Name of Applicant/Sponsor: Metzger Civil Engineering, PLLC on behalf of Visone Bros, Inc.	Telephone: 716-633-2601	E-Mail: meteng@roadrunner.com
Address: 8245 Sheridan Drive		
City/PO: Williamsville	State: NY	Zip Code: 14221
Project Contact (if not same as sponsor; give name and title/role): SAME AS SPONSOR	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): DLV Properties, LLC	Telephone: 716-759-1715	E-Mail: lou@visoneco.com
Address: 9829 Main Street		
City/PO: Clarence	State: NY	Zip Code: 14031

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Architectural Approval; Rezone; SEUP	March 2024
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Concept Approval; Development Approval; SEUP; rezoning and architectural recommendations	March 2024
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Area Variance	March 2024
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ECHD Septic Approval ECWA RPZ Approval	July 2024 (P) July 2024 (P)
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT Highway Work Permit NYS DEC Stormwater Permit & septic SPDES	July 2024 (P) July 2024 (P)
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYS Heritage Areas: West Erie Canal Corridor	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
Residential Single Family (RSF) & Traditional Neighborhood (TND)

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? Portion of the property to be rezoned to: Traditional Neighborhood (TND)

**C.4. Existing community services.**

a. In what school district is the project site located? Clarence Central School District

b. What police or other public protection forces serve the project site?  
NYS Police: Erie County Sheriff's Office

c. Which fire protection and emergency medical services serve the project site?  
Harris Hill Volunteer Fire Company

d. What parks serve the project site?  
Clarence Town Park; Sunset Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed use of commercial businesses and multi-family

b. a. Total acreage of the site of the proposed action? 7.2 acres  
 b. Total acreage to be physically disturbed? 3.5 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 7.2 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 500 Units: housing units

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed?   
 iv. Minimum and maximum proposed lot sizes? Minimum  Maximum

e. Will the proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction:  months  
 ii. If Yes:  
 • Total number of phases anticipated 2  
 • Anticipated commencement date of phase 1 (including demolition) 8 month 2024 year  
 • Anticipated completion date of final phase 4 month 2026 year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:  
The phasing will occur based on market demands.

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase				41
At completion				41
of all phases				41

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 2

ii. Dimensions (in feet) of largest proposed structure: 35± height; 60± width; and 145± length

iii. Approximate extent of building space to be heated or cooled: 100% square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 15,536 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: Erie County Water Authority (Direct Serve)
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 15,536 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Domestic sanitary sewerage generated from the residential uses as well as commercial uses.

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_  
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
All generated domestic wastewater from the project will be treated and disposed of on-site through a septic system. The system will be designed and will require approval by the ECHD.  
 vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
N/A  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ 3.5 acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. Stormwater generated from impervious surface runoff.  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site treatment measures and infiltration in accordance with the NYSDEC Stormwater Management Design Manual (SMDM). Discharge will be to bedrock injection wells.  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No  
 iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
Typical energy consumption for small commercial business.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Local energy provider (i.e. NYSEG) via existing grid.

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:00 am - 6:00 pm</li> <li>• Saturday: _____ 7:00 am - 6:00 pm</li> <li>• Sunday: _____ 7:00 am - 6:00 pm</li> <li>• Holidays: _____ 7:00 am - 6:00 pm</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ Continuous</li> <li>• Saturday: _____ Continuous</li> <li>• Sunday: _____ Continuous</li> <li>• Holidays: _____ Continuous</li> </ul>
--	---

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:  <u>Typical noise from construction equipment during operating hour listed in section D.2.1.</u></p>
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: <u>A portion of the existing vegetation will be removed for the septic system and stormwater management area.</u></p>
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  <u>Each building will be affixed with dark sky compliant lighting to illuminate building entryways. Parking lot lighting between buildings compliant with town code.</u></p>
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: <u>A portion of the existing vegetation will be removed for the septic system and stormwater management area.</u></p>
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:  <u>_____</u>  <u>_____</u></p>
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored <u>_____</u></p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: <u>_____</u>  <u>_____</u></p>
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):  <u>_____</u>  <u>_____</u>  <u>_____</u></p>
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ 2 tons per _____ month (unit of time)</li> <li>• Operation : _____ 0.5 tons per _____ month (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: <u>Contractors will be responsible for utilizing segregated dumpsters for recycling materials (i.e. wood, metal, cardboard, etc.)</u></li> <li>• Operation: <u>Individual commercial tenants will be responsible for entering into recycling programs offered by the private refuse companies.</u></li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: <u>Contractors will provide disposal dumpsters on site during all construction activities.</u></li> <li>• Operation: <u>Individual tenants will be responsible for collection and disposal of refuse at on site dumpster locations, to be removed by the local refuse / recycling provider.</u></li> </ul>

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

\_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

\_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

\_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

\_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

\_\_\_\_\_

\_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

\_\_\_\_\_

\_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.5	3.5	+1.0
• Forested	-	-	-
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	2.7	1.3	-1.4
• Agricultural (includes active orchards, field, greenhouse etc.)	-	-	-
• Surface water features (lakes, ponds, streams, rivers, etc.)	-	-	-
• Wetlands (freshwater or tidal)	-	-	-
• Non-vegetated (bare rock, earth or fill)	-	-	-
• Other Describe: <u>Lawn area</u>	2.0	2.4	+0.4

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities:  
 Nativity Blessed Virgin Mary Church; Harris Hill Elementary; St. Paul's Episcopal Church  
 \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection:  
 \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
 \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
 \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
 \_\_\_\_\_



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 0-5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Benson very channery loam	_____	33 %
Ovid silt loam	_____	31 %
Wassaic silt loam	_____	36 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >5 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 36 % of site  
 Moderately Well Drained: \_\_\_\_\_ 64 % of site  
 Poorly Drained: \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
<p>White tailed deer _____</p> <p>Various bird species _____</p>	<p>Rabbits _____</p> <p>Various rodent species _____</p>	<p>Squirrels _____</p> <p>Raccoons _____</p>
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>Oak Openings _____</p> <p>ii. Source(s) of description or evaluation: <u>NYSDEC EAF Mapper</u></p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ 70.0 acres</li> <li>• Following completion of project as proposed: _____ 70.0 acres</li> <li>• Gain or loss (indicate + or -): _____ 0.0 acres</li> </ul>		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Species and listing: _____</p> <p>_____</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>		
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

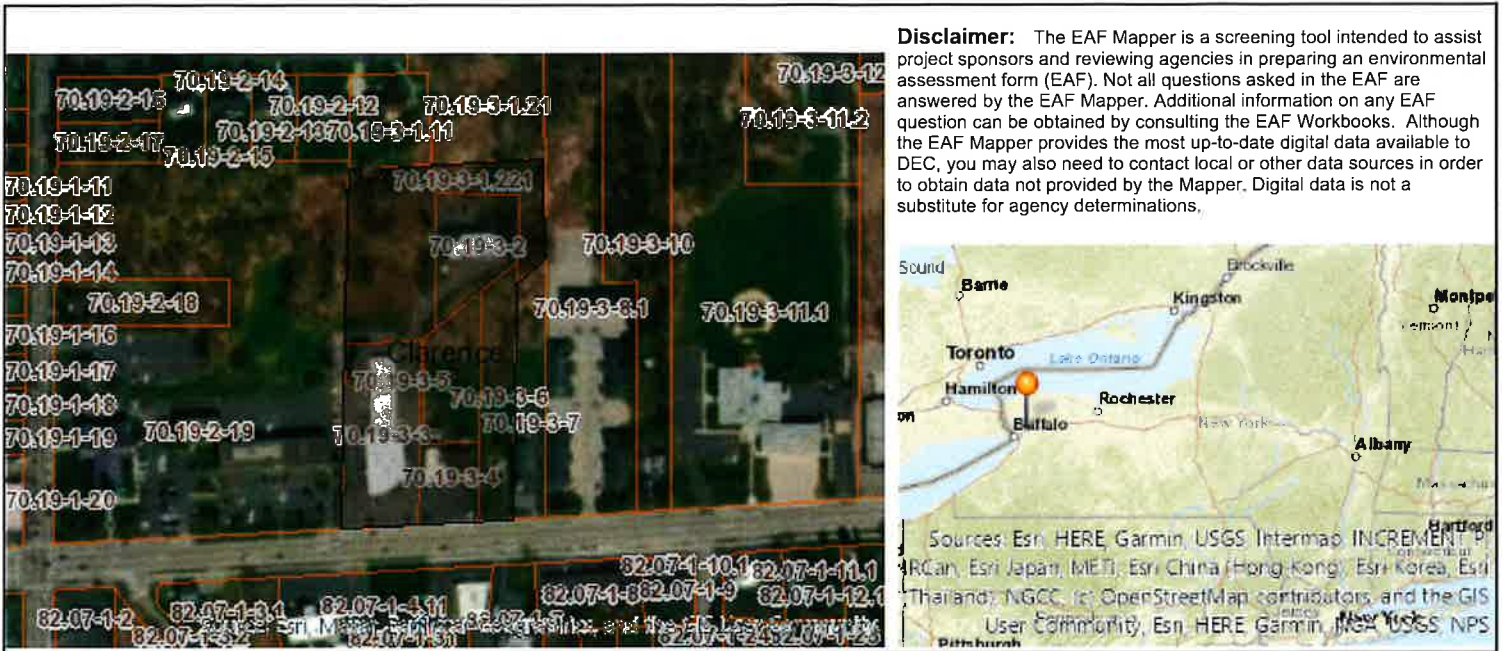
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jacob Metzger, PE Date March 21, 2024

Signature  Title Engineering Consultant

**PRINT FORM**



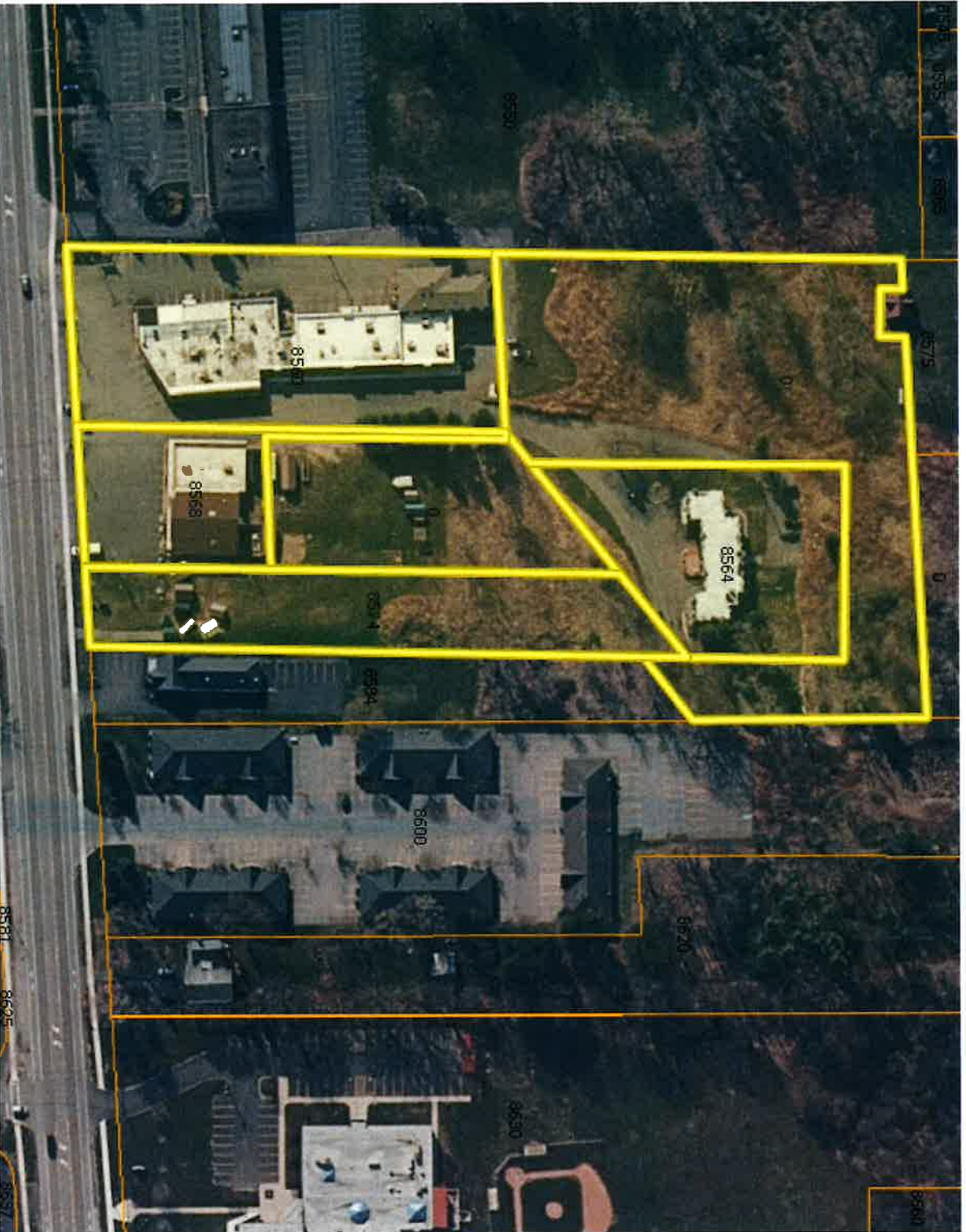
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	Yes
E.2.n.i [Natural Communities - Name]	Oak Openings


E.2.m. [Natural Communities - Acres]	70.0
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

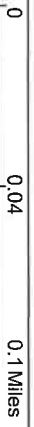


# Erie County On-Line Mapping Application



## Legend

-  Parcels



WGS, 1984 Web Mercator Auxiliary Sphere  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

**ERIE COUNTY  
DEPARTMENT OF ENVIRONMENT & PLANNING  
OFFICE OF GIS**

This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

1: 2,257



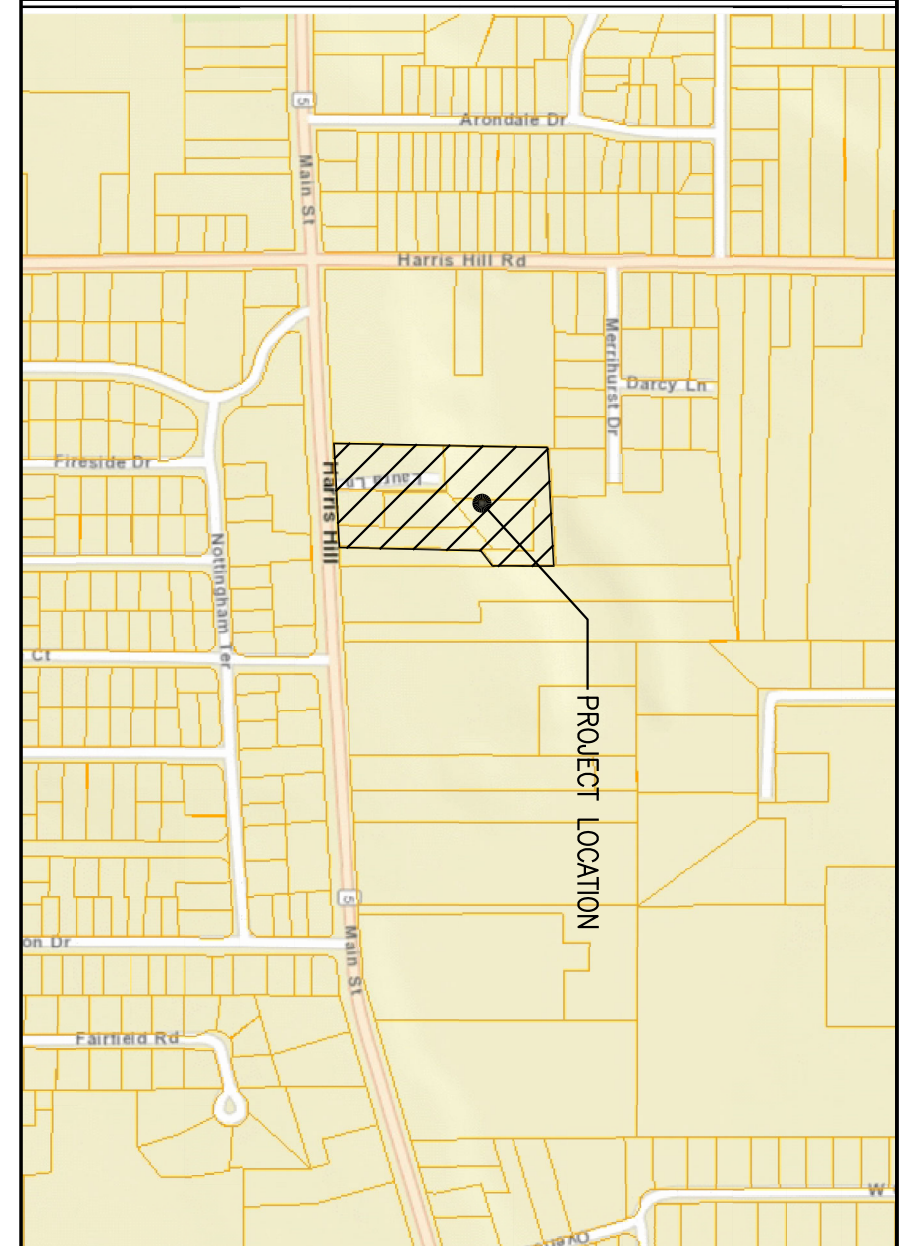








SITE LOCATION MAP



NTS

**BUILDING DATA TABLE**

EXISTING BUILDING #1 - RESIDENTIAL BUILDING: 6 RESIDENTIAL DWELLING UNITS - 6,100 SF TOTAL BUILDING FLOOR AREA = 6,100 SF	EXISTING BUILDING #2 - MIXED USE BUILDING: 2 RESIDENTIAL DWELLING UNITS - 1,950 SF 19 COMMERCIAL UNITS - 13,760 SF TOTAL BUILDING FLOOR AREA = 15,710 SF	PROPOSED BUILDING #3 - 3 STORY MIXED USE BUILDING: 19 DWELLING UNITS - 1,928 SF COMMERCIAL SPACE - 24,520 SF TOTAL BUILDING FLOOR AREA = 26,448 SF	PROPOSED BUILDING #4 - 3 STORY MIXED USE BUILDING: 14 DWELLING UNITS - 1,789 SF COMMERCIAL SPACE - 8,278 SF TOTAL BUILDING FLOOR AREA = 24,768 SF	PROPOSED BUILDING #5 - 5 STORY TOWNHOUSE: 8 DWELLING UNITS - 12,679 SF TOTAL BUILDING FLOOR AREA = 12,679 SF	TOTAL SITE SQUARE FOOTAGE = <b>83,758 SF</b> RESIDENTIAL SPACE = <b>63,144 SF</b> (75%) COMMERCIAL SPACE = <b>20,614 SF</b> (25%)
---	---	---	--	--	---

**SITE DATA TABLE**

ZONING: R5F & TND	AREA OF COMBINED PARCELS: 7.2 ACRES	MINIMUM LOT WIDTH REQUIRED: 150.00' (W/O SEWERS)	MINIMUM LOT WIDTH PROVIDED: 376.50' (COMBINED PARCELS)	MINIMUM LOT DEPTH REQUIRED: 820.00' (W/O SEWERS)	MINIMUM LOT DEPTH PROVIDED: 819.00' (COMBINED PARCELS)	MAXIMUM DENSITY ALLOWED: 8 DU/ACRE	NUMBER OF UNITS PROVIDED: 49 UNITS
SEWERAGE: EXISTING	REAR YARD SETBACK: 25'	REAR ALLOWED: 10'	REAR PROVIDED: 10'	REAR ALLOWED: 10'	REAR PROVIDED: 10'	TOTAL PARKING: 205 SPACES	COMMERCIAL = 119 SPACES
TOTAL PARKING: 205 SPACES	COMMERCIAL = 119 SPACES	RESIDENTIAL = 86 SPACES	RESIDENTIAL DWELLINGS = 49 UNITS	RESIDENTIAL DWELLINGS = 49 UNITS	RESIDENTIAL DWELLINGS = 49 UNITS	TOTAL SPACES PROVIDED = 205 SPACES	RESIDENTIAL = 86 SPACES

**NOTES:**

- THESE PLANS HAVE BEEN DEVELOPED FROM THE BOUNDARY SURVEY'S PREPARED BY KEOHOS DATED FEBRUARY 7, 2018 AND GFI PROPERTY SURVEY 21, 2018. THIS IS NOT A PROPERTY SURVEY.



DESIGNED BY: JCM	CHECKED BY: JCM	DATE: 03.18.24	BY: JCM
DATE: 02.29.24	DATE: 03.18.24	DATE: 03.18.24	DATE: 03.18.24
DATE: 02.29.24	DATE: 03.18.24	DATE: 03.18.24	DATE: 03.18.24

8245 SHERIDAN DRIVE  
WILLIAMSVILLE, NY 14221  
PH: 716-633-2601  
FAX: 716-633-2704

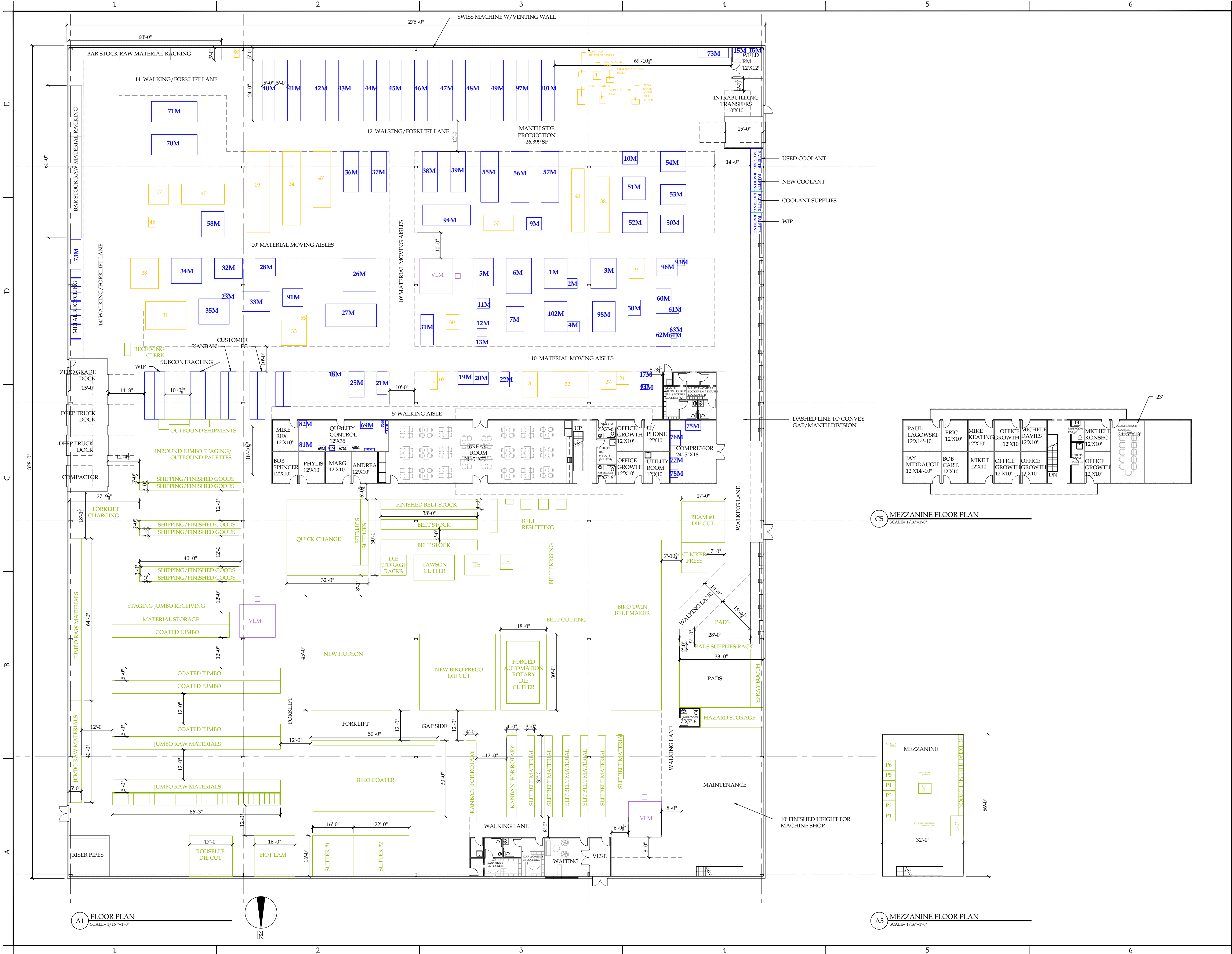
**METZGER CIVIL ENGINEERING, PLLC**

CIVIL ENGINEERING  
LAND PLANNING  
MUNICIPAL ENGINEERING

TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

MIXED USE DEVELOPMENT  
8560 - 8574 MAIN STREET  
CONCEPT PLAN

SCALE: 1"=30'  
DATE: DECEMBER 7, 2023  
JOB NO: M2109  
DRAWING NO: CP-3



**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
 8989 SHERIDAN DRIVE  
 CLARENCE, NY

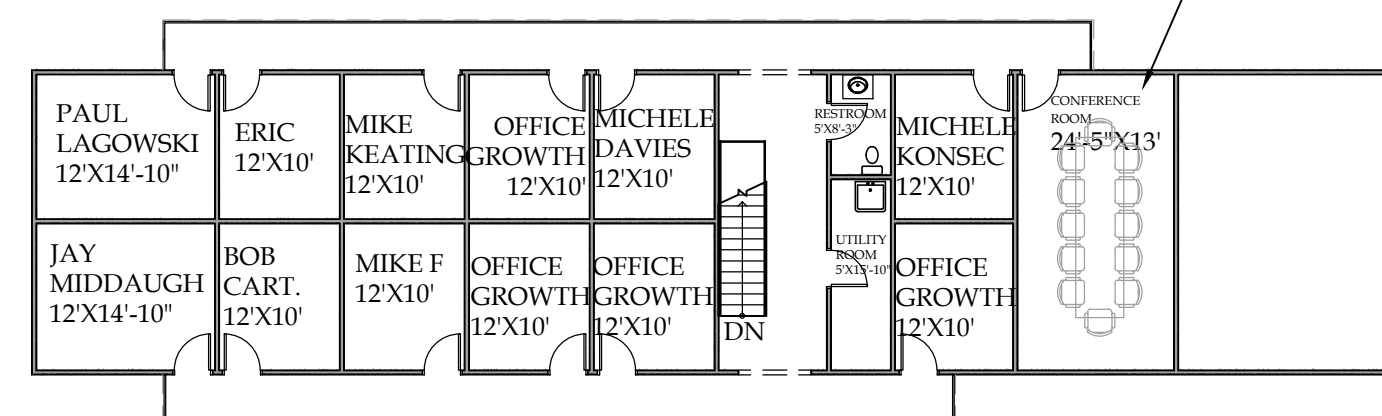
ISSUE:  
 SA PROJECT TEAM: PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER M. Velocci  
 JOB CAPT. M. Velocci INTERIORS N. Winnert

**PROPOSED FLOOR PLAN**

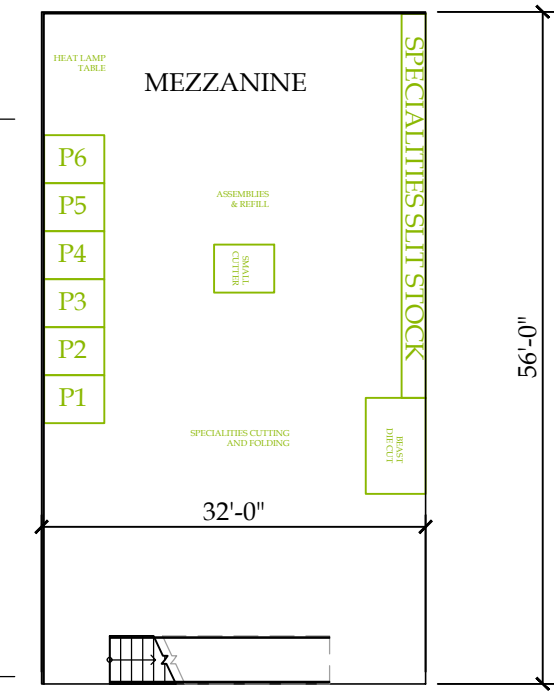


SA JOB #: 22102.05 DATE: 07-11-24

DRAWING #: A-101



C5 MEZZANINE FLOOR PLAN  
 SCALE= 1/16"=1'-0"

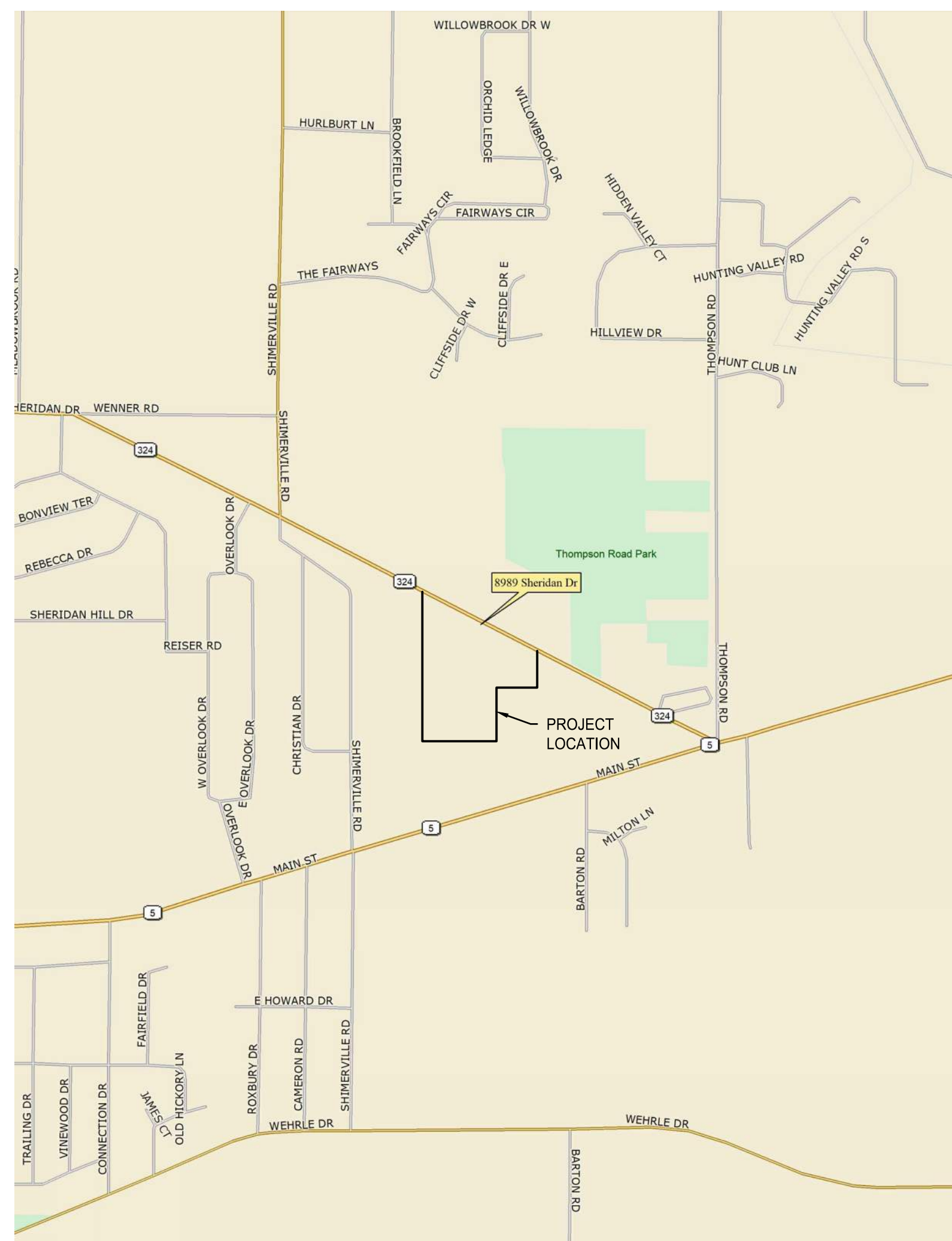


A5 MEZZANINE FLOOR PLAN  
 SCALE= 1/16"=1'-0"

A1 FLOOR PLAN  
 SCALE= 1/16"=1'-0"



**CONTRACT DRAWINGS FOR THE CONSTRUCTION OF  
NEW BUILDING ADDITION FOR  
DYNABRADE  
8989 SHERIDAN DRIVE  
CLARENCE, NY  
SILVESTRI ARCHITECTS, PC**



**LOCATION MAP**

C&S PROJECT:D51.117.002

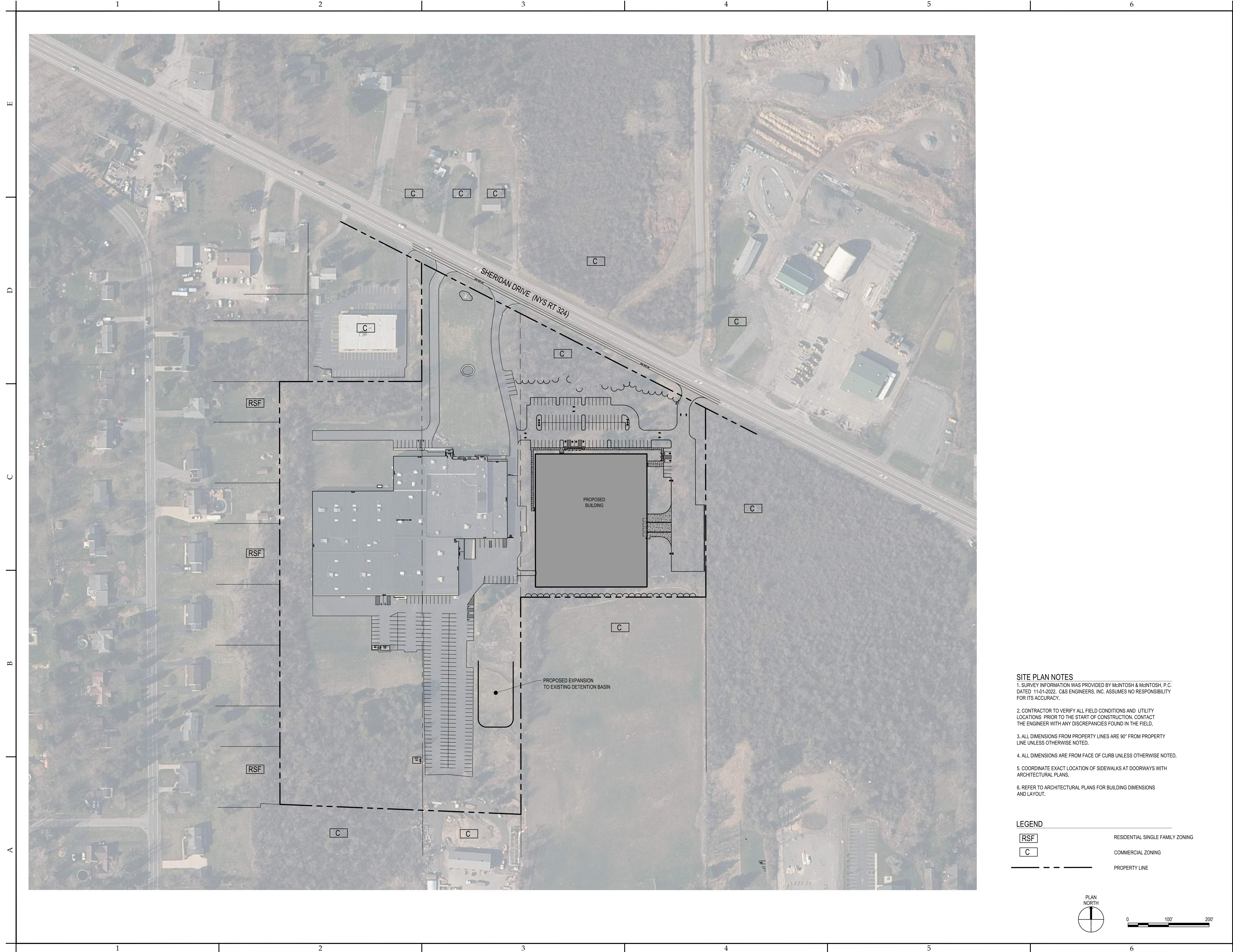
**AUGUST 5, 2024**

DRAWING LIST	
SHEET NO.	SHEET NAME
G-001	TITLE SHEET
	SURVEY
C-100	OVERALL SITE & TRAFFIC CONTROL PLAN
C-101	SITE PLAN
C-102	DEMOLITION PLAN
C-103	GRADING PLAN
C-104	UTILITY PLAN
C-105	LANDSCAPING PLAN
C-106	PHOTOMETRIC PLAN
C-107	EROSION & SEDIMENT CONTROL PLAN
C-501	DETAILS
C-502	DETAILS
C-503	DETAILS

TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THE PLANS AND SPECIFICATIONS FOR THIS PROJECT ARE IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE AND THE BUILDING CODE OF NEW YORK STATE

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW

**G-001**



**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

**C&S COMPANIES**  
 C&S Engineers, Inc.  
 141 Elm Street, Suite 100  
 Buffalo, New York 14203  
 Phone: 716-847-1630  
 Fax: 716-847-1454  
 www.cscos.com

**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
 8989 SHERIDAN DRIVE  
 CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER M.Velocci  
 JOB CAPT. M.Velocci INTERIORS N.Winnert

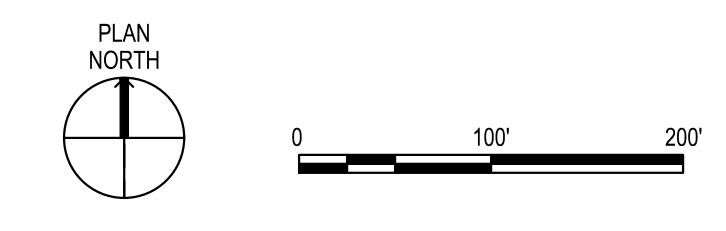


TITLE:  
**OVERALL SITE & TRAFFIC CONTROL PLAN**

- SITE PLAN NOTES**
1. SURVEY INFORMATION WAS PROVIDED BY McINTOSH & McINTOSH, P.C. DATED 11-01-2022. C&S ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
  2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD.
  3. ALL DIMENSIONS FROM PROPERTY LINES ARE 90° FROM PROPERTY LINE UNLESS OTHERWISE NOTED.
  4. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
  5. COORDINATE EXACT LOCATION OF SIDEWALKS AT DOORWAYS WITH ARCHITECTURAL PLANS.
  6. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT.

**LEGEND**

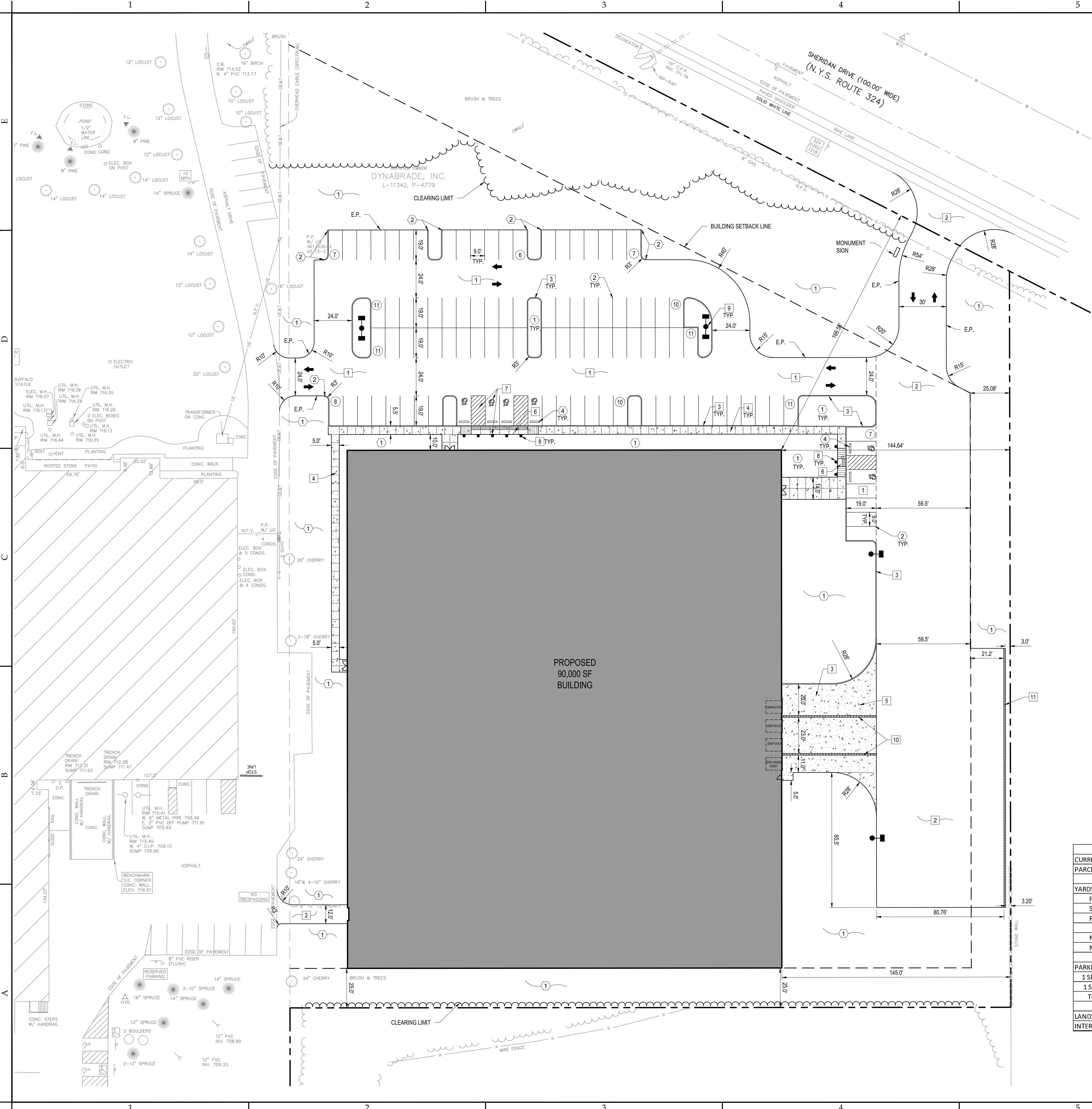
RSF RESIDENTIAL SINGLE FAMILY ZONING  
 C COMMERCIAL ZONING  
 - - - - - PROPERTY LINE



**SILVESTRI ARCHITECTS · PC**  
 1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 22102.05 DATE: 8/5/2024

DRAWING #: C-100

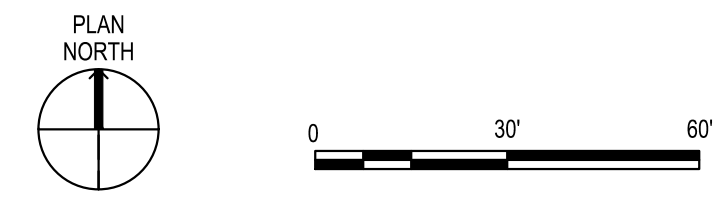


- SITE PLAN DETAIL LEGEND**
- 1 STANDARD DUTY ASPHALT - SEE DETAIL 1/C-501
  - 2 HEAVY DUTY ASPHALT - SEE DETAIL 2/C-501
  - 3 CONCRETE CURB - SEE DETAIL 3/C-501
  - 4 CONCRETE SIDEWALK - SEE DETAIL 4/C-501
  - 5 EXTERIOR CONCRETE SLAB-ON-GRADE - SEE DETAIL 5/C-501
  - 6 ACCESSIBLE CURB RAMP - SEE DETAIL 6/C-501
  - 7 ACCESSIBLE SIGNS & MARKINGS - SEE DETAIL 7/C-501
  - 8 SIGN POST "A" - SEE DETAIL 8/C-501
  - 9 LIGHT POLE FOUNDATION - SEE DETAIL 9/C-501
  - 10 RETAINING WALL - SEE DETAIL 10/C-501
  - 11 RETAINING WALL - SEE DETAIL 11/C-501

- SITE PLAN SHEET KEYNOTES**
- ① 4" TOPSOIL & SEED IF NO PLANTINGS-SEE LANDSCAPING PLAN
  - ② MATCH EXISTING CURB OR RUN OUT IN 2'-0"
  - ③ 4" WIDE PAINTED YELLOW PAVEMENT STRIPES
  - ④ INSTALL 6' LONG RECYCLED RUBBER PARKING BUMPER, "PARK IT" BY GNR TECHNOLOGIES OR EQUAL

- SITE PLAN LEGEND**
- — — — — PROPERTY LINE
  - ▲ PROPOSED SIGN
  - ▨ PROPOSED CONCRETE PAVEMENTS/SIDEWALK
  - — — — — PROPOSED CURB
  - ⑩ NUMBER OF PARKING SPACES
  - ▲ DOOR LOCATION
  - — — — — EDGE OF PAVEMENT
  - LIGHTING FIXTURES
  - ▨ DETECTABLE WARNING SURFACE

SITE DATA		
CURRENT ZONING: C (Commercial)		
PARCEL AREA: 6.11 ACRES OF 21.77 +/- ACRES		
YARDS - BUILDING	REQUIRED	PROVIDED
FRONT	10' MIN. / 80' MAX.	166.55'
SIDE YARD	25'	144.64'
REAR YARD	25'	25.0'
MAX. BUILDING COVERAGE	70%	33.90%
MAX. BUILDING HEIGHT	45'	30'-9 5/8"
PARKING		
1 SPACE PER EMPLOYEE (MAX. SHIFT)	53 EMPLOYEES = 53	53
1 SPACE PER 200 SF OFFICE SPACE	5687/200=29	46
TOTAL PARKING SPACES	82	99
LANDSCAPED AREA	25%	39.30%
INTERIOR GREENSPACE	8%	8.0%



**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
 8989 SHERIDAN DRIVE  
 CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER M. Velocci  
 JOB CAPT. M. Velocci INTERIORS N. Winnert



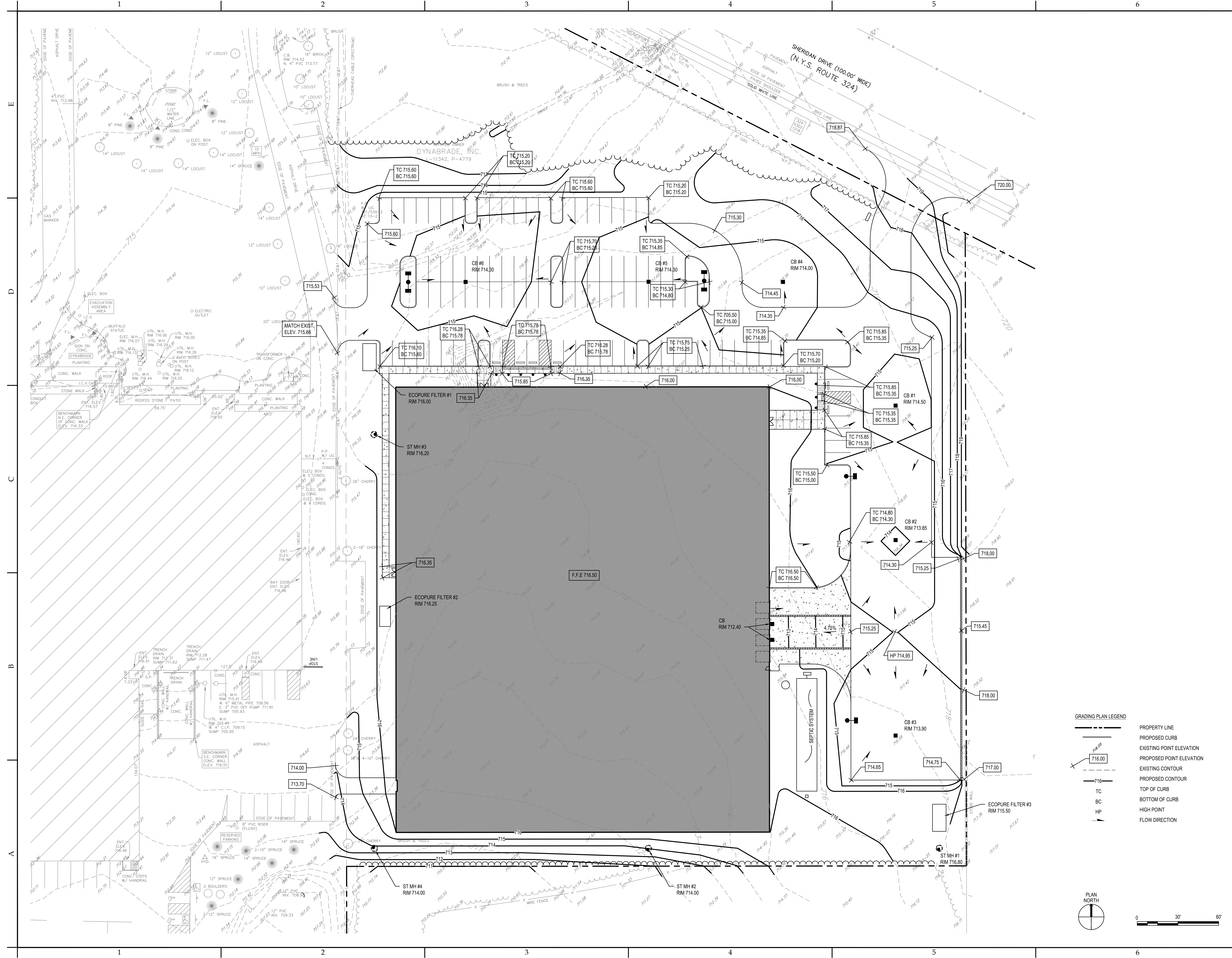
TITLE:  
**SITE PLAN**



**SILVESTRI ARCHITECTS - PC**  
 1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 22102.05 DATE: 8/5/2024

DRAWING #: **C-101**



**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
 8989 SHERIDAN DRIVE  
 CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER M. Velocci  
 JOB CAPT. M. Velocci INTERIORS N. Winnert



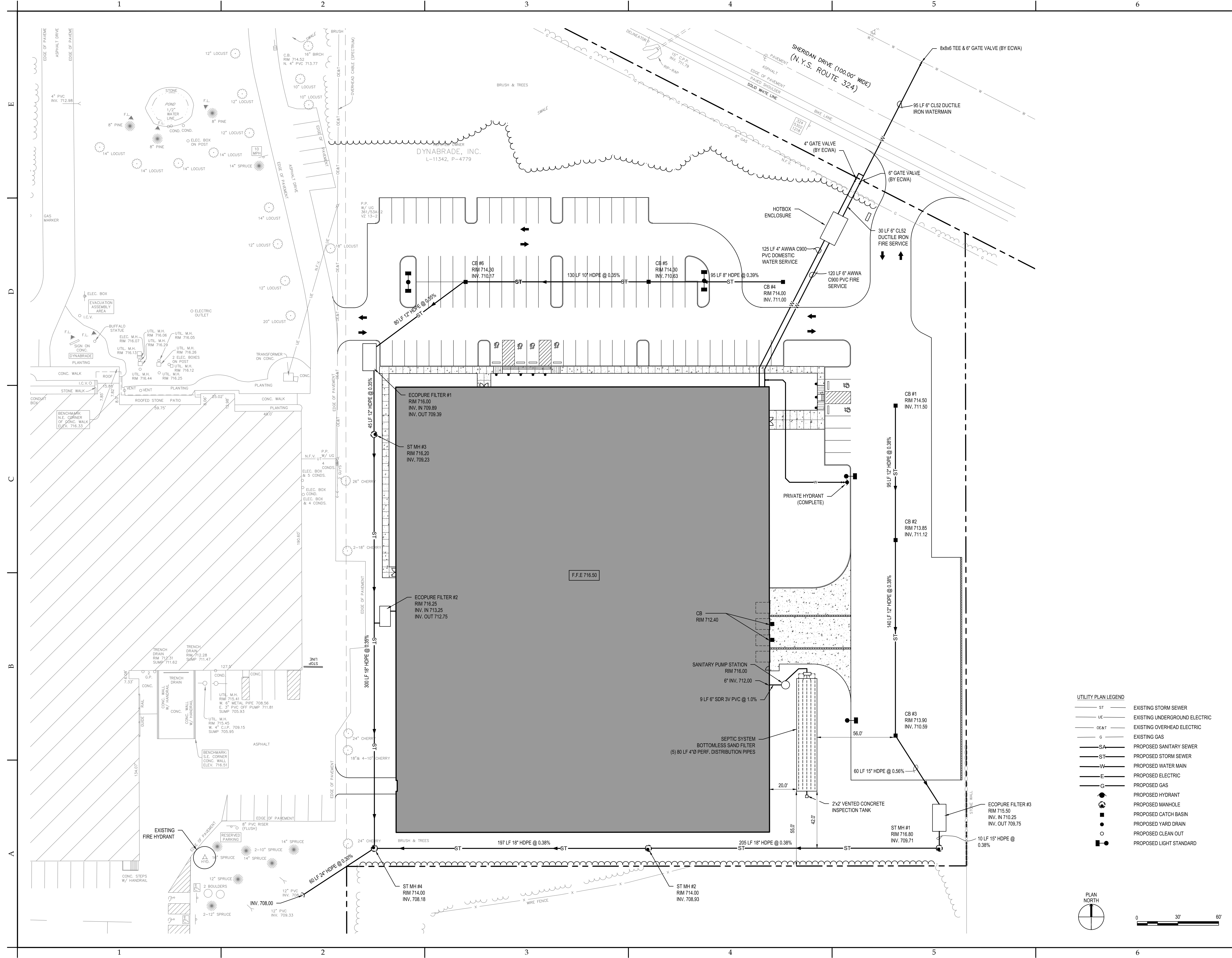
TITLE: **GRADING PLAN**



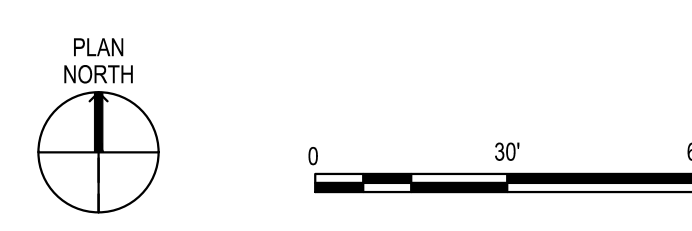
**SILVESTRI ARCHITECTS - PC**  
 1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 22102.05 DATE: 8/5/2024

DRAWING #: **C-103**



- UTILITY PLAN LEGEND**
- ST — EXISTING STORM SEWER
  - UE — EXISTING UNDERGROUND ELECTRIC
  - OE&T — EXISTING OVERHEAD ELECTRIC
  - G — EXISTING GAS
  - SA — PROPOSED SANITARY SEWER
  - ST — PROPOSED STORM SEWER
  - W — PROPOSED WATER MAIN
  - E — PROPOSED ELECTRIC
  - G — PROPOSED GAS
  - — PROPOSED HYDRANT
  - — PROPOSED MANHOLE
  - — PROPOSED CATCH BASIN
  - — PROPOSED YARD DRAIN
  - — PROPOSED CLEAN OUT
  - — PROPOSED LIGHT STANDARD



**NOTICE**  
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
 8989 SHERIDAN DRIVE  
 CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P. Silvestri  
 PROJ. ARCH. \_\_\_\_\_ DRAFTER M. Velocci  
 JOB CAPT. M. Velocci INTERIORS N. Winnert



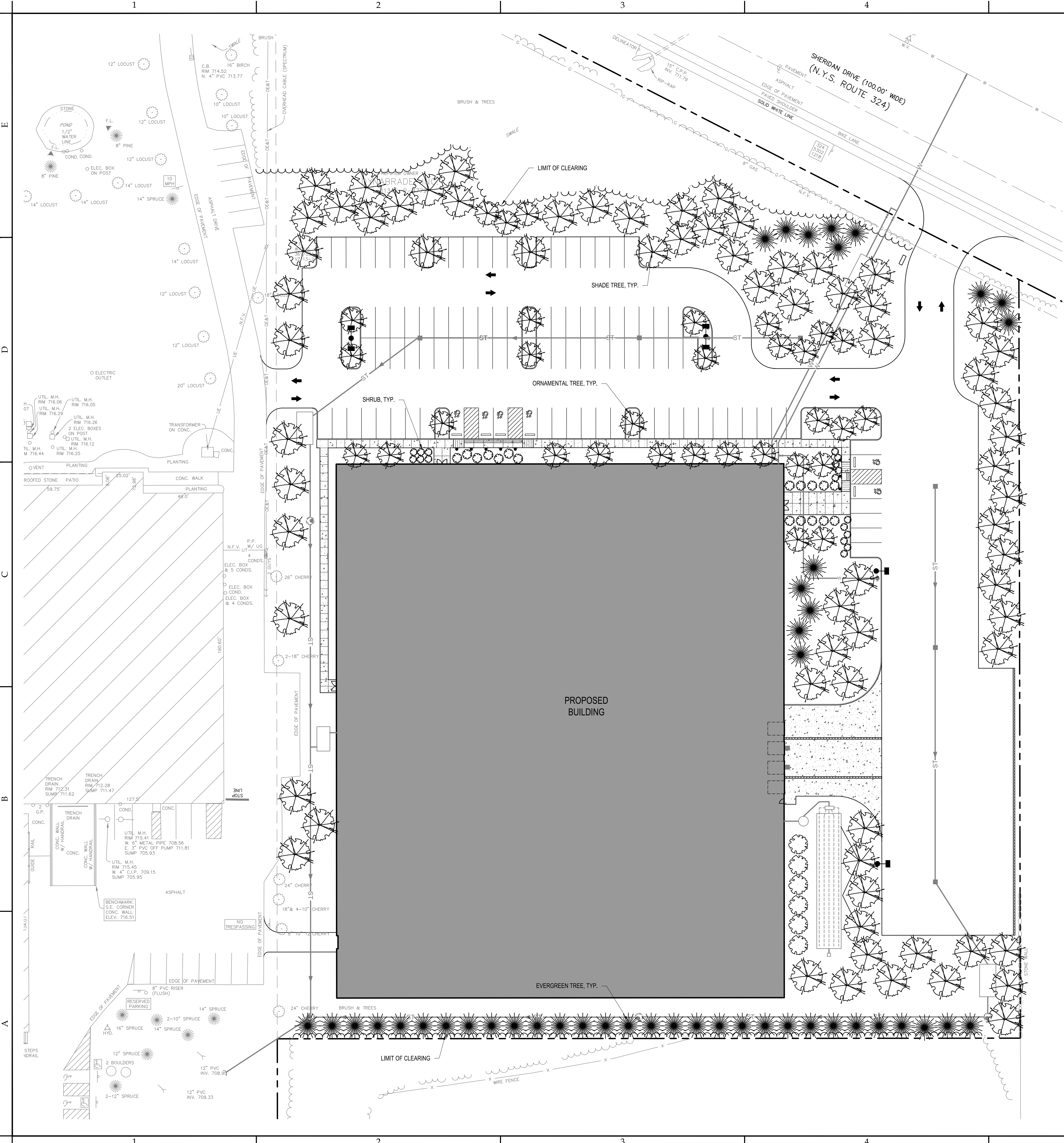
TITLE: **UTILITY PLAN**



**SILVESTRI ARCHITECTS PC**  
 1321 MILLERSPORT HWY PH. 716.691.0900  
 AMHERST, NY 14221 FAX 716.691.4773

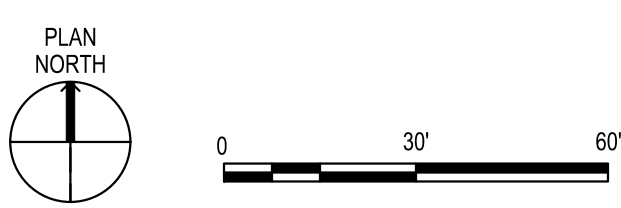
SA JOB #: 22102.05 DATE: 8/5/2024

DRAWING #: **C-104**



- PLANTING SPECIFICATION**
- SCOPE OF WORK**  
A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING, AND GRUBBING SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE INCLUDING ALL LABOR MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THE PROJECT.
  - MATERIALS**  
A. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS, QUALITY AND PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1) AND BE OF NUMBER ONE GRADE.  
B. VARIETIES AND SIZES OF PLANTS SHALL BE SHOWN ON DRAWING.
  - FERTILIZER**  
A. FERTILIZER SHALL BE MILORGANITE (8-2-0) OR APPROVED EQUAL.
  - GENERAL WORK PROCEDURES**  
A. LANDSCAPE WORK SHALL BE ACCORDING TO THE NORMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPING CONSTRUCTION AND PLANTING.
  - WEEDING**  
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
  - SOIL CONDITIONING**  
A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
  - PLANTING**  
POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.  
A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, AS SHOWN ON THE PLANTING DETAILS  
- 3 PARTS TOPSOIL  
- 1 PART PEAT MOSS OR COMPOST  
- 10 PART MILORGANITE FERTILIZER  
B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND WATER, COMPLETE BACK-FILLING AND WATER THOROUGHLY.  
C. ALL PLANTS SHALL BE SET SO THAT, WHEN SETTLED, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.  
D. IMMEDIATELY AFTER PLANTING, STAKE ALL TREES PER DETAILS AND AS DIRECTED BY LANDSCAPE ARCHITECT  
E. PREPARE RAISED EARTH SAUCER AS WIDE AS PLANTING HOLE OF EACH PLANT.  
F. WATER IMMEDIATELY AFTER PLANTING, WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.  
G. AFTER SHRUB BEDS AND TREE SAUCERS ARE BACKFILLED AND FINE GRADED, MULCH WITH 3" DEPTH OF DARK, SHREDDED HARDWOOD BARK MULCH.
  - FINISH GRADING**  
A. PLUSMINUS .1 FOOT OF FINISH GRADE  
B. ALL LAWNS AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING.  
C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
  - GUARANTEE**  
A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR
  - CLEAN UP**  
A. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL ACCEPTABLE CONDITIONS AS APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.
  - MAINTENANCE**  
A. MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION  
B. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORT AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REPAIRING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

BOTANICAL NAME	COMMON NAME	MINIMUM SIZE
<b>Park and Street Trees</b>		
Acer rubrum "October Glory"	October Glory Red Maple	2.5" Caliper
Celtis occidentalis	Hackberry	2.5" Caliper
Gleditsia tricanthos inermis "Skycole"	Skyline Thornless Honeylocust	2.5" Caliper
Tilia cordata "Greenspire"	Greenspire Linden	2.5" Caliper
Zelkova serrata	Japanese Zelkova	2.5" Caliper
<b>Ornamental Trees</b>		
Amelanchier canadensis	Serviceberry	1.5" Caliper
Cornus kousa	Kousa Dogwood	1.5" Caliper
Malus "Spring Snow"	Spring Snow Crabapple	1.5" Caliper
Syringa reticulata "Ivory Silk"	Ivory Silk Tree Lilac	1.5" Caliper
<b>Evergreen Trees</b>		
Abies concolor	White Fir	5-6' Ht.
Picea glauca	White Spruce	5-6' Ht.
Pinus nigra	Austrian Pine	5-6' Ht.
<b>Shrubs, Perennials and Grasses</b>		
Buxus "Green Velvet"	Green Velvet Boxwood	24" Ht.
Cornus racemosa "Muszam"	Muskingum Gray Dogwood	24" Ht.
Hydrangea macrophylla "Jane"	Little Lime Hydrangea	24" Ht.
Juniperus chinensis "Old Gold"	Old Gold Juniper	24" Ht.
Pennisetum alopecuroides "Hameln"	Hameln Fountain Grass	24" Ht.
Spiraea bumalda "Gold Flame"	Gold Flame Spirea	24" Ht.
Weigela florida "Alexandra"	Wine & Roses Weigela	24" Ht.



**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
8989 SHERIDAN DRIVE  
CLARENCE, NY

**ISSUE:**

**SA PROJECT TEAM:** PRINCIPAL P. Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER M. Velocci  
JOB CAPT. M. Velocci INTERIORS N. Winnert



**TITLE:**  
LANDSCAPING PLAN



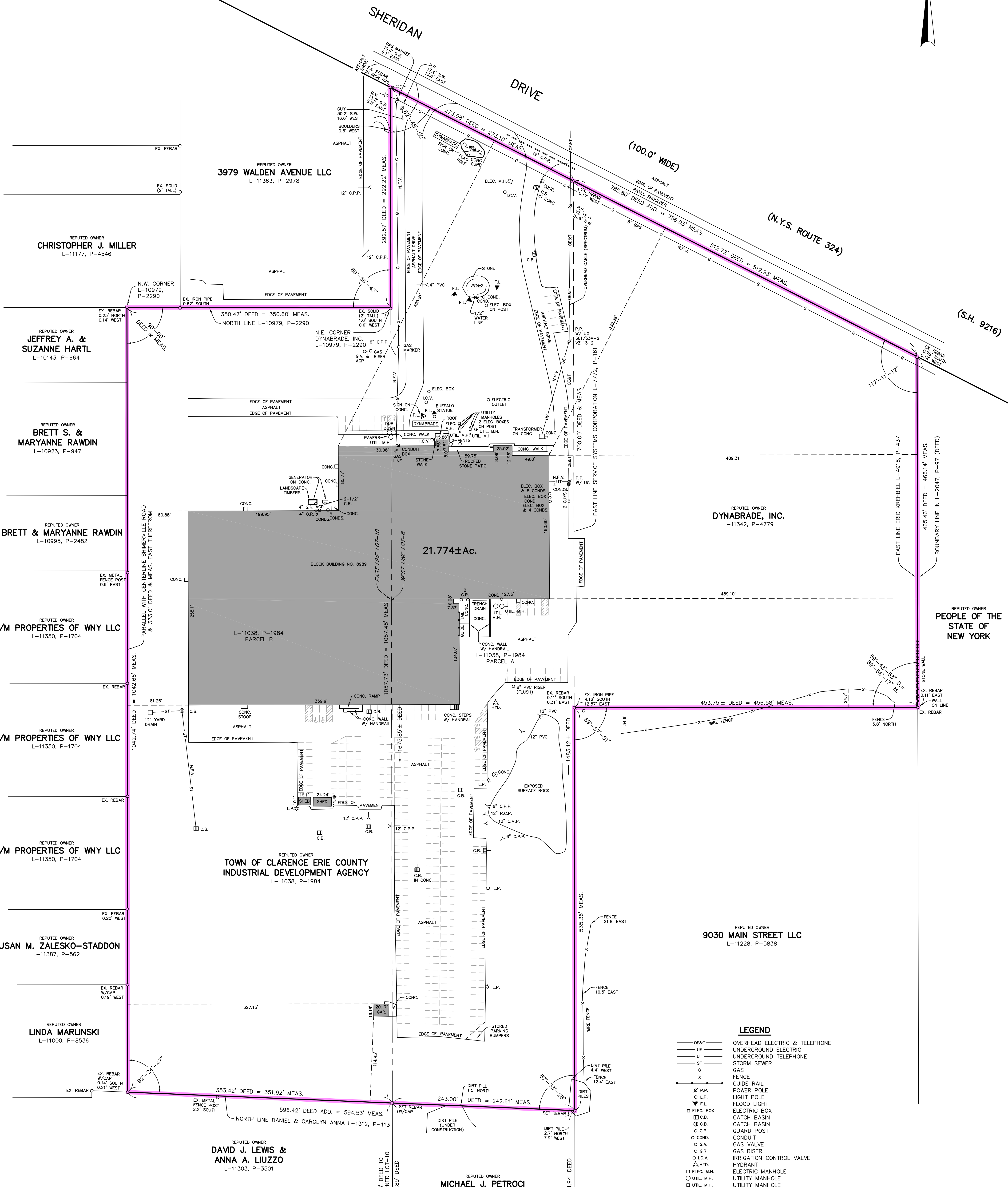
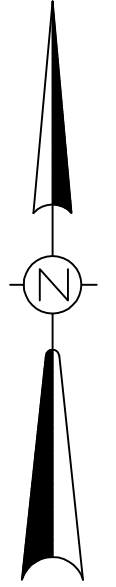
**SILVESTRI ARCHITECTS - PC**  
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

**SA JOB #:** 22102.05 **DATE:** 8/5/2024

**DRAWING #:** C-105







**NOTES**

- 1) SBL: PART OF TOWN OF CLARENCE TAX MAP NOS. 71.13-2-1.11 & 2
- 2) REFERENCE MAP: FOR TOPOGRAPHICAL INFORMATION SEE MAP PREPARED BY McINTOSH & McINTOSH, P.C., DATED NOVEMBER 1, 2022 AND IDENTIFIED AS JOB NO. 10106
- 3) REFERENCE MAP: SURVEY MAP PREPARED BY MATTHEW F. WILSON L.S., DATED SEPTEMBER 25, 1990 AND IDENTIFIED AS DRAWING NUMBER 90-164
- 4) REFERENCE MAP: SURVEY MAP PREPARED BY NUSSBAUMER & CLARKE, INC., DATED JUNE 16, 2000 AND IDENTIFIED AS JOB NO. 00J2-0413

**LEGEND**

— O&T —	OVERHEAD ELECTRIC & TELEPHONE
— UE —	UNDERGROUND ELECTRIC
— UT —	UNDERGROUND TELEPHONE
— ST —	STORM SEWER
— G —	GAS
— X —	FENCE
— GR —	GUIDE RAIL
⊗ P.P.	POWER POLE
⊗ L.P.	LIGHT POLE
▼ F.L.	FLOOD LIGHT
□ ELEC. BOX	ELECTRIC BOX
⊗ C.B.	CATCH BASIN
⊗ C.B.	CATCH BASIN
⊗ G.P.	GUARD POST
○ COND.	CONDUIT
○ G.V.	GAS VALVE
○ G.R.	GAS RISER
○ I.C.V.	IRRIGATION CONTROL VALVE
△ HYD.	HYDRANT
⊗ ELEC. M.H.	ELECTRIC MANHOLE
⊗ UTIL. M.H.	UTILITY MANHOLE
⊗ UTIL. M.H.	UTILITY MANHOLE
— S —	SIGN
— AGP —	ABOVE GROUND PIPE
— UG —	UNDERGROUND UTILITY
— N.F.V. —	NOT FIELD VERIFIED
♿	HANDICAP PARKING

**McINTOSH & McINTOSH, P.C.**  
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS  
429 PINE STREET, LOCKPORT, NEW YORK 14094  
PHONE 433-2535 PHONE 625-8360

RESURVEY	REVISION		
<b>SURVEY OF PART OF LOTS-8 &amp; 10, SEC.-9, TWP.-12, R.-6, HOLLAND PURCHASE</b> LOCATION <b>TOWN OF CLARENCE, ERIE COUNTY, NEW YORK</b>			
JOB No. <b>10106-A</b>		SCALE: <b>1" = 30'</b>	DATE: <b>NOVEMBER 1, 2022</b>

© 2022 McINTOSH & McINTOSH, P.C. ALL RIGHTS RESERVED

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209, PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

DRAWN: MAS	COMP: JEM, III
DESC: 10106A.DWG	CADFILE: 10106A.DWG

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Dynabrade - New 90,000 sf Building & Site Improvements		
Project Location (describe, and attach a general location map): 8989 Sheridan Drive, Clarence, NY 14031		
Brief Description of Proposed Action (include purpose or need): The applicant is proposing to construct a 90,000 square foot, single-story manufacturing and office building along with associated site improvements which will include asphalt paved parking lots for 99 vehicles (including 6 ADA accessible spaces), two (2) deep docks, 1 at-grade loading dock and site utilities. Site utilities include a stormwater management system, new septic system and new domestic and fire protection water services.		
Name of Applicant/Sponsor: Dyanbrade, Inc. (contact: Colin Brogan)		Telephone: 716-631-0100 ext. 109 E-Mail: colin.brogan@dynabrade.com
Address: 8989 Sheridan Drive		
City/PO: Clarence	State: NY	Zip Code: 14031
Project Contact (if not same as sponsor; give name and title/role): C&S Engineers, Inc. (contact: Jason Utzig, P.E.)		Telephone: 716-955-3013 E-Mail: jutzig@cscos.com
Address: 141 Elm Street, Suite 100		
City/PO: Buffalo	State: NY	Zip Code: 14203
Property Owner (if not same as sponsor):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Site Plan Approval	August 2024
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site Plan Approval	August 2024
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Water Authority - Backflow Prevention	September 2024
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Health Dept - Septic System Approval	September 2024
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT - Perm 33-COM (Curb Cut) NYS DEC - SPDES Permit	September 2024
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

NYS Heritage Areas: West Erie Canal Corridor  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Commercial

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Clarence Central School District

b. What police or other public protection forces serve the project site?  
New York State Police and Erie County Sheriff

c. Which fire protection and emergency medical services serve the project site?  
Harris Hill Fire Company

d. What parks serve the project site?  
Thompson Road Park, Town Place Park, Harris Hill Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial, Warehouse, Office

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 6.08 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 6.08 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 21.83 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ 70 \_\_\_\_\_ Units: \_\_\_\_\_ square feet

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ 12 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 30'-9 5/8" height; 275 width; and 325 length

iii. Approximate extent of building space to be heated or cooled: 90,000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes: \_\_\_\_\_

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes: \_\_\_\_\_

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 840 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes: \_\_\_\_\_

- Name of district or service area: Erie County Water Authority
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes: \_\_\_\_\_

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes: \_\_\_\_\_

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes: \_\_\_\_\_

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 840 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):  
sanitary wastewater \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes: \_\_\_\_\_

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
a new onsite wastewater treatment system/ septic system will be installed consisting of a bottomless sand filter with underlying discharge system to bedrock  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
N/A  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 3.58 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 6.08 acres (parcel size)  
 ii. Describe types of new point sources. stormwater runoff  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
on-site stormwater management facility. The existing on-site stormwater dry detention basin will be expanded to limit the stormwater runoff from the proposed improvements to the existing runoff rates.  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
stormwater discharges through fissures in the bedrock within the existing detention basin and through three (3) existing stormwater injection wells.  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 Unknown \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
 NYSEG \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7am-5pm _____</li> <li>• Saturday: _____ N/A _____</li> <li>• Sunday: _____ N/A _____</li> <li>• Holidays: _____ N/A _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 The use of construction equipment and construction activities during the construction of this project will result in unavoidable noise impacts during daytime hours.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 New exterior lighting to comply with the Town of Clarence Town Code.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ to be determined \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ to be determined \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: Recycling of salvageable construction items.  
 • Operation: Recycling programs by use.  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: Via agreement with waste disposal company.  
 • Operation: Via agreement with waste disposal company.

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Institutional (Sheridan Hill Elementary), Sheridan Driving Range  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	3.58	+3.58
• Forested	5.68	0.67	-5.01
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.40	0	-0.40
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0		0
• Other Describe: <u>lawn &amp; landscaping</u>	0	1.83	+1.83

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
Sheridan Hill Elementary School, \_\_\_\_\_  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
\_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 2.5 - 5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Benson very channery loam	_____	48 %
Wassaic silt loam	_____	29 %
Newstead loam	_____	23 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ > 5 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	77 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	% of site
<input checked="" type="checkbox"/> Poorly Drained	_____	23 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	100 % of site
<input type="checkbox"/> 10-15%:	_____	% of site
<input type="checkbox"/> 15% or greater:	_____	% of site

g. Are there any unique geologic features on the project site?  Yes  No  
If Yes, describe: \_\_\_\_\_  
\_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
\_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
If Yes:  
i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <table style="width: 100%; border: none;"> <tr> <td style="border: none;">White tailed deer _____</td> <td style="border: none;">raccoon _____</td> <td style="border: none;">squirrel _____</td> </tr> <tr> <td style="border: none;">eastern chipmunk _____</td> <td style="border: none;">skunk _____</td> <td style="border: none;">woodchuck _____</td> </tr> <tr> <td style="border: none;">field mice _____</td> <td style="border: none;">common garter snake _____</td> <td style="border: none;">red fox _____</td> </tr> </table>	White tailed deer _____	raccoon _____	squirrel _____	eastern chipmunk _____	skunk _____	woodchuck _____	field mice _____	common garter snake _____	red fox _____	
White tailed deer _____	raccoon _____	squirrel _____								
eastern chipmunk _____	skunk _____	woodchuck _____								
field mice _____	common garter snake _____	red fox _____								
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____ Oak Openings _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ 70.0 acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>										
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>										
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>										
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>										
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>										
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>										
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>										
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>										
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>										

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

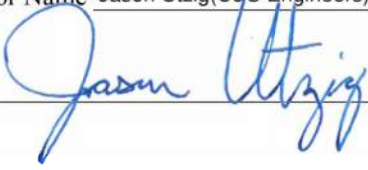
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jason Utzig(C&S Engineers) on behalf of owner      Date August 5, 2024

Signature       Title Senior Project Engineer



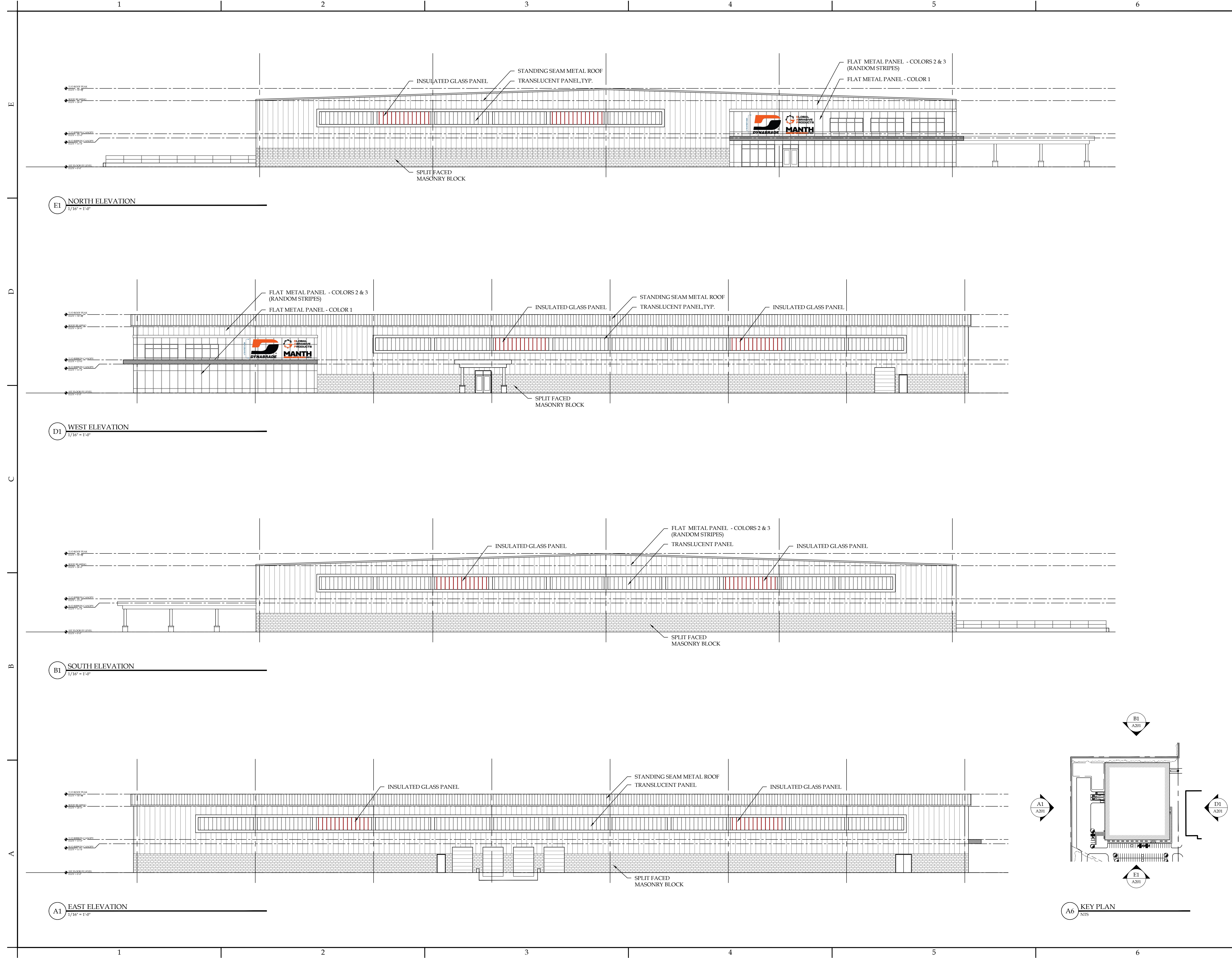
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: West Erie Canal Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	Yes



E.2.n.i [Natural Communities - Name]	Oak Openings
E.2.n.i [Natural Communities - Acres]	70.0
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

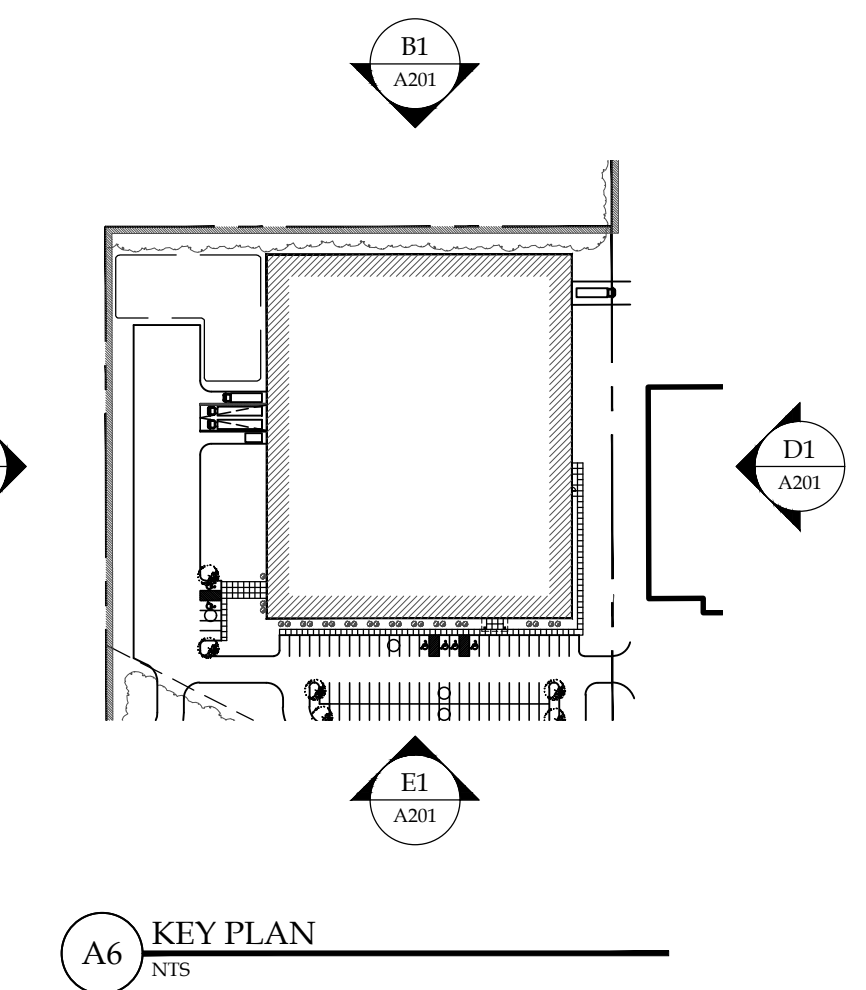


E1 NORTH ELEVATION  
1/16" = 1'-0"

D1 WEST ELEVATION  
1/16" = 1'-0"

B1 SOUTH ELEVATION  
1/16" = 1'-0"

A1 EAST ELEVATION  
1/16" = 1'-0"



**NOTICE**  
This document, the property of, prepared and issued by the architect, is submitted for the specific project named \_\_\_\_\_ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



**NEW 90,000 SF BUILDING FOR: DYNABRADE**  
8989 SHERIDAN DRIVE  
CLARENCE, NY

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER M.Velocci  
JOB CAPT. M.Velocci INTERIORS N.Winnert

SEAL:

TITLE:  
**EXTERIOR ELEVATIONS**



SA JOB #: 22102.05 DATE: 07-26-24

DRAWING #: **A-201**





**DESIGN CRITERIA:**

- AS PER 2020 RESIDENTIAL CODE OF NYS
- OCCUPANCY CATEGORY II
- ROOF LOADS:
  - DEAD LOAD = 10 PSF
  - SNOW LOAD (GROUND) = 50 PSF
  - $G_s = 1.0$
  - $C_s = 1.0$
  - $I = 1.0$
  - SNOW DRIFT LOADS AS REQUIRED BY SECTION 1608.
- WIND LOAD:
  - 3 SECOND GUST SPEED = 115 MPH
  - WIND EXPOSURE CATEGORY 'B'
  - IMPORTANCE FACTOR = 1.0
  - INTERNAL PRESSURE COEFFICIENT = 0.18
- SEISMIC LOADING:
  - IMPORTANCE FACTOR = 1.0
  - $S_s = 0.177$
  - $S_1 = 0.189$
  - $S_2 = 0.046$
  - $S_3 = 0.074$
  - SEISMIC DESIGN CATEGORY 'B'
- OTHER DEAD LOADS HAVE BEEN CALCULATED TO INCLUDE THE ACTUAL WEIGHT OF ALL WORK SHOWN ON THE STRUCTURAL DRAWINGS. NO EQUIPMENT SHALL BE PLACED ON OR HUNG FROM THE ROOF SYSTEMS WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- DRILLING & NOTCHING TO BE IN ACCORDANCE WITH:
  - R 602.8 FLOORS
  - R 602.6 WALLS
  - R 602.7 ROOF
- HEADERS IN ACCORDANCE WITH TABLES R 602.7(1), R 602.7(2), R 602.7(3) [GROUND SNOW LOAD = 50 PSF]

**FOUNDATION NOTES:**

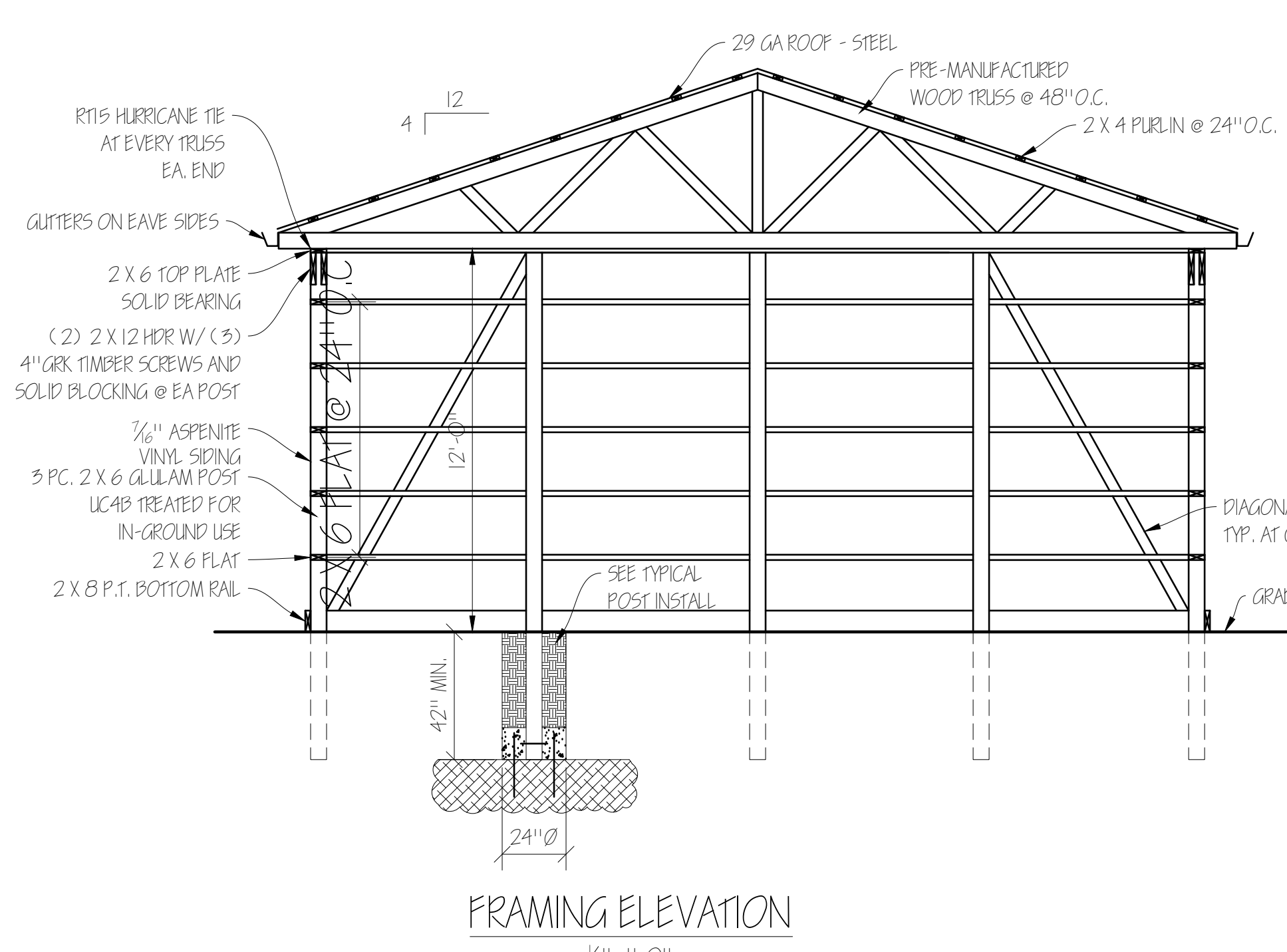
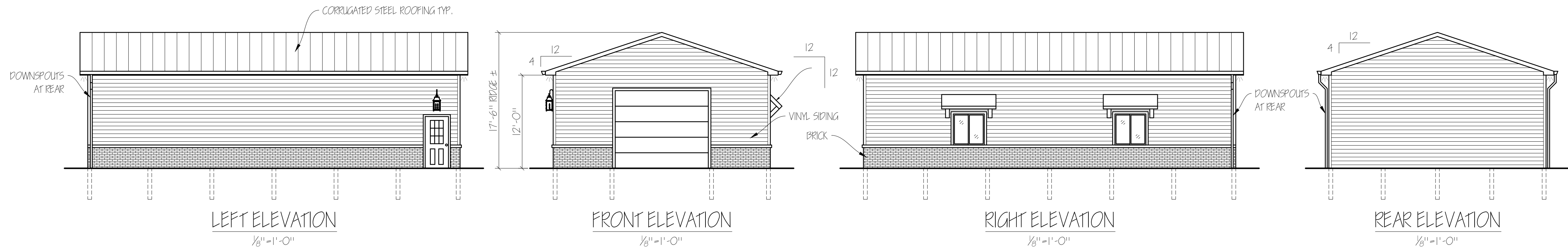
- ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE, INDIRECT CONTACT WITH THE GROUND, OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESURE-PRESERVATIVE TREATED WOOD, SUITABLE FOR GROUND CONTACT AND MEETS THE AMPA LCA REQUIREMENTS & SECTION R517.
- UC4A - SKIRT BOARDS
- UC4B - STRUCTURAL FOUNDATION SUPPORT POLES
- ALL CONSTRUCTION SHALL MEET OR EXCEED THE NYS RESIDENTIAL CODE.
- PRESUMPTIVE SOIL BEARING CAPACITY 1600 PSF. BEING EXCAVATION, THE ENGINEER/ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY THE CODE OFFICIAL OR CONTRACTOR IF SOIL CONDITIONS DO NOT APPEAR TO BE CONSISTENT WITH THE DESIGN SOIL CAPACITY.

**WOOD ROOF TRUSS FRAMING NOTES:**

- ALL WOOD TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTES (T.P.I.) REQUIREMENTS AND ALL APPLICABLE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (A.I.T.C.) SPECIFICATIONS.
- A COPY OF THE TRUSS ERECTION PLAN AND THE TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OF ANY COMPONENTS. ENGINEER STAMPED AND ARCHITECT REVIEWED PLANS SHALL BE PROVIDED TO THE TOWN.
- ALL ERECTION PLANS AND DRAWINGS SHALL BEAR THE NAME, SIGNATURE, AND SEAL OF A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK. ALL DESIGNS AND/OR SHOP DRAWINGS SHALL INCLUDE THE FOLLOWING: PITCH, SPAN, BEARING REQUIREMENTS, DESIGN LOADS, AXIAL FORCES, SIZES AND LOCATIONS OF CONNECTION PLATES AT ALL JOINTS, SPECIES, ALLOWABLE STRESSES, GRADE OF LUMBER USED, LATERAL BRACING REQUIRED, AND HANDLING AND ERECTION REQUIREMENTS.
- SEE FRAMING PLANS FOR SCHEMATIC LAYOUT OF TRUSSES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER HANDLING AND FOR PROVIDING TEMPORARY BRACING IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS. SEE STANDARD T.P.I. ERECTION DATA SHEETS PRIOR TO INITIATING CONSTRUCTION. GENERAL CONTRACTOR MUST ASSURE THAT THE TRUSSES ARE NOT STRUCTURALLY DAMAGED DURING ERECTION AND THAT THEY ARE MAINTAINED IN ALIGNMENT BEFORE, DURING, AND AFTER INSTALLATION. TEMPORARY BRACING SHALL BE IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE GENERAL CONTRACTOR SHALL SUBMIT A FORMAL WRITTEN PROCEDURE DETAILING THE METHOD, MEMBER SIZES, AND LOCATIONS FOR TEMPORARY LATERAL BRACING WITH THE SHOP DRAWINGS FOR THE ARCHITECT'S REVIEW.

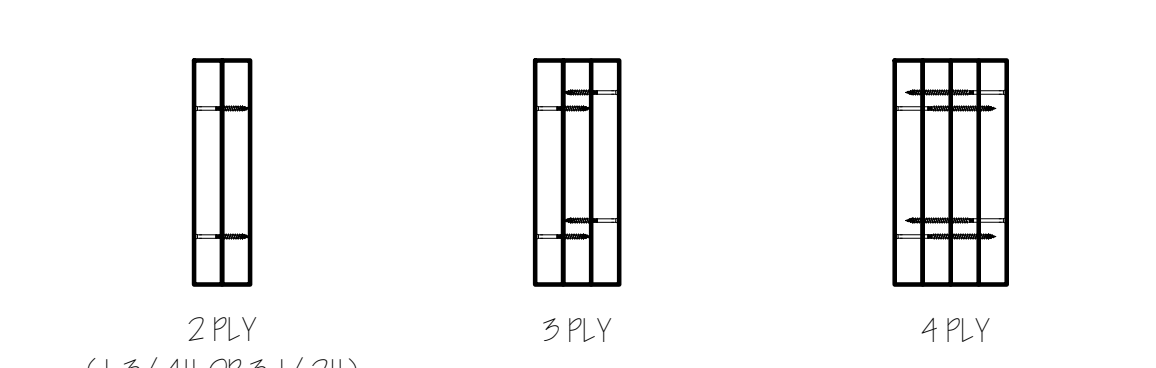
**GENERAL NOTES:**

- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, OR FOR ANY PROGRAMS OR SAFETY PRECAUTIONS IN CONNECTION WITH THE CONSTRUCTION WORK.



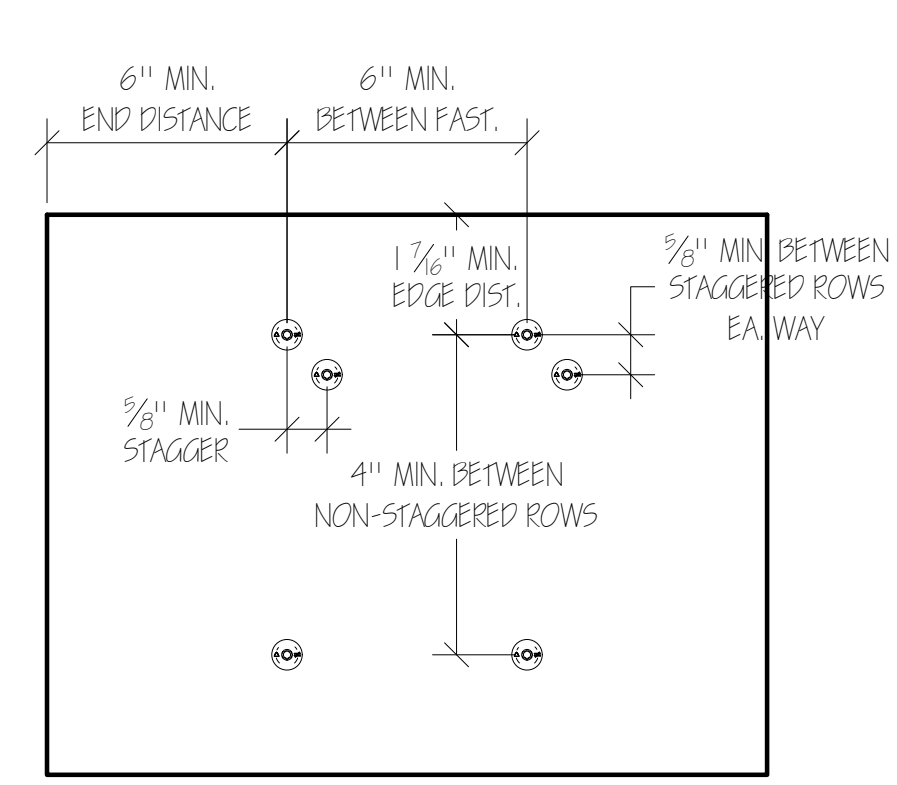
HEADER SCHEDULE UNLESS OTHERWISE NOTED			
OPENING SIZE:	2 X 4 WALL	2 X 6 WALL	
UP TO 4'-0"	(2) 2 X 8	(3) 2 X 8	
5'-0"	(2) 2 X 8	(3) 2 X 8	
6'-0"	(2) 2 X 10	(3) 2 X 10	
7'-0"	(2) 2 X 12	(3) 2 X 12	
8'-0"	(2) 2 X 12	(3) 2 X 12	

NOTE: PROVIDE (2) 1/2" PLYWOOD GUSSETS - 2 X 6 WALL  
PROVIDE (1) 1/2" PLYWOOD GUSSETS - 2 X 4 WALL  
GLUE AND NAIL ALL HEADERS

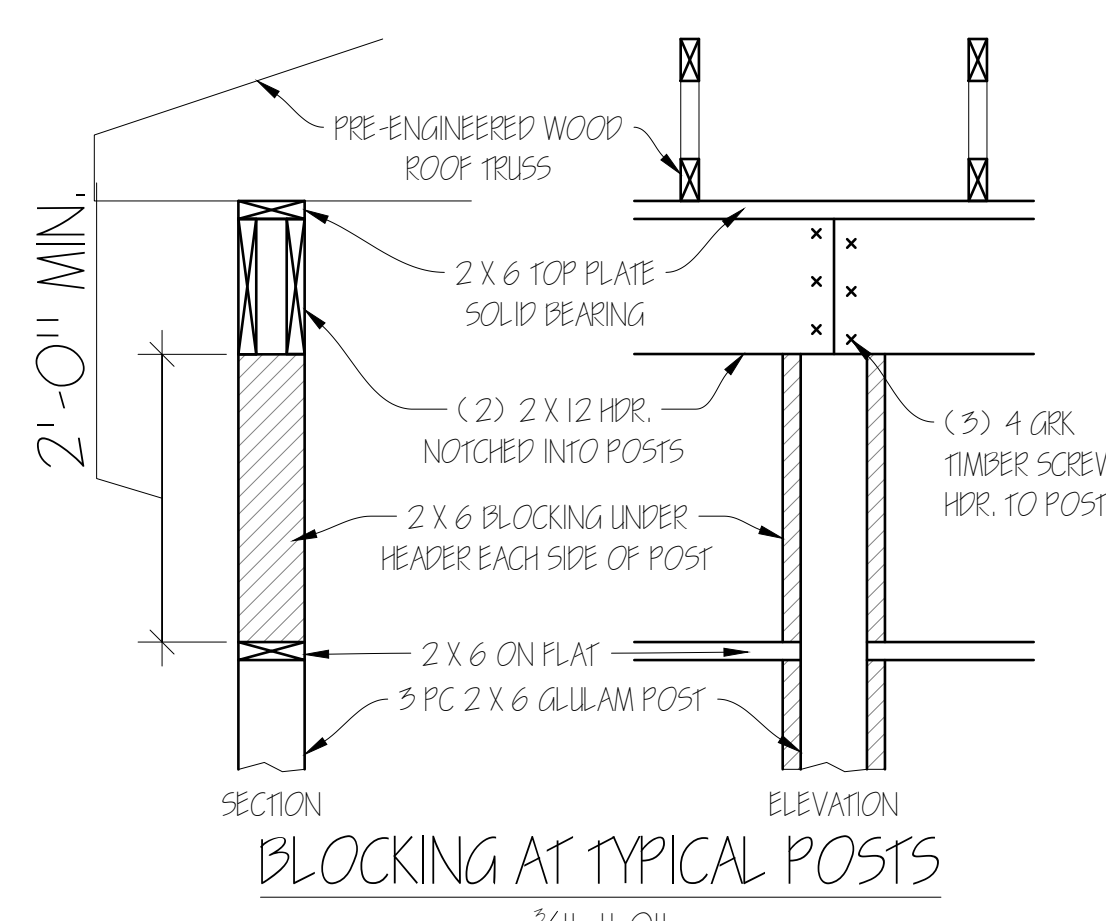


Piece Width	Number of Piles	Fastener Type	Min. Length	# Rows	O.C. Spacing	Location
1-5/4"	2	12d-16d nails	3-1/4"	3	12"	One side
		SDW22 Screw	3-5/8"	2	16"	One side
	3	12d-16d nails	3-1/4"	3	12"	Both sides
		SDW22 Screw	3"	2	16"	One side
3-1/2"	2	SDW22 Screw	6-5/4"	3	12"	One side
		SDW22 Screw	6-5/4"	2	16"	One side

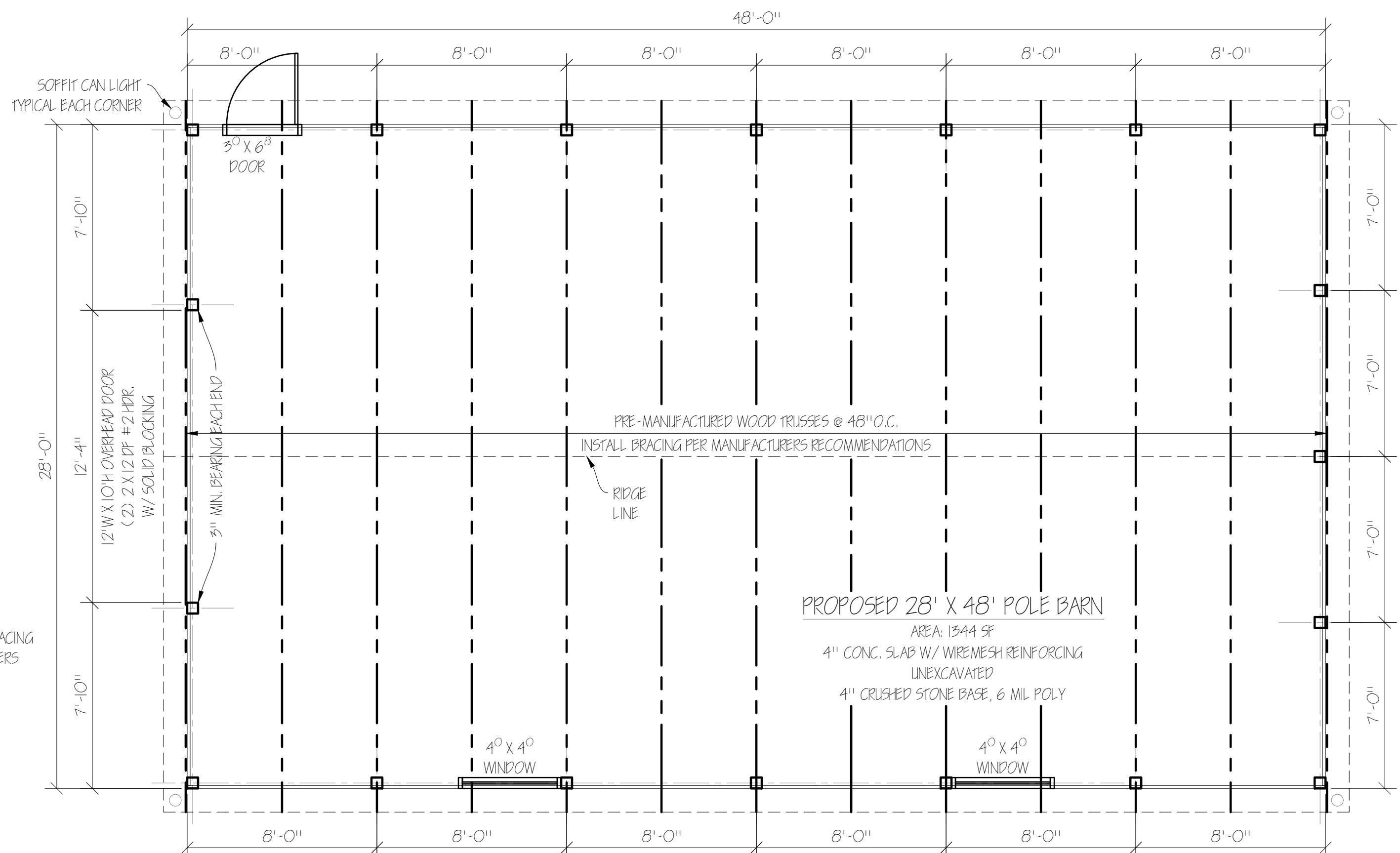
- \*\*\* TABLE FOR BEAMS UP TO 14" DEEP MAX.  
\*\*\*\* USE FOR HEADERS ONLY
- When hangers are installed to the fastener tip side of the member, hanger face fasteners must be a minimum of 5" long.
  - Add additional row of fasteners for members > 14".
  - Laminated veneer lumber (LVL); "micromat" as manufactured by Weyerhaeuser or an approved equivalent, with a minimum E of 1,900,000 & a minimum F<sub>b</sub> of 2,600 PSI secure multiple members as specified by manufacturer.



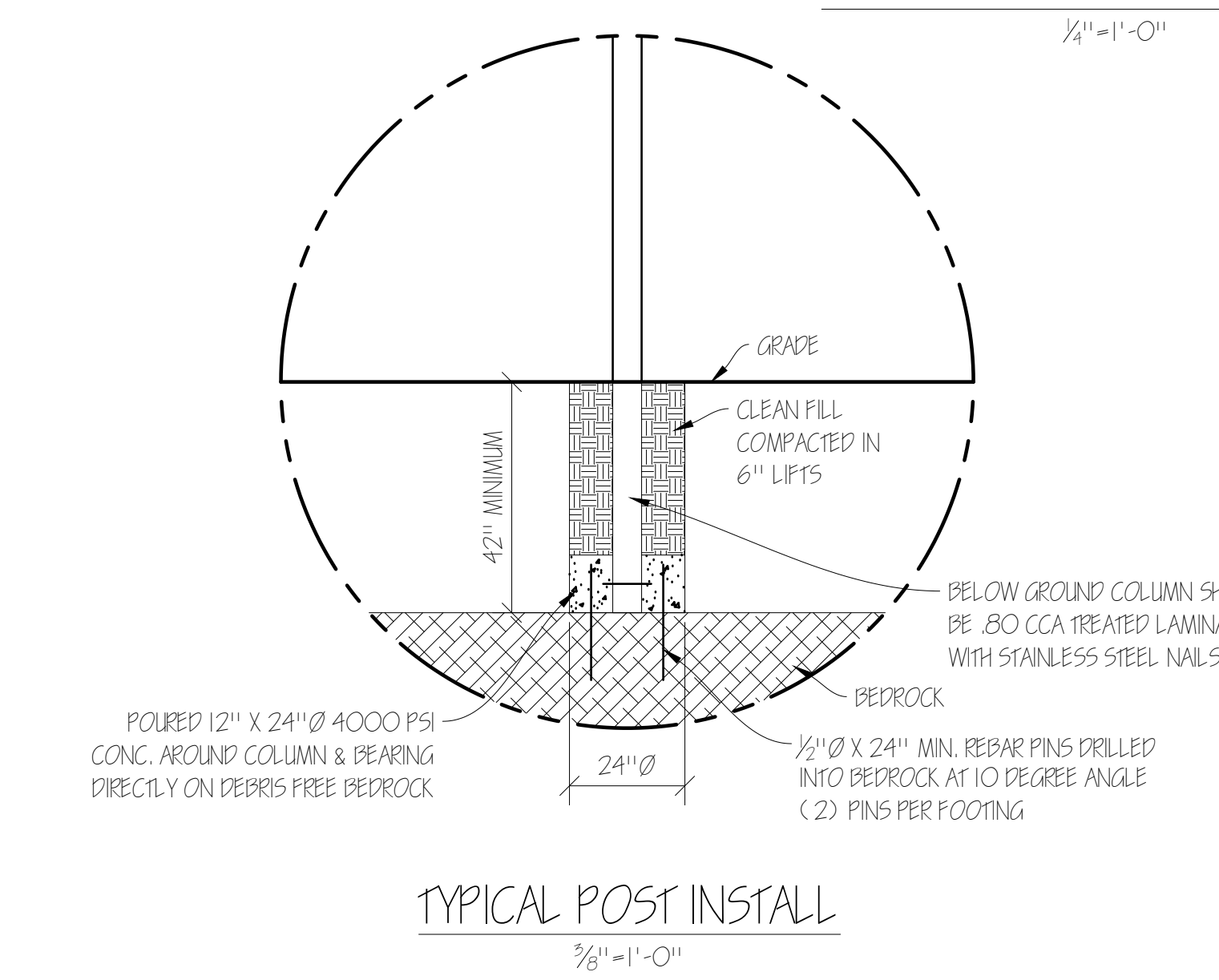
**SDW SCREW SPACING REQUIREMENTS**



**BLOCKING AT TYPICAL POSTS**



**FRAMING PLAN & POST LAYOUT**

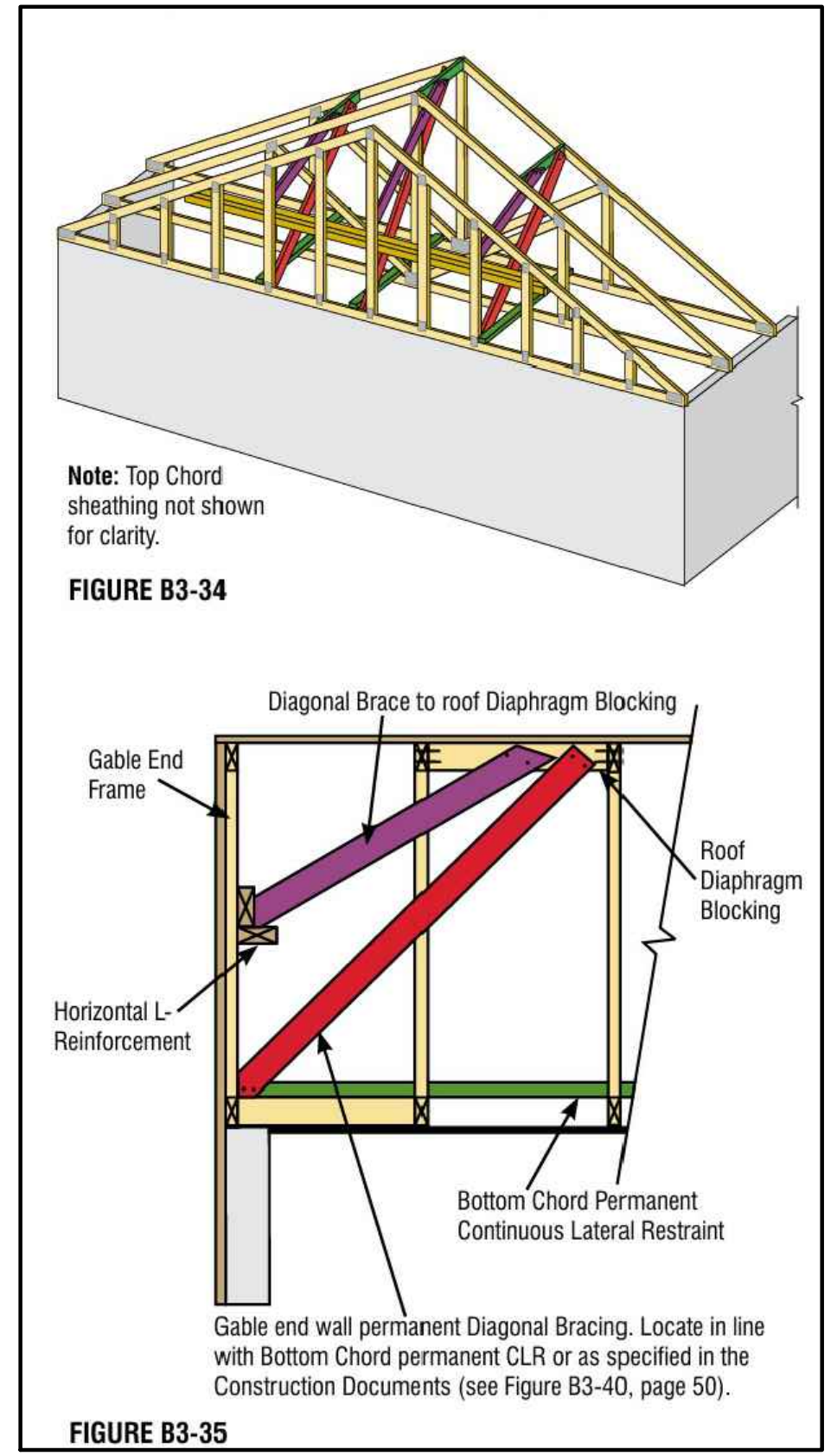
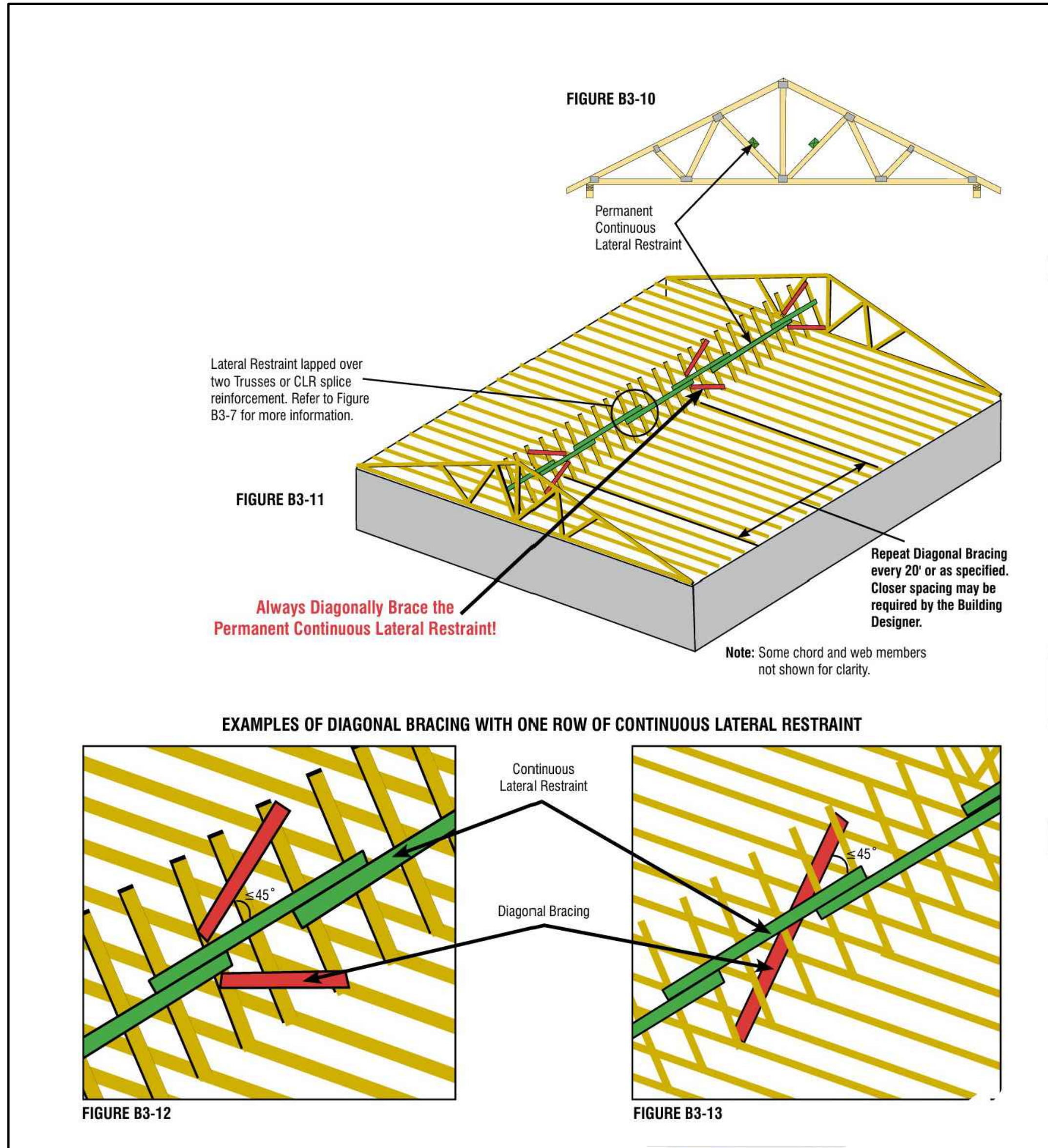
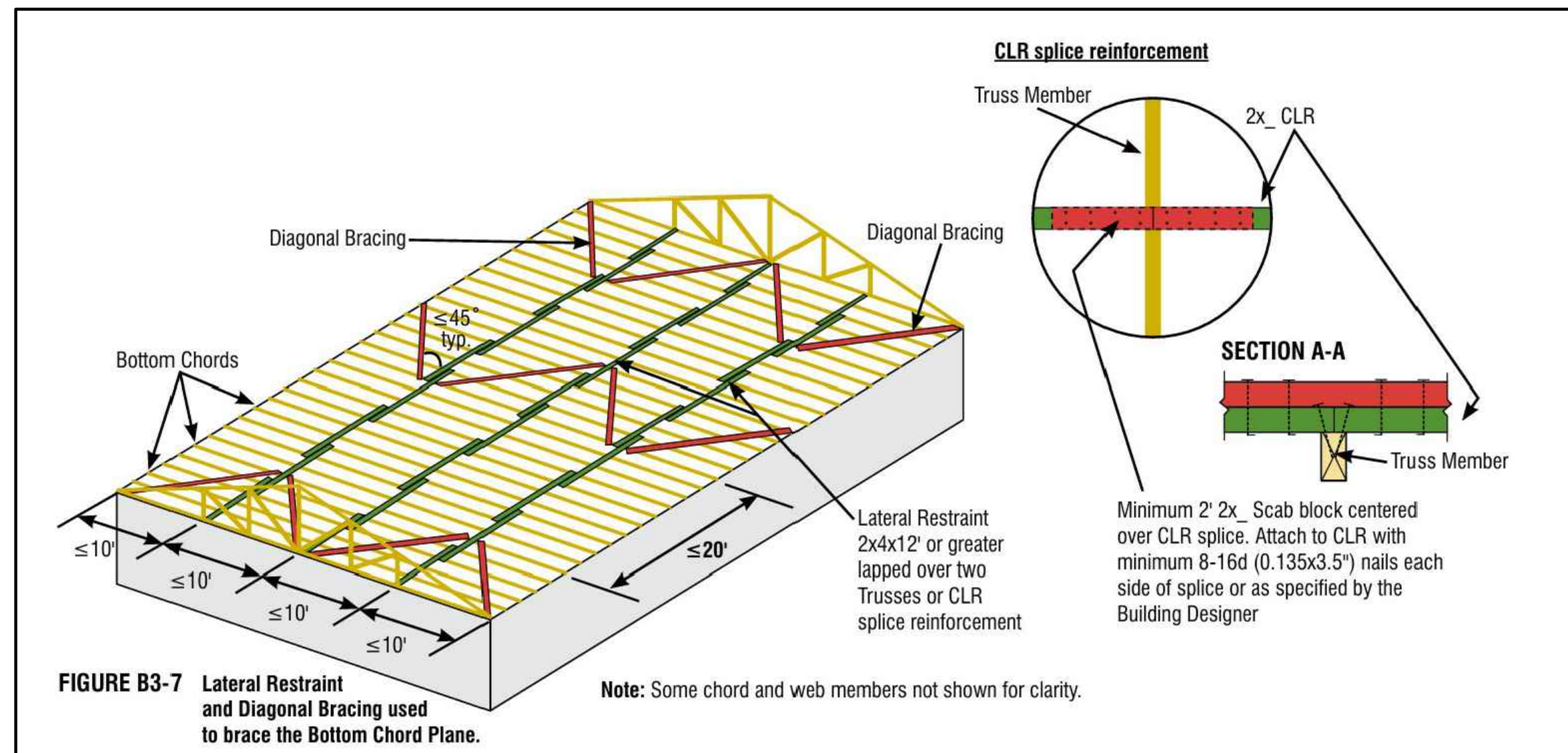
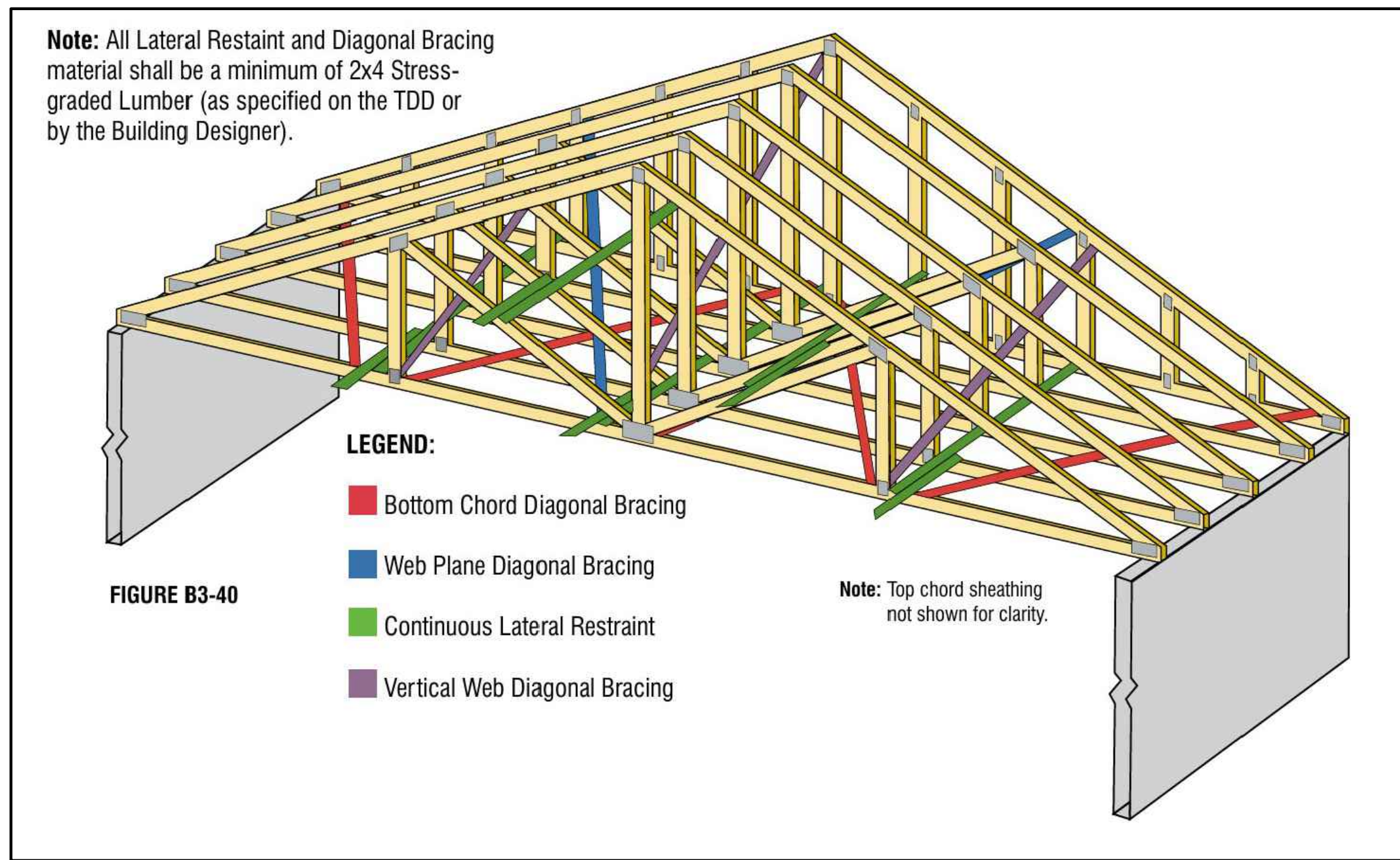


**TYPICAL POST INSTALL**

**SOIL / BEDROCK NOTE:**  
-CONTRACTOR TO RAISE GRADE IF NECESSARY TO ALLOW 42" MINIMUM COVER ON FOOTINGS.  
-IF ROCK CONDITIONS ARE SHALLOWER THAN 42" BELOW GRADE & 42" MINIMUM COVER CAN NOT BE PROVIDED CONTACT GEO-TECHNICAL ENGINEER FOR ALTERNATE FOUNDATION DESIGN.

**BRACING NOTE:**  
-SEE SHEET A-2 FOR BRACING DETAILS.

GRETZONI AGENCY POLE BARN 8427 MAIN STREET, WALLINGVILLE, NY 14221		
SCALE: 1/4" = 1'-0"	DRWN BY: T.M.	DATE: 09-11-2024
UNAUTHORIZED ALTERATION OF PLAN IN IS VIOLATION OF SECTION 7209, PROVISION 2 NEW YORK STATE EDUCATION LAW.		SHEET NO. A-1



**BRACING NOTES:**

- TEMPORARY BRACING OF TRUSS IS CONSIDERED WAYS & MEANS AND WILL BE CONTRACTORS RESPONSIBILITY.

GETZONI AGENCY POLE BARN 8427 MAIN STREET, WALLINGFORD, VT 05422		
SCALE:	DRWN BY:	DATE:
1/4" = 1'-0"	T.M.	05-06-2024
UNAUTHORIZED ALTERATION OF PLAN IN IS VIOLATION OF SECTION 7209, PROVISION 2 NEW YORK STATE EDUCATION LAW.		SHEET NO. A-2

**The Getzoni Agency, Inc.**  
**8427 Main Street**  
**Williamsville, NY 14221**  
**Tel: (716) 631-0363**

Town of Clarence  
6221 Goodrich Road  
Clarence Center, NY 14032

RE: Intended Use of Accessory Building

August 22, 2024

To Whom It May Concern,

I am writing to formally document our intent to utilize the proposed accessory building at 8427 Main Street for the purpose of cold storage of office and property maintenance equipment.

This facility has been specifically designed to accommodate our storage needs, ensuring that our equipment is kept in an optimal environment that preserves its functionality and value. By centralizing these assets in this dedicated space, we aim to enhance our operational efficiency and streamline our maintenance processes.

We intend to use the building exclusively for the storage of items related to our office operations and property maintenance. This will include, but is not limited to, office furniture, tools, machinery, and other essential equipment necessary for the upkeep of our property and the smooth functioning of our office operations.

We believe that this dedicated storage solution will contribute significantly to our overall operational effectiveness and asset management strategy.

Should you require any additional information or have any concerns, feel free to reach out to me directly. Thank you for your attention to this matter.

Sincerely,

Grant L. Getzoni  
President/Owner

---

**The Getzoni Agency, Inc.**  
**8427 Main Street**  
**Williamsville, NY 14221**  
**Tel: (716) 631-0363**

Town of Clarence  
6221 Goodrich Road  
Clarence Center, NY 14032

RE: Intent to Re-Tree Clarence with Building Construction

August 22, 2024

To Whom It May Concern.

I am writing to formally express our intent to re-tree Clarence during the final grading process after the construction of our accessory building. We recognize the importance of maintaining and enhancing the environmental quality of the area and are committed to restoring the green space in Clarence with appropriate tree species once the grading is finished.

Our plan involves working closely with environmental experts to ensure that the re-treeing process is conducted effectively and in accordance with local regulations and best practices. The selected tree species will be chosen to align with the area's ecosystem, promote biodiversity, and contribute positively to the local environment. Please find attached the proposal for the project.

We understand that re-treeing is a critical step in restoring the landscape and are fully dedicated to following through with this commitment. Thank you for your attention to this matter. Please feel free to contact me with any questions or if further information is required.

Sincerely,

Grant L Getzoni  
President/Owner





Estimate for Installation of Chestnut Trees and Yard Grading

Date: August 22, 2024

THE GETZONI AGENCY

8427 MAIN ST

WILLIAMSVILLE NY 14221

Scope of Work:

Installation of 2 Chestnut Trees

Grading and Reseeding of Yard

Cost Breakdown:

Chestnut Trees:

Cost of Chestnut Trees: 2 trees x \$249 = \$498

Installation Fee: 2 trees x \$100 = \$200

Total for Chestnut Trees: \$498 + \$200 = \$698

Grading and Reseeding of Yard:

Grading and Reseeding: \$2600

Total Estimated Cost:

Chestnut Trees Installation: \$698

Grading and Reseeding of Yard: \$2600

Grand Total: \$3298

Terms and Conditions: Payment Terms: [Specify payment terms, e.g., 50% deposit upon acceptance of estimate, balance due upon completion]

Validity: This estimate is valid for 30 days from the date of issuance.

Scope Limitation: This estimate covers only the items specified above. Any additional work required will be subject to further discussion and agreement.

Note: Prices are based on current rates and may be subject to adjustment based on unforeseen circumstances or additional client requirements.

Please do not hesitate to contact us if you have any questions or require further clarification. We look forward to the opportunity to work with you.

Sincerely,

PAUL GUSTAS

510 AURORA ST

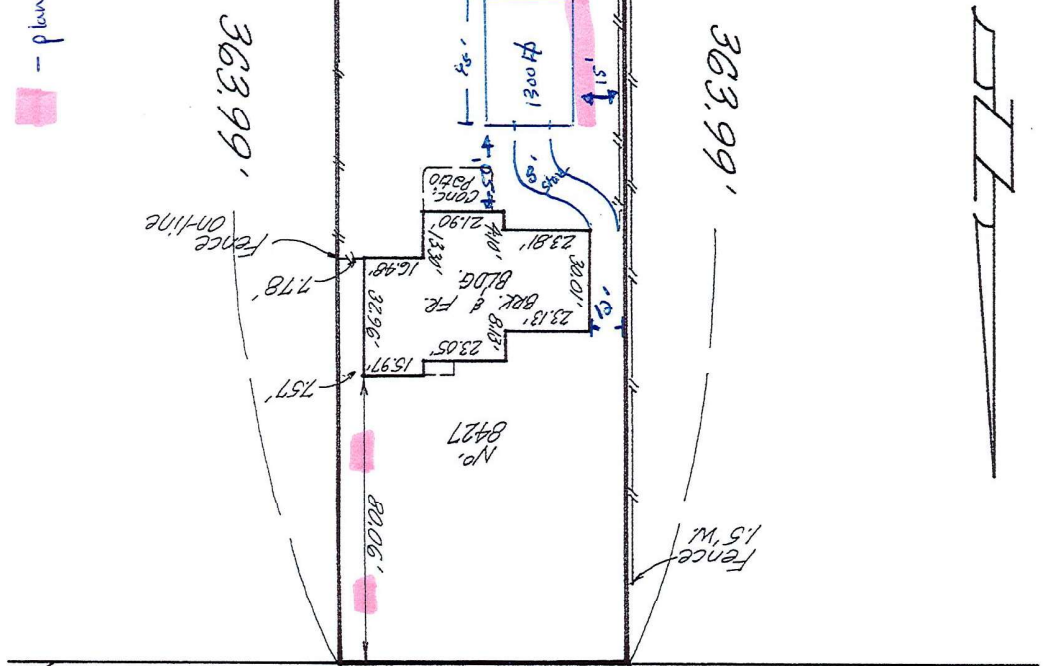
LANCASTER NY 14086

This survey was prepared without the benefit of an abstract of title and is subject to any state of such facts that may be revealed by an examination

Altering any item on this map in violation of the law, excepting as provided in Section 7209, Part 2 of the New York State Education Law

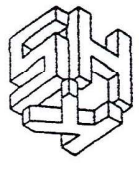
MAIN ST. 99.0' WIDE

80.0' of Lot G to W. Line of Main St. 7



**Kenneth M. Hahn**  
 Licensed Land Surveyor  
 N.Y.S. License No. 050151  
 189 Lamont Drive  
 Amherst, N.Y. 14226  
 Phone: (716) 837-5082

Town of Clarence  
 County of Erie, New York  
 Part of Lots 5 & 6, Sec. 13,  
 Twp. 12, Rge. 6  
 Scale: 1" = 40'  
 Job No. 12-0420  
 Survey Date: 8-13-12



Ari M. Goldberg  
Counsel

July 10, 2024

**VIA OVERNIGHT MAIL**  
**VIA ELECTRONIC MAIL**

Town of Clarence  
Planning Board  
c/o Jonathan Bleuer, Director of Community Development  
One Town Place  
Clarence, NY 14031  
[jbleuer@clarence.ny.us](mailto:jbleuer@clarence.ny.us)

Re: James Ryan Parkway & County Road  
Mattina Development LLC  
Third Supplemental Submission | Subdivision

Dear Members of the Planning Board:

Barclay Damon LLP represents Mattina Development, LLC (“Applicant”) with respect to its proposed retail plaza (“Development”) at the southeast corner of County Road and James Ryan Parkway, SBL 44.00-1-21.121 (“Property”). In follow up to our most recent appearance before the Planning Board Executive Committee meeting on July 1, 2024, Applicant hereby amends its request for action to include subdivisions associated with the Development.

Enclosed, please find the following:

1. Cimato Family Business Park Subdivision Plat and Drawing Set
2. Revised Site Plan Set prepared by Carmina Wood Design

Applicant is purchasing Lots 1, 2, 9, 10, 11, and the Stormwater Detention Basin Lot shown in the Subdivision Plat enclosed. The Applicant’s subdivision request includes:

- Subdivision of Lots 1 and 2 from the Property and merger of Lots 1 and 2 to form a separate, standalone parcel.
- Subdividing Lot 9 from the Property to form a standalone parcel.
- Subdivision of Lots 10, 11, and the Stormwater Detention Basin Lot from the Property and merger of the same to form a separate, standalone parcel containing the Development.

Mattina | James Ryan Parkway & County – Revised Concept Plan  
July 10, 2024  
Page 2

We look forward to discussing the Development with the Planning Board at its July 31, 2024 meeting. If anything additional is required, please do not hesitate to reach out. Thank you for your consideration.

Very truly yours,



Ari M. Goldberg

cc: Chris Wood, Carmina Wood Design  
Mattina Development, LLC

# **Exhibit 1**

## **Property Subdivision Plat and Drawing Set**

# CIMATO FAMILY BUSINESS PARK

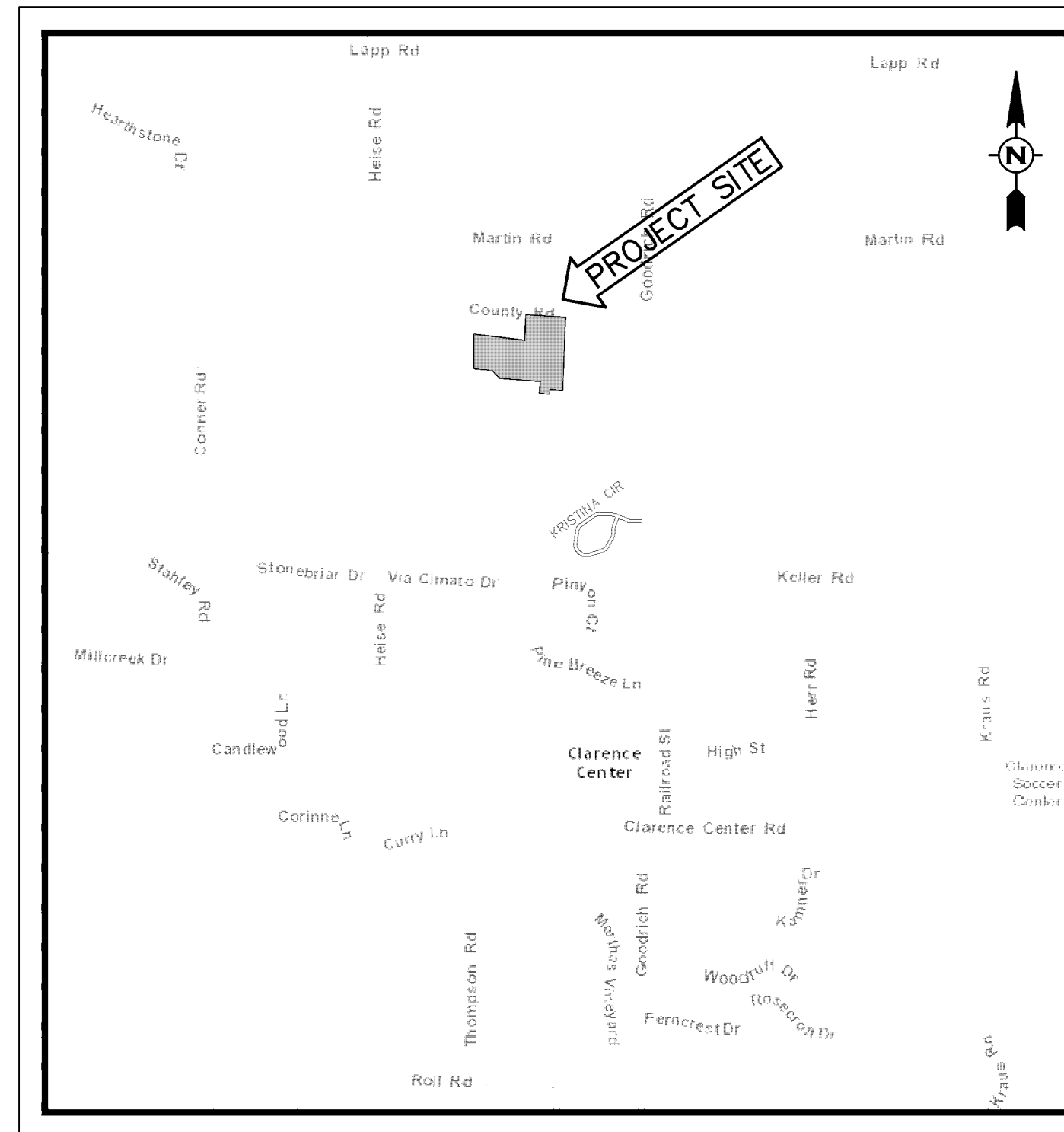
## (FORMERLY LAKESIDE INDUSTRIAL PARK)

### PART OF LOT 1, TOWNSHIP 12, SECTION 12, RANGE 6

### TOWN OF CLARENCE - ERIE COUNTY - NEW YORK

#### GENERAL NOTES

- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CLARENCE SEWER DISTRICT NO. 2 AND ERIE COUNTY SEWER DISTRICT NO. 5 RULES, REGULATIONS AND STANDARD DETAILS. THE TOWN OF CLARENCE WILL ARRANGE AND HOLD A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CLARENCE STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS APPROVED BY THE TOWN ENGINEER. THE CONTRACTOR IS REQUIRED TO SUBMIT SHOP DRAWINGS TO THE TOWN OF CLARENCE TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH ERIE COUNTY WATER AUTHORITY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL REQUIREMENTS OF RESPECTIVE ECWA BUILDER-CONTRACTOR-DEVELOPER (BCD) AGREEMENT INCLUDING SUBMIT SHOP DRAWINGS TO THE ERIE COUNTY WATER AUTHORITY PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK WITHIN ROW OF COUNTY ROAD (CR #282) IS SUBJECT TO A WORK PERMIT TO BE ISSUED BY ECDPW DIVISION OF HIGHWAYS TO THE CONTRACTOR.
- ALL WORK IN THE VICINITY OF NATIONAL FUEL GAS PROPERTY/FACILITIES IS SUBJECT TO PROVISIONS OF RESPECTIVE NFG LICENSE AGREEMENT
- THE LOCATION OF UTILITIES AND OTHER FEATURES, AS SHOWN ON THE PLANS, ARE FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INVESTIGATE AND DETERMINE THE EXACT LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION IN ORDER TO AVOID CONFLICTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, PROTECT, SUPPORT AND MAINTAIN ALL EXISTING UTILITIES DURING THE COURSE OF HIS OPERATIONS. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL PROVISIONS OF THE NEW YORK STATE INDUSTRIAL CODE RULE 53 AND THE NEW YORK STATE VOLTAGE PROXIMITY ACT MUST BE FOLLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADVISE ALL UTILITIES AND AGENCIES OF HIS PROPOSED OPERATIONS.
- ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE. ALL REPAIRS OR REPLACEMENTS MADE BY THE CONTRACTOR SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL TAKE ANY PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING.
- THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUMED TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.
- ALL UTILITY OPEN CUT ROAD CROSSINGS SHALL BE BACKFILLED WITH NO. 2 RUN OF CRUSHER STONE AND COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY ASTM D-1557 PER TRENCH DETAILS. SELECT BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF 5 FEET BEYOND EDGE OF PAVEMENT.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.
- THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE TOWN ENGINEER AND OWNER IN ACCORDANCE WITH THEIR INSTRUCTIONS.



LOCATION MAP  
N.T.S.

#### SHEET INDEX

- CVR..... COVER SHEET
- BS1..... BOUNDARY AND TOPOGRAPHIC SURVEY
- SP1..... MASTER SITE PLAN
- SP2..... SITE LAYOUT PLAN
- UP1..... UTILITY PLAN
- UP2..... UTILITY PROFILE
- FM1..... FORCEMAIN PLAN AND PROFILE
- FM2..... FORCEMAIN PLAN AND PROFILE
- WM1..... ECWA WATER MAIN DETAILS
- WM2..... ECWA WATER MAIN DETAILS
- WM3..... ECWA WATER MAIN DETAILS
- WM4..... ECWA WATER MAIN DETAILS
- SS1..... SANITARY SEWER NOTES
- SS2..... SANITARY SEWER DETAILS
- SS3..... SANITARY SEWER AND PUMP STATION/FORCEMAIN DETAILS
- PD1..... PAVING AND DRAINAGE PLAN
- PD2..... PAVING AND DRAINAGE PROFILES
- PD3..... RETENTION POND SECTIONS
- PD4..... PAVING AND DRAINAGE DETAILS
- PD5..... PAVING AND DRAINAGE DETAILS
- GP1..... GRADING PLAN
- SWP1..... STORMWATER POLLUTION PREVENTION PLAN
- SWP2..... STORMWATER POLLUTION PREVENTION DETAILS

DRAWING REVISIONS		
ITEM	DATE	DESCRIPTION

WM. SCHUTT AND ASSOCIATES, P.C. (THE "CONSULTANTS") REPRESENTS AND CERTIFIES THAT, IN THE CONSULTANT'S PROFESSIONAL OPINION, THE ATTACHED PLANS COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.

**WM SCHUTT ASSOCIATES**

37 CENTRAL AVE.  
LANCASTER, NY 14086-2143  
PH. 716-683-5961  
FAX 716-683-0169  
WWW.WMSCHUTT.COM

#### OWNER/DEVELOPER:

CIMATO & SONS, INC.  
9220 TRANSIT ROAD  
EAST AMHERST, NEW YORK 14051

DATE: \_\_\_\_\_

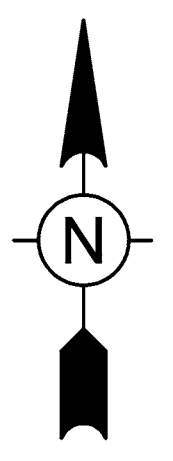
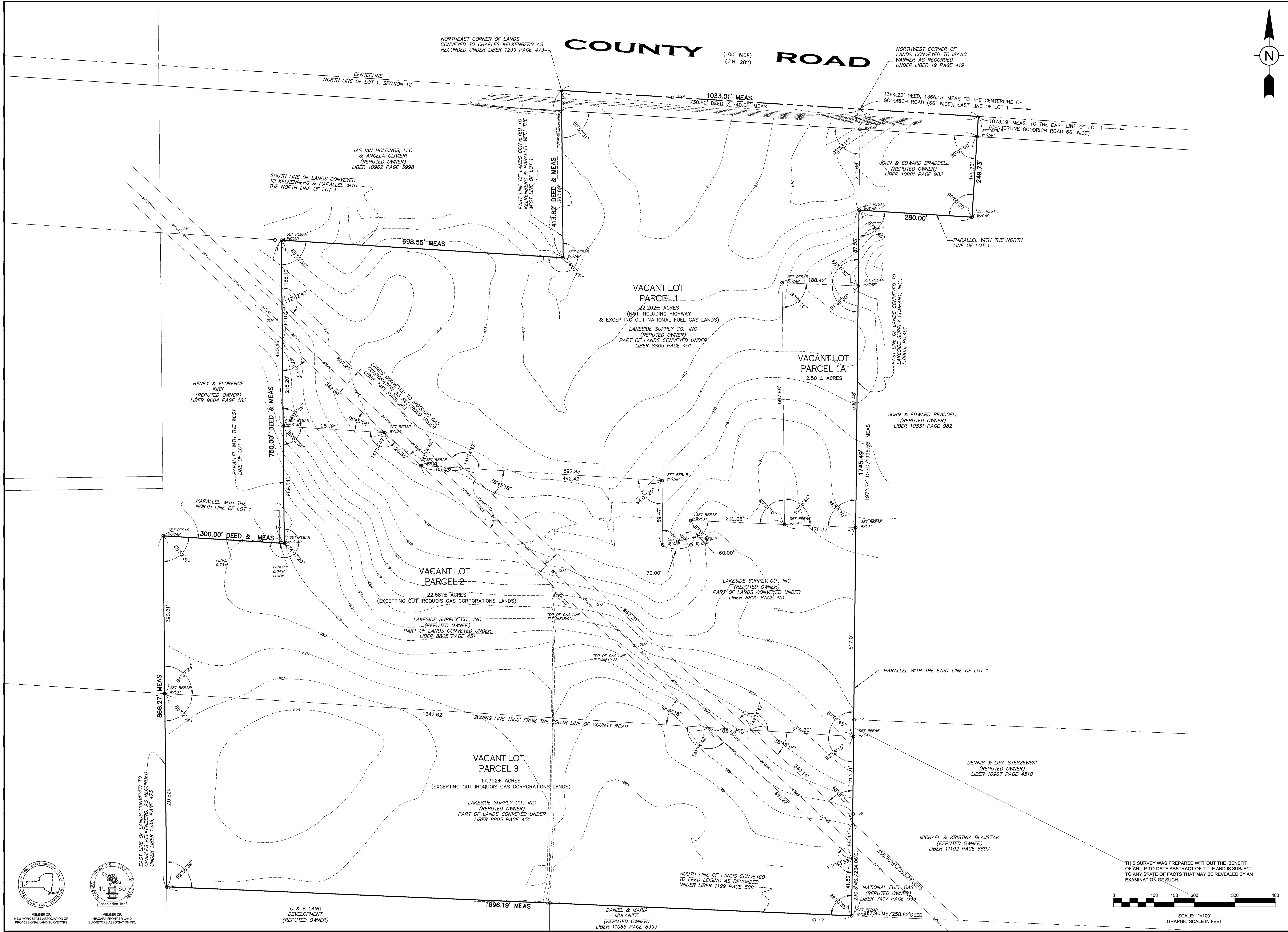


THIS SHEET ISSUED FEBRUARY 25, 2016

**CVR**

WSA PROJECT NO. 05008D

FINAL - ISSUED FOR CONSTRUCTION



DRAWING REVISIONS	
ITEM	DESCRIPTION
1	08/13/2013 SUBMITTED PARCEL
2	08/28/2013 REVISED
3	04/21/2014 ADDITIONAL PARCEL 1A ADDED

DESIGNED BY: MKS  
 DRAWN BY: JFR  
 CHECKED BY: JFR  
 DATE: JANUARY 7, 2005

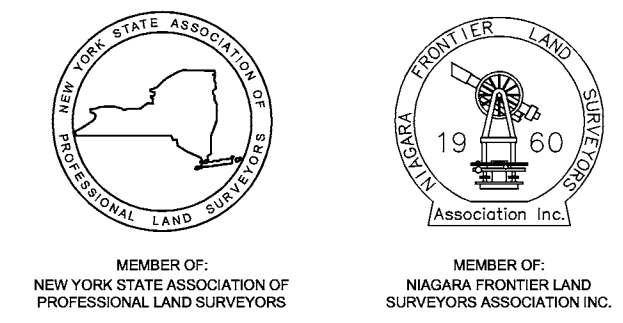
WARNING: THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 130-1 OF THE REAL PROPERTY LAW. THE PROFESSIONAL LAND SURVEYOR'S EDUCATION LAW, § 130-1(b)(3) OF THE REAL PROPERTY LAW, © COPYRIGHT 2013 WM. SCHUTT & ASSOCIATES P.C.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY ARE VALID. ANY ALTERATION OF THE ORIGINAL OF THE LAND SURVEYOR'S RECORDS SHALL BE VOID AND THE ORIGINAL SHALL BE THE ONLY COPY TO BE MAINTAINED BY THE SURVEYOR.

**WM SCHUTT ASSOCIATES**  
 37 CENTRAL AVE.  
 LANCASTER, NY 14086-2143  
 PH. 716-683-5961  
 FAX 716-683-0169  
 WWW.WMSCHUTT.COM

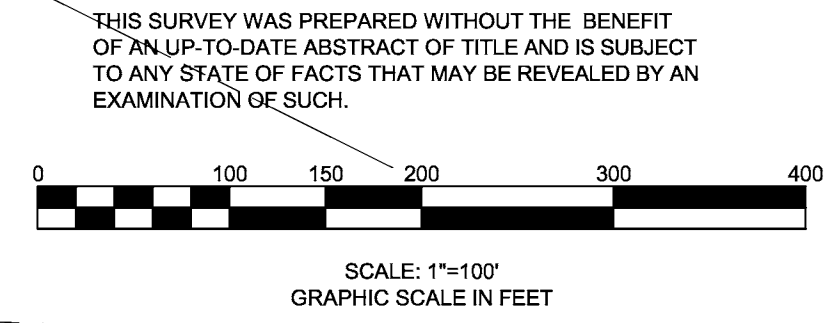
TOWN OF CLARENCE  
 COUNTY OF ERIE, STATE OF NEW YORK  
 PART OF LOT 1, SECTION 12, TOWNSHIP 12, RANGE 6  
 HOLLAND LAND COMPANY'S SURVEY  
 VACANT LOT COUNTY ROAD  
 BOUNDARY SURVEY PARCEL(S) 1, 2 & 3

**BS-1**  
 DRAWING SCALE: 1"=100'  
 SURVEY FILE: D05008-01  
 WSA PROJECT NO. 06008



C & F LAND DEVELOPMENT (REPUTED OWNER)

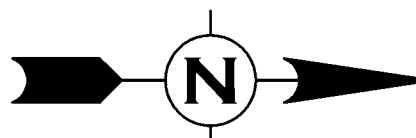
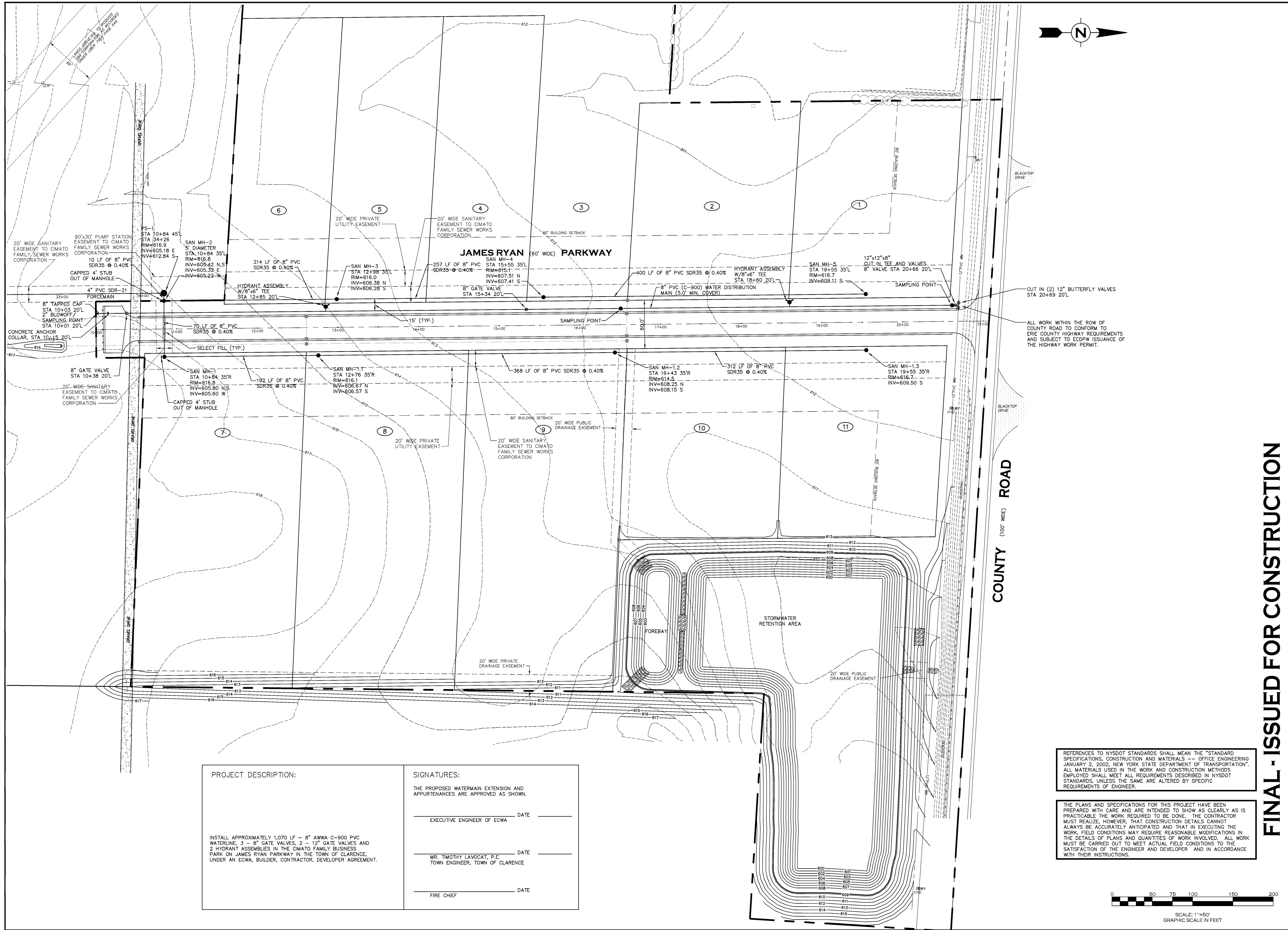
DANIEL & MARIA MULANIFF (REPUTED OWNER)  
 LIBER 11065 PAGE 8393











DRAWING REVISIONS	
ITEM	DESCRIPTION
1	8/17/15 revised per ECHD comments
2	8/17/15 REVISED 12" BUTTERFLY VALVES
3	2/24/16 REVISED 12" BUTTERFLY VALVES

DESIGNED BY: DJH  
 DRAWN BY: AJP  
 CHECKED BY: WES  
 DATE: SEPTEMBER 2015

**WARNING:** THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7029, PART 2 OF THE NEW YORK STATE EDUCATION LAW. © COPYRIGHT 2006 W.M. SCHUTT & ASSOCIATES, P.C.

**WM SCHUTT ASSOCIATES**  
 37 CENTRAL AVE.  
 LANCASTER, NY 14086-2143  
 PH. 716-683-5961  
 FAX 716-683-0189  
 WWW.WMSCHUTT.COM

# FINAL - ISSUED FOR CONSTRUCTION

**CIMATO FAMILY BUSINESS PARK**  
 PART OF LOT 1, TOWNSHIP 12, SECTION 12, RANGE 6  
 TOWN OF CLARENCE - ERIE COUNTY - NEW YORK

**UTILITY PLAN**

THIS SHEET ISSUED FEBRUARY 25, 2016  
**UP1**  
 DRAWING SCALE: 1"=50'  
 WSA PROJECT NO. 05008D

PROJECT DESCRIPTION:  
 INSTALL APPROXIMATELY 1,070 LF OF 8" AWWA C-900 PVC WATERLINE, 3 - 8" GATE VALVES, 2 - 12" GATE VALVES AND 2 HYDRANT ASSEMBLIES IN THE CIMATO FAMILY BUSINESS PARK ON JAMES RYAN PARKWAY IN THE TOWN OF CLARENCE, UNDER AN ECWA, BUILDER, CONTRACTOR, DEVELOPER AGREEMENT.

SIGNATURES:  
 THE PROPOSED WATERMAIN EXTENSION AND APPURTENANCES ARE APPROVED AS SHOWN.

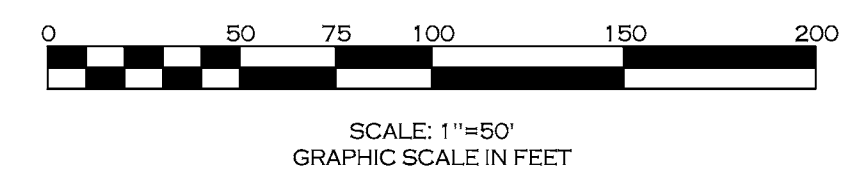
\_\_\_\_\_  
 EXECUTIVE ENGINEER OF ECWA DATE \_\_\_\_\_

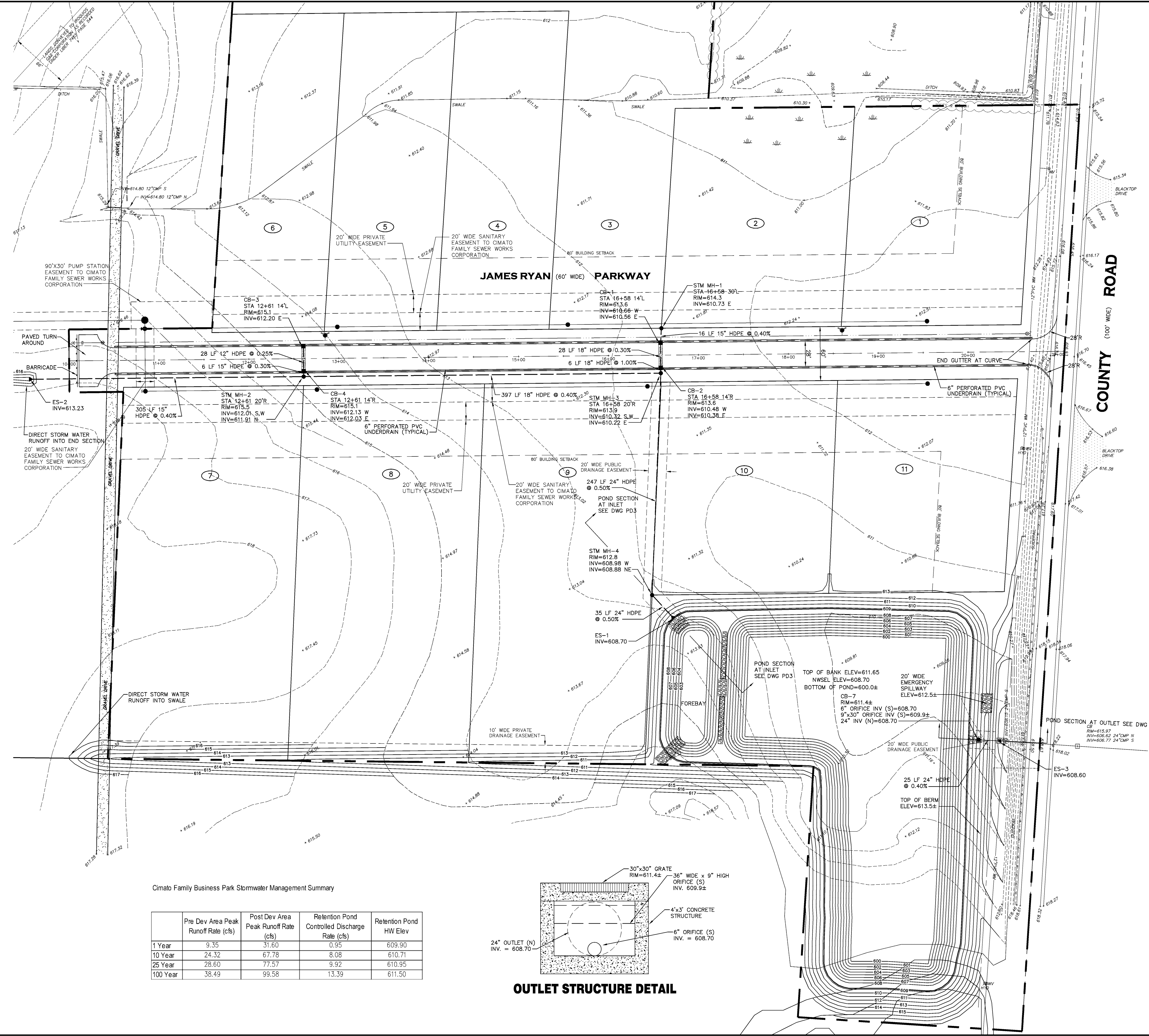
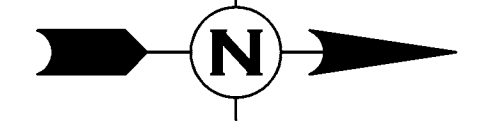
\_\_\_\_\_  
 MR. TIMOTHY LAVOCAT, P.E.  
 TOWN ENGINEER, TOWN OF CLARENCE DATE \_\_\_\_\_

\_\_\_\_\_  
 FIRE CHIEF DATE \_\_\_\_\_

REFERENCES TO NYSDOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS -- OFFICE ENGINEERING JANUARY 2, 2002, NEW YORK STATE DEPARTMENT OF TRANSPORTATION". ALL MATERIALS USED IN THE WORK AND CONSTRUCTION METHODS EMPLOYED SHALL MEET ALL REQUIREMENTS DESCRIBED IN NYSDOT STANDARDS, UNLESS THE SAME ARE ALTERED BY SPECIFIC REQUIREMENTS OF ENGINEER.

THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CANNOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER AND IN ACCORDANCE WITH THEIR INSTRUCTIONS.





**BENCHMARK**  
 DATUM NAVD '88  
 NGS MONUMENT STAMPED  
 NOWAK 1972, STANDARD DISK  
 SET IN A ROUND CONCRETE  
 MONUMENT, NORTH SIDE OF  
 COUNTY ROAD APPROXIMATELY  
 0.2 MILES EAST OF HEISE  
 ROAD.  
 ELEVATION = 620.73

**GRADING/PAVING/STORM NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CLARENCE STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS AS APPROVED BY TOWN ENGINEER.
2. CONTRACTOR REQUIRED TO OBTAIN PERMIT FROM ERIE COUNTY HIGHWAY DEPARTMENT FOR ANY AND ALL WORK WITHIN ROW OF COUNTY ROAD.
3. ANY DAMAGE CAUSED BY CONTRACTORS OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND/OR STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AND SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR SHALL TAKE ANY AND ALL PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING. THE CONTRACTOR SHALL PROVIDE AND PLANT REPLACEMENT TREES OR SHRUBBERY AT HIS EXPENSE.
5. THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUMED TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.
6. ALL ROAD AND DRIVE CROSSINGS SHALL BE BACKFILLED WITH NO.2 RUN OF CRUSHER STONE PLACED IN 6-INCH LIFTS AND PROPERLY COMPACTED. SELECT BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF 4" BEYOND EDGE OF PAVEMENT.
7. MANHOLE RIMS AND WATER MAIN VALVE BOXES SHALL BE SET A MINIMUM OF 0.2 FEET ABOVE FINISHED GRADE.
8. DURING GRADING OPERATIONS, EXCAVATION AREAS, EMBANKMENTS AND/OR SUBGRADES SHALL BE SHAPED, SLOPED, PROTECTED AND MAINTAINED TO FACILITATE THE DRAINAGE OF SURFACE WATER. EXISTING DRAINAGE ROUTES AND FACILITIES SHALL BE PROTECTED AND MAINTAINED.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.

REFERENCES TO NYSDOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS -- OFFICE ENGINEERING JANUARY 2, 2008, NEW YORK STATE DEPARTMENT OF TRANSPORTATION". ALL MATERIALS USED IN THE WORK AND CONSTRUCTION METHODS EMPLOYED SHALL MEET ALL REQUIREMENTS DESCRIBED IN NYSDOT STANDARDS, UNLESS THE SAME ARE ALTERED BY SPECIFIC REQUIREMENTS OF TOWN ENGINEER.

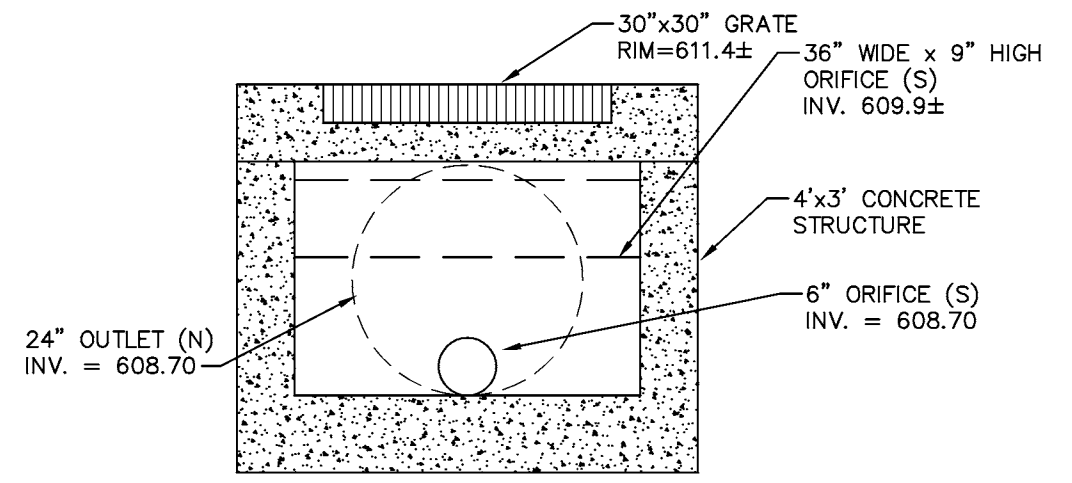
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CLARENCE STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS AS APPROVED BY THE TOWN ENGINEER.

THE CONTRACTOR IS REQUIRED TO SUBMIT FOUR (4) SETS OF SHOP DRAWINGS, SAMPLES, MATERIAL DETAILS, WARRANTIES, TESTS, PERMITS AND GUARANTEES TO THE TOWN ENGINEER FOR HIS REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

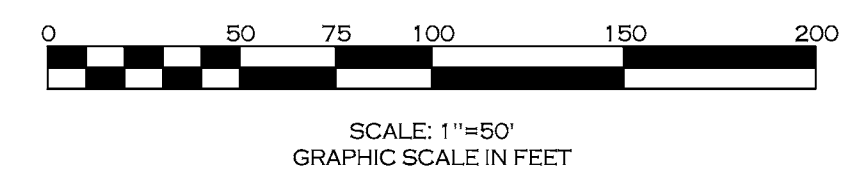
THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CANNOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER AND IN ACCORDANCE WITH THEIR INSTRUCTIONS.

Cimato Family Business Park Stormwater Management Summary

	Pre Dev Area Peak Runoff Rate (cfs)	Post Dev Area Peak Runoff Rate (cfs)	Retention Pond Controlled Discharge Rate (cfs)	Retention Pond HW Elev
1 Year	9.35	31.60	0.95	609.90
10 Year	24.32	67.78	8.08	610.71
25 Year	28.60	77.57	9.92	610.95
100 Year	38.49	99.58	13.39	611.50



**OUTLET STRUCTURE DETAIL**



DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY: DJH  
 DRAWN BY: AJP  
 CHECKED BY: WES  
 DATE: SEPTEMBER 2015

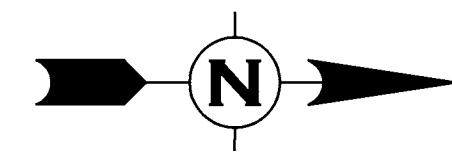
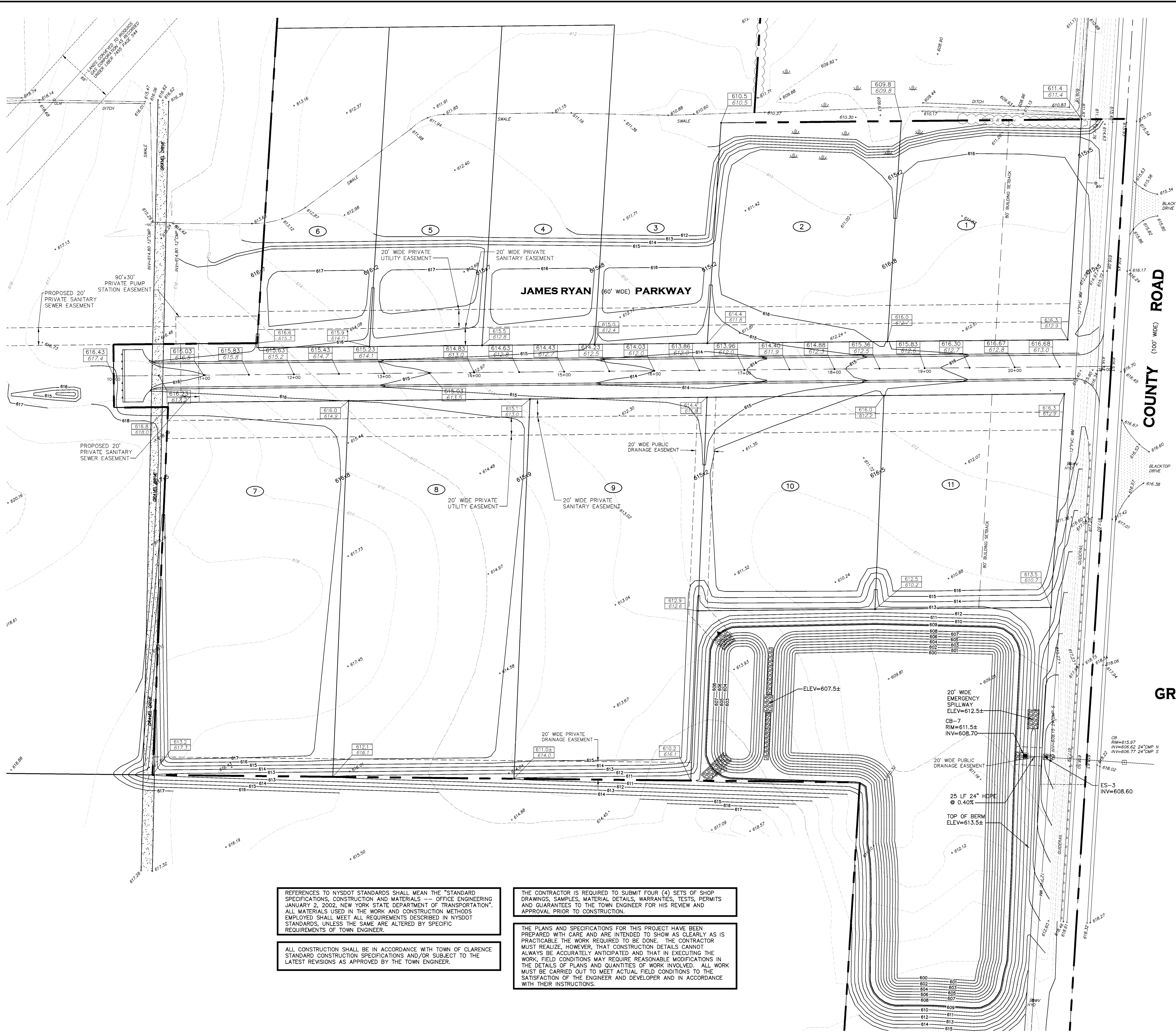
**WARNING:** THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 7029, PART 2 OF THE NEW YORK STATE EDUCATION LAW. © COPYRIGHT 2006 W.M. SCHUTT & ASSOCIATES, P.C.

**WM SCHUTT ASSOCIATES**  
 37 CENTRAL AVE.  
 LANCASTER, NY 14086-2143  
 PH. 716-683-5961  
 FAX 716-683-0189  
 WWW.WMSCHUTT.COM

**CIMATO FAMILY BUSINESS PARK**  
**PART OF LOT 1, TOWNSHIP 12, SECTION 12, RANGE 6**  
**TOWN OF CLARENCE - ERIE COUNTY - NEW YORK**  
**PAVING AND DRAINAGE PLAN**

THIS SHEET ISSUED FEBRUARY 25, 2016

**PD1**  
 DRAWING SCALE: 1"=50'  
 WSA PROJECT NO. 05008D



### EARTHWORK, COMPACTION AND GRADING NOTES

1. INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES
2. AFTER STRIPPING AND STOCKPILING OF TOPSOIL, REMOVE FROM SITE ALL UNSUITABLE MATERIAL AS ENCOUNTERED IN THE FIELD (AS DIRECTED BY THE TOWN ENGINEER OR HIS REPRESENTATIVE).
3. PRIOR TO FILL OPERATIONS, ALL AREAS WITHIN BUILDING AND PAVEMENT INFLUENCE THAT ARE TO RECEIVE FILL SHALL BE PROOFROLLED, AND ALL UNSTABLE MATERIAL SHALL BE REMOVED OR STABILIZED IN PLACE, AND THEN COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY TO A MINIMUM DEPTH OF TWELVE (12) INCHES, AS DETERMINED BY ASTM D-1557.
4. IMPORTED FILL FROM OFF-SITE BORROW PITS MUST BE MATERIAL SIMILAR IN CONTENT TO NATIVE MATERIAL. ALL IMPORTED FILL MATERIAL MUST BE TESTED AND HAVE THE APPROVALS OF THE TOWN ENGINEER.
5. FILL SHALL BE DEPOSITED IN EIGHT (8) INCH LOOSE LAYERS MAXIMUM, EXCEPT FILL WITHIN LANDSCAPED AREAS WHICH MAY BE DEPOSITED IN TWELVE (12) INCH LOOSE LAYERS MAXIMUM. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY ASTM D-1557 (90% IN LANDSCAPED AREAS) AT ITS OPTIMUM MOISTURE CONTENT ±2%.
6. THE PLACEMENT AND COMPACTION OF BOTH FILL AND SUBBASE MATERIAL SHALL BE SUPERVISED, INSPECTED AND TESTED TO THE SATISFACTION OF THE TOWN ENGINEER.

### LEGEND

- 613.8 FINISHED GRADE
- 612.9 EXISTING GRADE
- GENERAL GRADING DIRECTION

### GRADING/PAVING/STORM NOTES

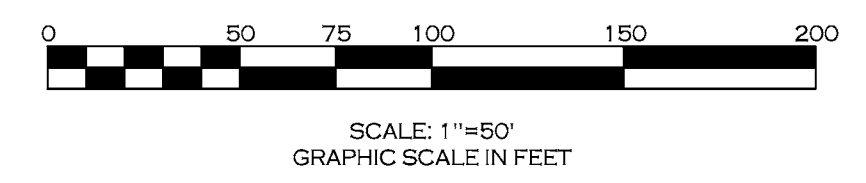
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CLARENCE STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS AS APPROVED BY TOWN ENGINEER.
2. CONTRACTOR REQUIRED TO OBTAIN PERMIT FROM ERIE COUNTY HIGHWAY DEPARTMENT FOR ANY AND ALL WORK WITHIN ROW OF COUNTY ROAD.
3. ANY DAMAGE CAUSED BY CONTRACTORS OPERATIONS TO EXISTING PAVEMENT, SHOULDERS, DRIVES AND/OR STORM DRAINAGE FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AND SHALL BE ACCEPTABLE TO THE OWNER OR AGENCY HAVING JURISDICTION.
4. THE CONTRACTOR SHALL TAKE ANY AND ALL PRECAUTIONS NECESSARY TO PROTECT TREES AND SHRUBBERY FROM DAMAGE, UNLESS SPECIFICALLY ORDERED FOR CLEARING. THE CONTRACTOR SHALL PROVIDE AND PLANT REPLACEMENT TREES OR SHRUBBERY AT HIS EXPENSE.
5. THE CONTRACTOR SHALL BE AWARE THAT SOIL CONDITIONS ARE UNKNOWN AND ASSUMED TO VARY AT DIFFERENT DEPTHS AND LOCATIONS.
6. ALL ROAD AND DRIVE CROSSINGS SHALL BE BACKFILLED WITH NO.2 RUN OF CRUSHER STONE PLACED IN 6-INCH LIFTS AND PROPERLY COMPACTED. SELECT BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF 4- FEET BEYOND EDGE OF PAVEMENT.
7. MANHOLE RIMS AND WATER MAIN VALVE BOXES SHALL BE SET A MINIMUM OF 1-INCH ABOVE FINISHED GRADE.
8. DURING GRADING OPERATIONS, EXCAVATION AREAS, EMBANKMENTS AND/OR SUBGRADES SHALL BE SHAPED, SLOPED, PROTECTED AND MAINTAINED TO FACILITATE THE DRAINAGE OF SURFACE WATER. EXISTING DRAINAGE ROUTES AND FACILITIES SHALL BE PROTECTED AND MAINTAINED.
9. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES REGARDING THE PREVENTION AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION.

REFERENCES TO NYSDOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS -- OFFICE ENGINEERING JANUARY 2, 2002, NEW YORK STATE DEPARTMENT OF TRANSPORTATION". ALL MATERIALS USED IN THE WORK AND CONSTRUCTION METHODS EMPLOYED SHALL MEET ALL REQUIREMENTS DESCRIBED IN NYSDOT STANDARDS, UNLESS THE SAME ARE ALTERED BY SPECIFIC REQUIREMENTS OF TOWN ENGINEER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CLARENCE STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS AS APPROVED BY THE TOWN ENGINEER.

THE CONTRACTOR IS REQUIRED TO SUBMIT FOUR (4) SETS OF SHOP DRAWINGS, SAMPLES, MATERIAL DETAILS, WARRANTIES, TESTS, PERMITS AND GUARANTEES TO THE TOWN ENGINEER FOR HIS REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CANNOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER AND IN ACCORDANCE WITH THEIR INSTRUCTIONS.



DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY: DJH  
 DRAWN BY: AJP  
 CHECKED BY: WES  
 DATE: SEPTEMBER 2015

**WARNING:** THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7029, PART 2 OF THE NEW YORK STATE EDUCATION LAW. © COPYRIGHT 2006 W.M. SCHUTT & ASSOCIATES, P.C.

**WM SCHUTT ASSOCIATES**  
 37 CENTRAL AVE.  
 LANCASTER, NY 14086-2143  
 PH. 716-683-5961  
 FAX 716-683-0189  
 WWW.WMSCHUTT.COM

**FINAL - ISSUED FOR CONSTRUCTION**

**CIMATO FAMILY BUSINESS PARK**  
**PART OF LOT 1, TOWNSHIP 12, SECTION 12, RANGE 6**  
**TOWN OF CLARENCE - ERIE COUNTY - NEW YORK**

**GRADING PLAN**

THIS SHEET ISSUED FEBRUARY 25, 2016

**GP1**

DRAWING SCALE: 1"=50'

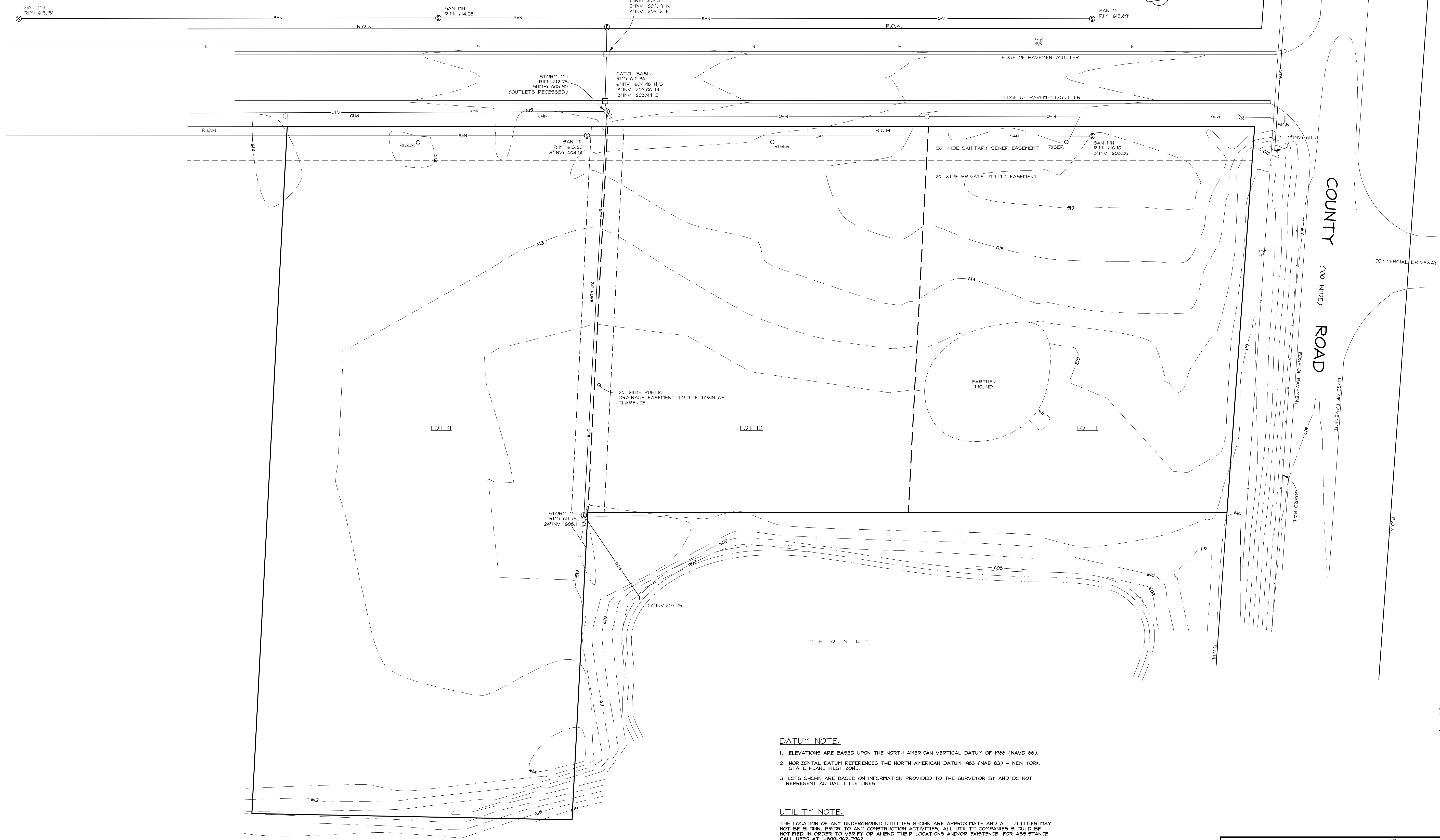
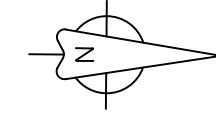
WSA PROJECT NO. 05008D



## **Exhibit 2**

### **Revised Site Plan**

# JAMES RYAN (50' WIDE) PARKWAY



### LEGEND

- ⊙ SANITARY MANHOLE
- CATCH BASIN
- ⊕ HYDRANT
- ⊕ WATER VALVE
- GAS MARKER
- ⊙ ELECTRIC MANHOLE

### DATUM NOTE:

1. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
2. HORIZONTAL DATUM REFERENCES THE NORTH AMERICAN DATUM 1983 (NAD 83) - NEW YORK STATE PLANE WEST ZONE.
3. LOTS SHOWN ARE BASED ON INFORMATION PROVIDED TO THE SURVEYOR BY AND DO NOT REPRESENT ACTUAL TITLE LINES.

### UTILITY NOTE:

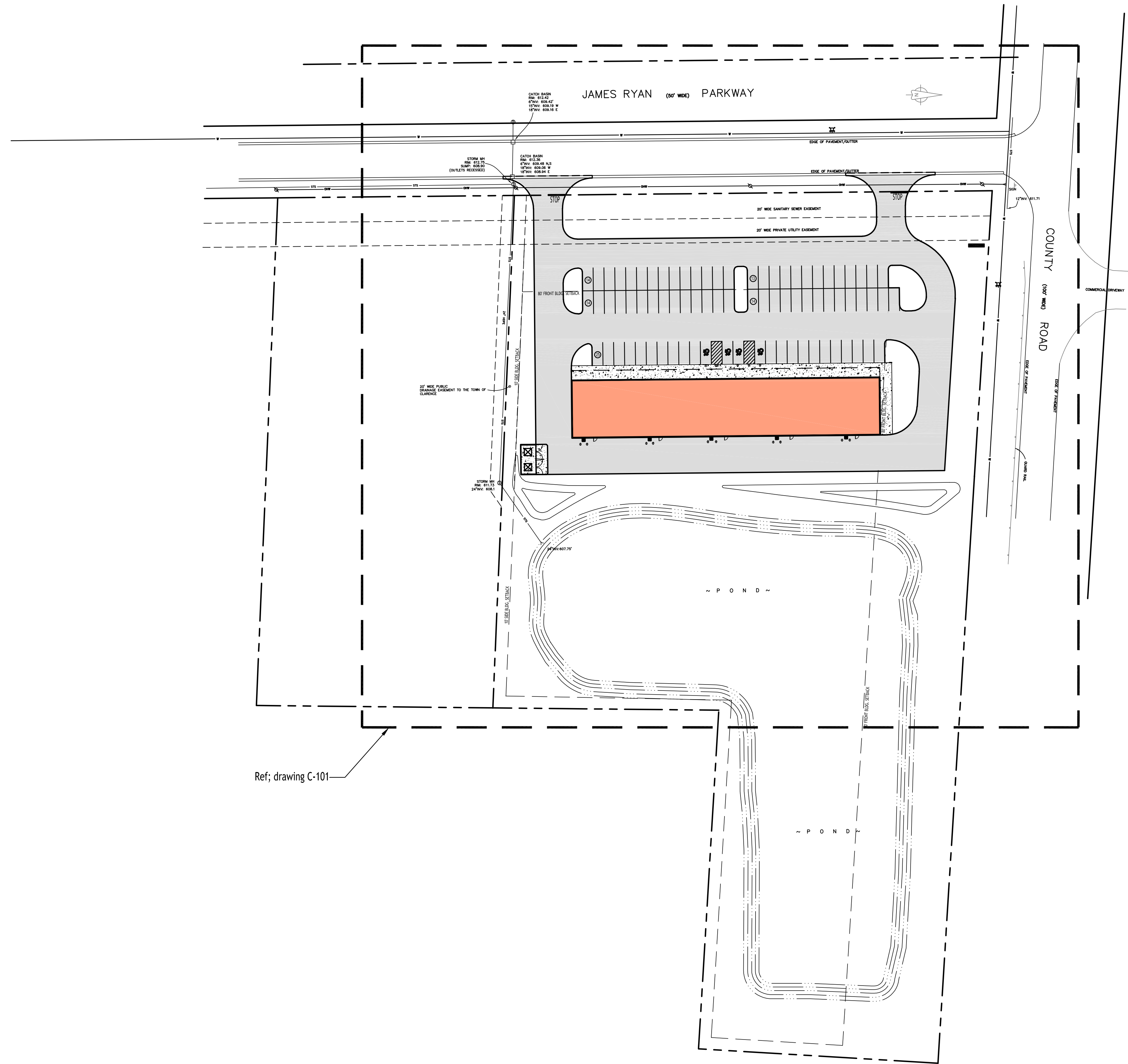
THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY CONSTRUCTION ACTIVITIES, ALL UTILITY COMPANIES SHOULD BE NOTIFIED IN ORDER TO VERIFY OR AMEND THEIR LOCATIONS AND/OR EXISTENCE. FOR ASSISTANCE CALL UFPO AT 1-800-462-7462.



3556 Lake Shore Road, Suite 500, Buffalo, NY 14219  
 p (716) 827-8000 f (716) 270-6031 www.nussclarke.com

**TOPOGRAPHIC SURVEY**  
**LOTS 9, 10 & 11**  
**CIMATO FAMILY BUSINESS PARK**  
 Town of Clarence  
 County of Erie, State of New York  
 Date of Survey: 08/02/2023 Scale: 1" = 30' Project No.: 2332-.....

NO IRONS SET OR FOUND AT PROPERTY CORNERS UNLESS NOTED HEREON  
 This survey was prepared without the benefit of an abstract of title and is subject to any state of facts that may be revealed by an examination of such.  
 Unauthorized alterations or additions to any survey, drawing design, specification, plan or report is a violation of section 7209, provision 2 of the New York State Education Law.



Ref; drawing C-101

**Overall Site Plan**  
 SCALE: 1"=50'  
 (Ref; C-101 & C-102 for site plan and details)

**SITE LEGEND**

PROPERTY LINE	---
PROPOSED CONCRETE CURB	====
PROPOSED SIDEWALK / CONCRETE PAD	[Pattern]
NUMBER OF PARKING SPACES	(27)
PROPOSED SIGN	•
PROPOSED STANDARD DUTY ASPHALT PAVEMENT	[Grey Box]
PROPOSED LIGHT POLE	o-
PROPOSED WALL MOUNTED LIGHT	o-

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

DRAWING NAME:  
**Overall Site Plan**

Date: 07.08.24  
 Drawn By: C. Wood  
 Scale: As Noted

DRAWING NO.  
**C-100**  
 Project No: 23-4107

**Commercial Development**  
 James Ryan Pkwy @ County Rd  
 Clarence, New York

**CARMINA WOOD**  
 DESIGN  
 Buffalo | Utica | Greensboro

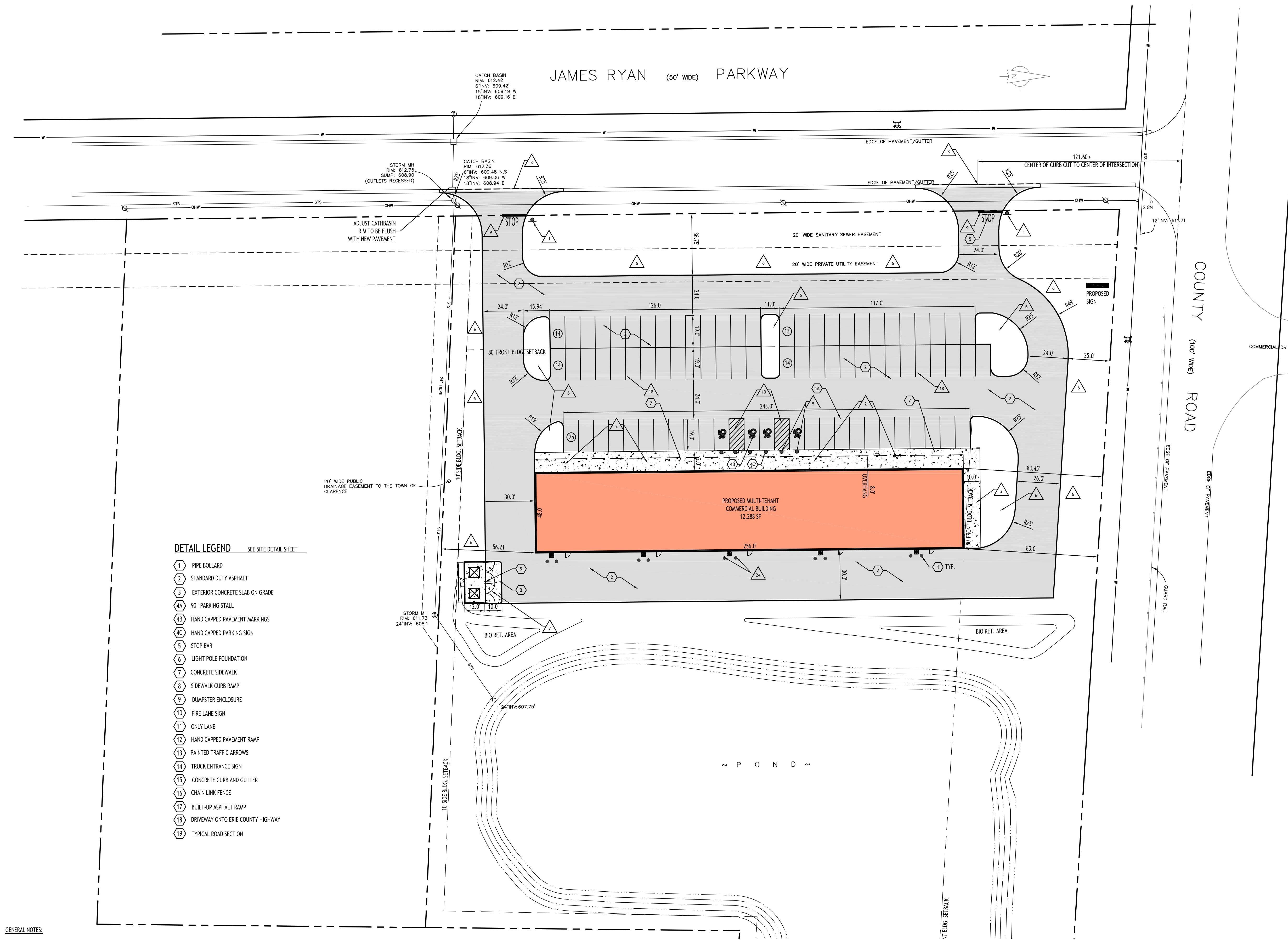
REVISIONS:

No.	Description	Date



All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. WARNING: It is a violation of article 145 of the New York State Education Law to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "Altered By" and a specific description of the alteration.

© CARMINA WOOD DESIGN



**DETAIL LEGEND** SEE SITE DETAIL SHEET

1	PIPE BOLLARD
2	STANDARD DUTY ASPHALT
3	EXTERIOR CONCRETE SLAB ON GRADE
4A	90° PARKING STALL
4B	HANDICAPPED PAVEMENT MARKINGS
4C	HANDICAPPED PARKING SIGN
5	STOP BAR
6	LIGHT POLE FOUNDATION
7	CONCRETE SIDEWALK
8	SIDEWALK CURB RAMP
9	DUMPSTER ENCLOSURE
10	FIRE LANE SIGN
11	ONLY LANE
12	HANDICAPPED PAVEMENT RAMP
13	PAINTED TRAFFIC ARROWS
14	TRUCK ENTRANCE SIGN
15	CONCRETE CURB AND GUTTER
16	CHAIN LINK FENCE
17	BUILT-UP ASPHALT RAMP
18	DRIVEWAY ONTO ERIE COUNTY HIGHWAY
19	TYPICAL ROAD SECTION

**NOTE LEGEND**

1	INSTALL STOP SIGN - M.U.T.C.D. SIGN NO. R1-1B
2	CONCRETE SIDE WALK
3	LIMIT OF STANDARD DUTY PAVEMENT
4	RUNOUT CURB IN Z OR MATCH EXISTING CURB
5	INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. P1-1C
6	LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
7	CONCRETE SLAB ON GRADE @ DUMPSTER
8	SAWCUT LINE, MATCH EXISTING EDGE OF PAVEMENT
9	1" WIDE WHITE PAVEMENT STRIPES @ 1' SPACING BETWEEN 4" WIDE WHITE CROSSWALK LINES
10	4" WIDE YELLOW PAVEMENT STRIPES @ 2' O.C. & @ 45° TO PARKING LINES
11	4" WIDE DASHED WHITE PAVEMENT STRIPE
12	RAMP SIDEWALK @ 1:12 MAX.
13	INSTALL "YIELD" SIGN, M.U.T.C.D. SIGN NO. R1-2C
14	INSTALL "LEFT LANE MUST TURN LEFT" SIGN, M.U.T.C.D. SIGN NO. R3-1C
15	INSTALL PORTABLE "STOP" SIGN AS SPECIFIED BY OWNER, M.U.T.C.D. SIGN NO. R1-1B
16	INSTALL M.U.T.C.D. SIGN NO. R4-6B
17	4" WIDE DOUBLE YELLOW PAVEMENT STRIPE @ 4' SPACING
18	4" WIDE WHITE PAVEMENT STRIPE
19	SEE ARCHITECTURAL DRAWINGS FOR EXTERIOR STAIR DETAIL
20	INSTALL 18"x24" "NO TRUCK IDLING" SIGN
21	18" WIDE WHITE PAVEMENT STRIPE
22	INSTALL "DO NOT ENTER" SIGN, M.U.T.C.D. SIGN NO. R3-15C
23	INSTALL PEDESTRIAN CROSSING SIGN, M.U.T.C.D. SIGN NO. W5-1C
24	INSTALL STEEL BOLLARD, 8" DIA. SCH. 40 STEEL PIPE

**Site Data**

TOTAL SITE AREA = 5.13 ACRES  
 ZONED: INDUSTRIAL BUSINESS PARK  
 USE: PROPOSED MULTI-TENANT COMMERCIAL BUILDING

SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT:	80 FT MIN.	80.0 FT MIN.
SIDE:	10 FT MIN.	35.0 FT MIN.
REAR:	10 FT MIN.	N/A
SIDE/REAR (ADJOINING RESIDENTIAL):	100 FT MIN.	N/A
LOT WIDTH:	125 FT MIN.	> 125 FT
LOT DEPTH:	200 FT MIN.	> 200 FT

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT:	80 FT	25.0' MIN.
ADJOINING RESIDENTIAL:	45 FT	N/A
OTHER PROPERTY LINES:	5 FT	5.0 FT MIN.

**MAX BUILDING HEIGHT:** 45 FT < 45 FT

**LOT COVERAGE (FOR ALL BLDGS):** NOT TO EXCEED 75% OF GROSS LOT AREA (68,607 SF) / 12,288SF (13.4%)

**PARKING (TOTAL SITE):** 9 x 19' 80 80

**PARKING CALCULATIONS:**  
 RETAIL  
 REQD = 1 PER 150 SF  
 REQD = 9,000 SF / 150 = 60 SPACES REQUIRED

**RESTAURANT**  
 REQD = 1 PER 3 SEATS  
 REQD = 60 SEATS / 3 = 20 SPACES

**TOTAL = 80 SPACES REQD**

- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
  - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  - ALL REASONABLE MEASURES SHALL BE TAKEN TO PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE; INCLUDING BUT NOT LIMITED TO, RETAINING WALLS WHICH PREVENT FILLING ON TOP OF ROOTS OR EXCAVATING TREE ROOTS.

- NOTES:**
- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
  - ALL DISTURBED AREAS SHALL HAVE 4" MIN. OF TOPSOIL & SEED.
  - ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
  - CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
  - BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

**Site Plan**  
 SCALE: 1"=30'

**SITE LEGEND**

PROPERTY LINE	---
PROPOSED CONCRETE CURB	====
PROPOSED SIDEWALK / CONCRETE PAD	▨
NUMBER OF PARKING SPACES	27
PROPOSED SIGN	▲
PROPOSED STANDARD DUTY ASPHALT PAVEMENT	▨
PROPOSED LIGHT POLE	⊙
PROPOSED WALL MOUNTED LIGHT	⊙

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**CARMINA WOOD**  
 DESIGN  
 Buffalo | Utica | Greensboro

**Commercial Development**  
 James Ryan Pkwy @ County Rd  
 Clarence, New York

**REVISIONS:**

No.	Description	Date

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

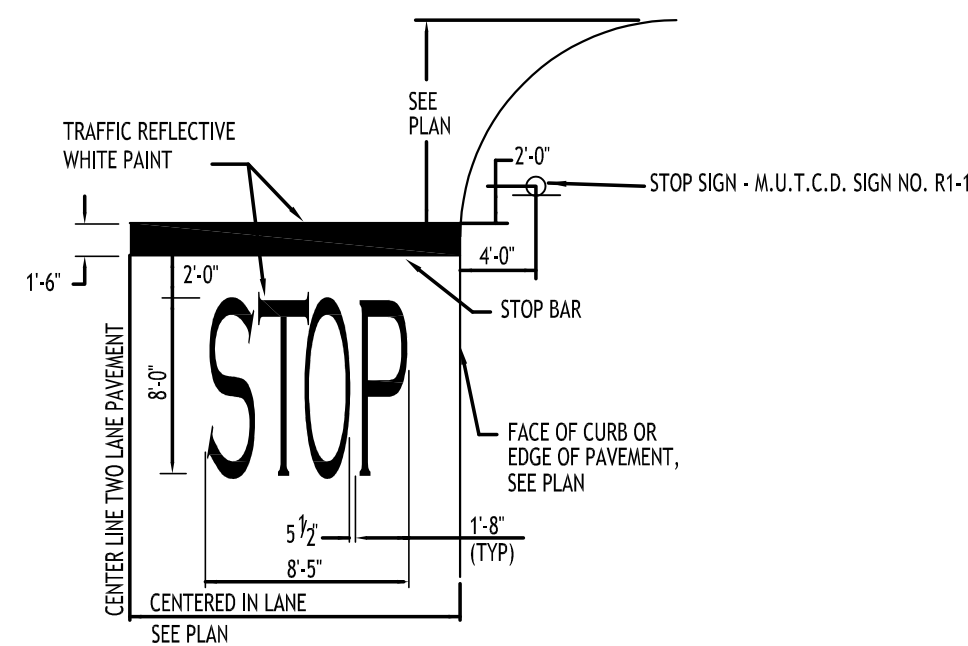
**DRAWING NAME:**  
 Site Plan

Date: 07.08.24  
 Drawn by: C. Wood  
 Scale: As Noted

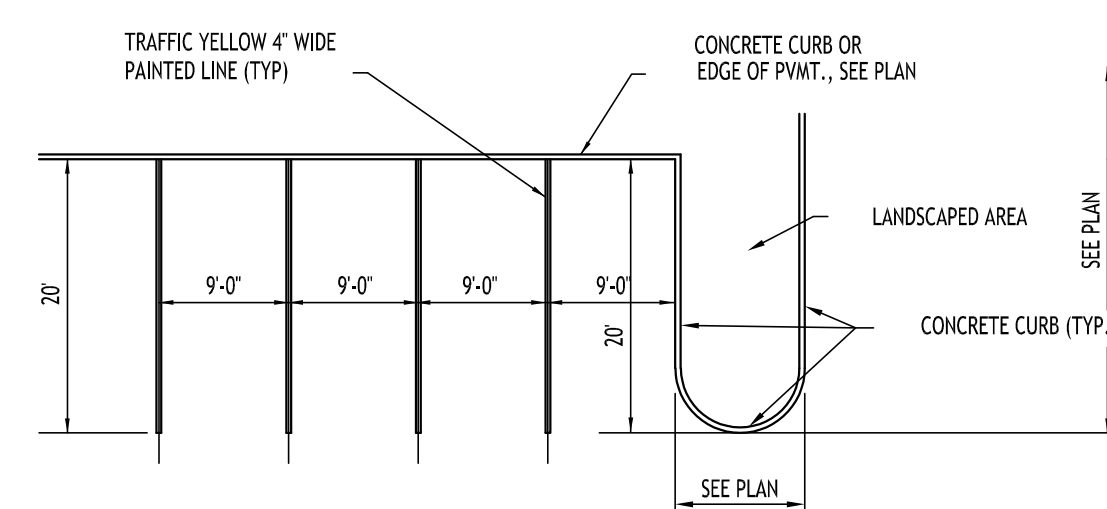
**DRAWING NO.:**  
**C-101**  
 Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. Warning: It is a violation of article 145 of the New York State Education Law to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "Altered By" and a specific description of the alteration.

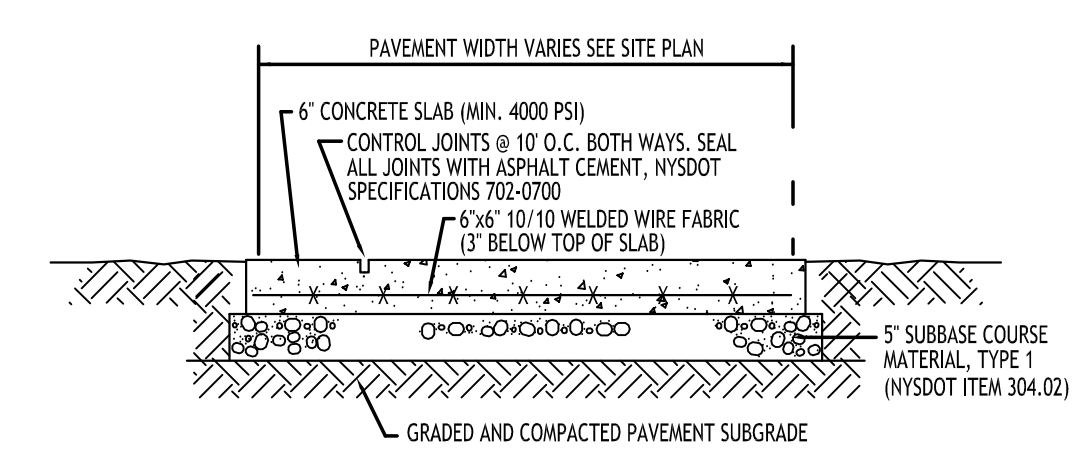
© CARMINA WOOD DESIGN



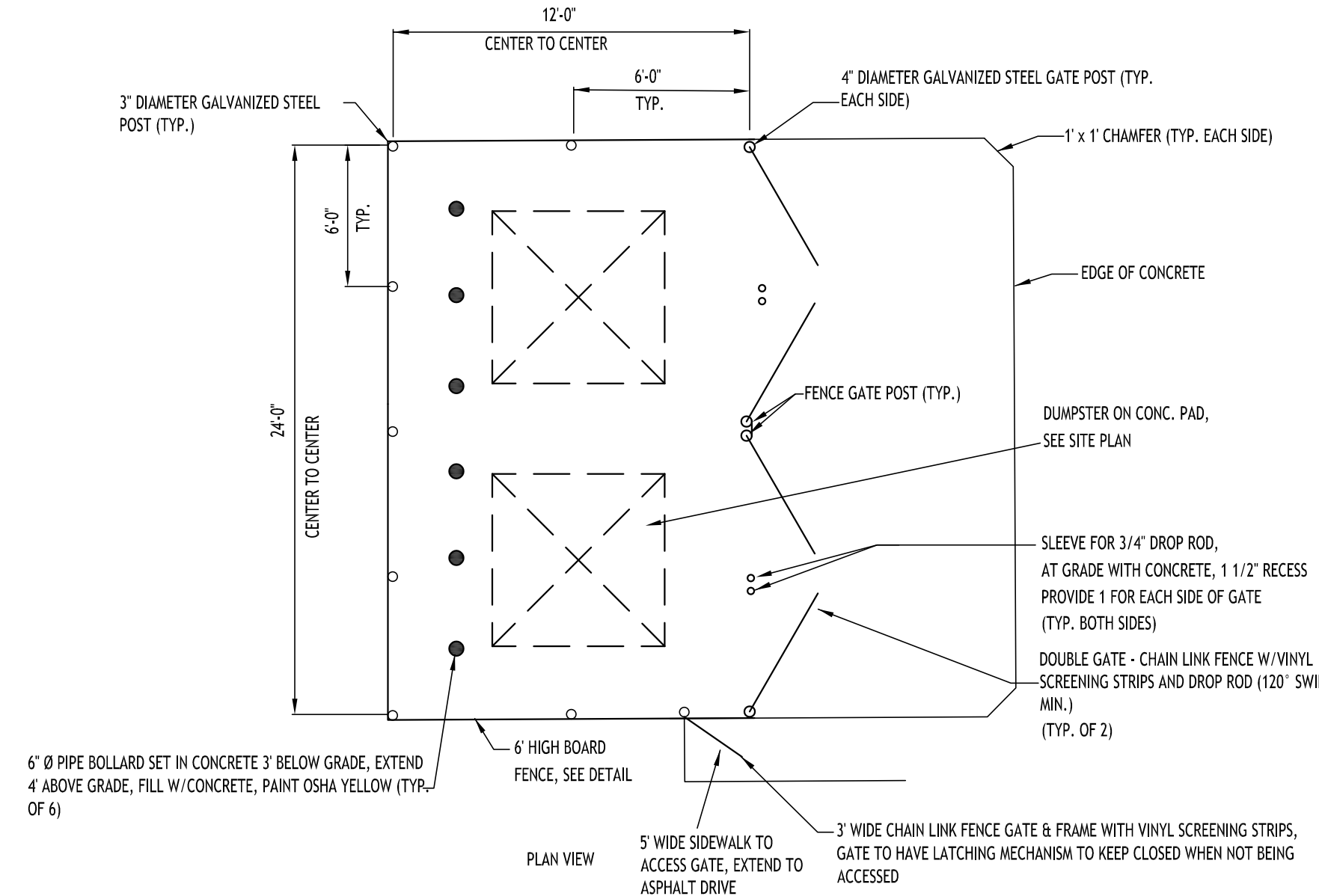
STOP BAR DETAIL - 9



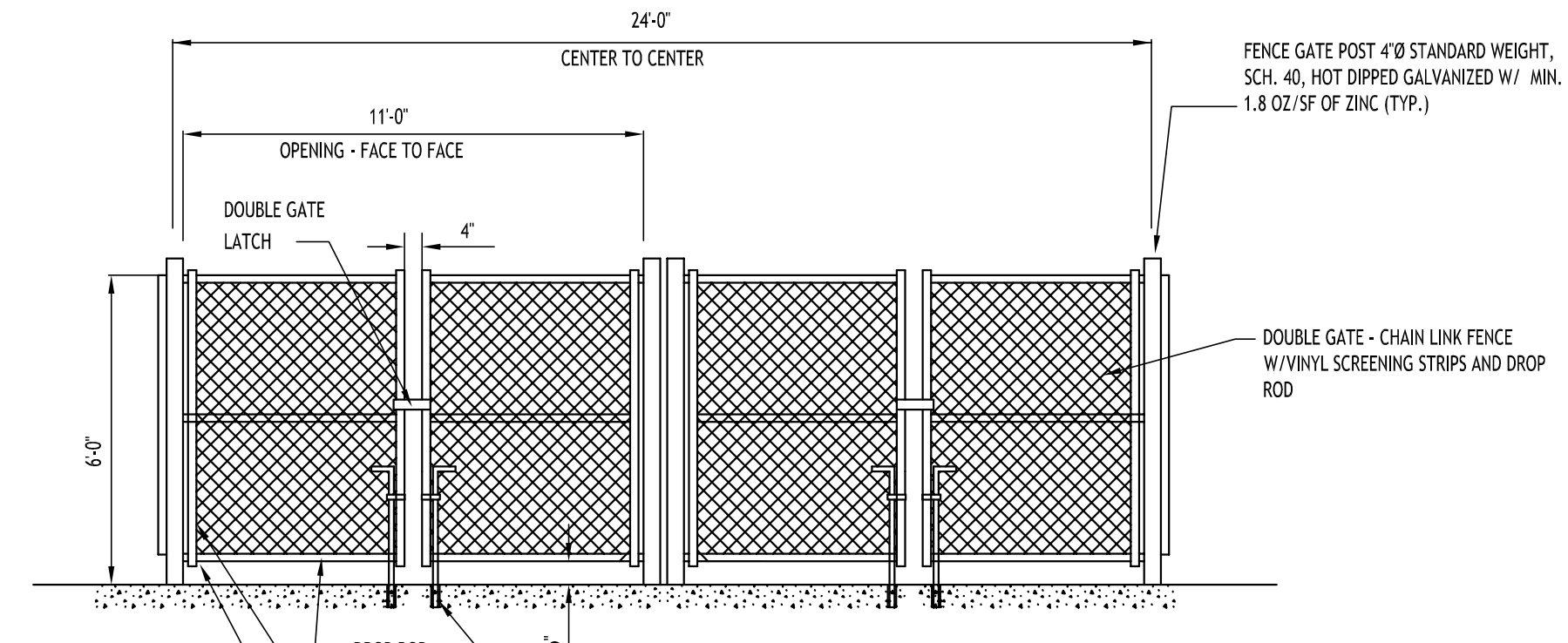
90° PARKING STALL LAYOUT - 4A



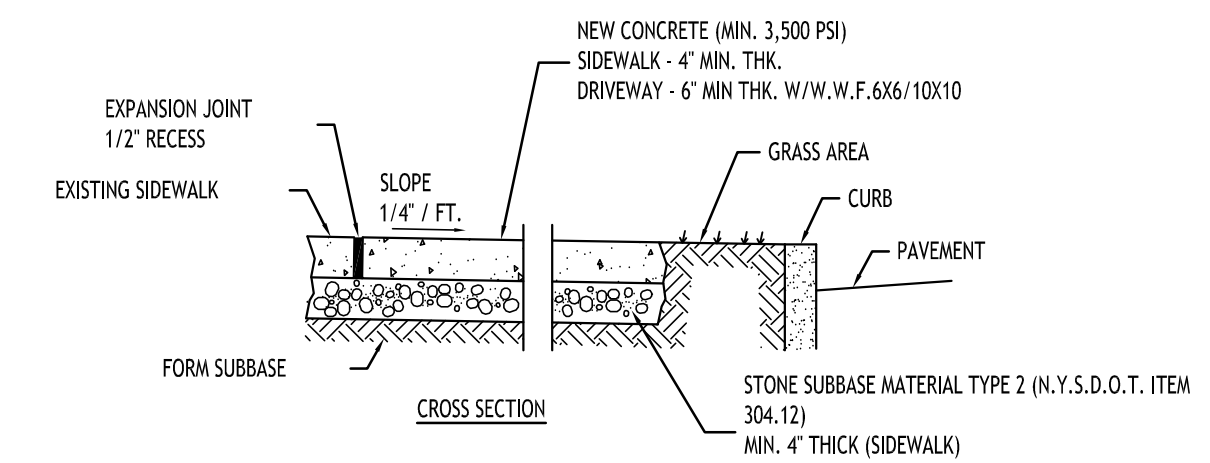
EXTERIOR CONCRETE SLAB-ON-GRADE SECTION - 3



DUMPSTER ENCLOSURE - 8

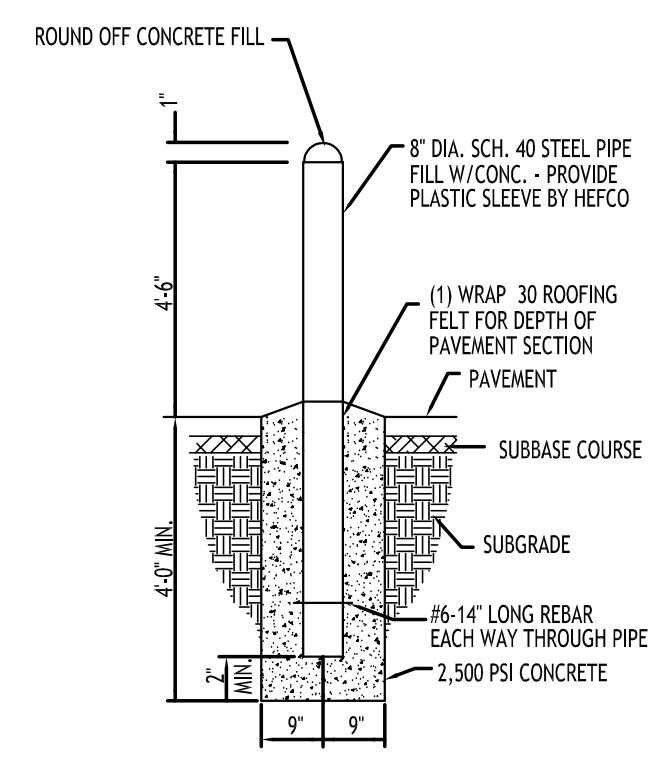


- CHAIN LINK FENCE GATE NOTES:**
- GATE POST FOOTINGS TO BE MIN. 36" DEEP x (4x) POST DIAMETER, EXTEND POST TO WITHIN 6" OF BOTTOM.
  - GATE FRAMES TO BE 2" SQ. GALVANIZED STEEL, WEIGHING 2.60 LB/FT IN ACCORDANCE WITH ASTM F 900.
  - CHAIN LINK FENCE FABRIC SHALL BE 3" MESH, 9 GAUGE, ZINC COATED STEEL CORE WIRE. INSTALL MESH WITH HOOK BOLTS AND TENSION BARS ON ALL 4 SIDES, ATTACH AT 15" MAX.
  - DOUBLE GATE LATCH TO BE FORKED TYPE CAPABLE OF RETAINING GATE IN CLOSED POSITION AND HAVE PROVISION FOR PAD LOCK. LATCH SHALL BE OPERABLE FROM EITHER SIDE OF GATE.
  - ALL HARDWARE TO BE HOT DIPPED GALVANIZED STEEL TO SUIT GATE SIZE.

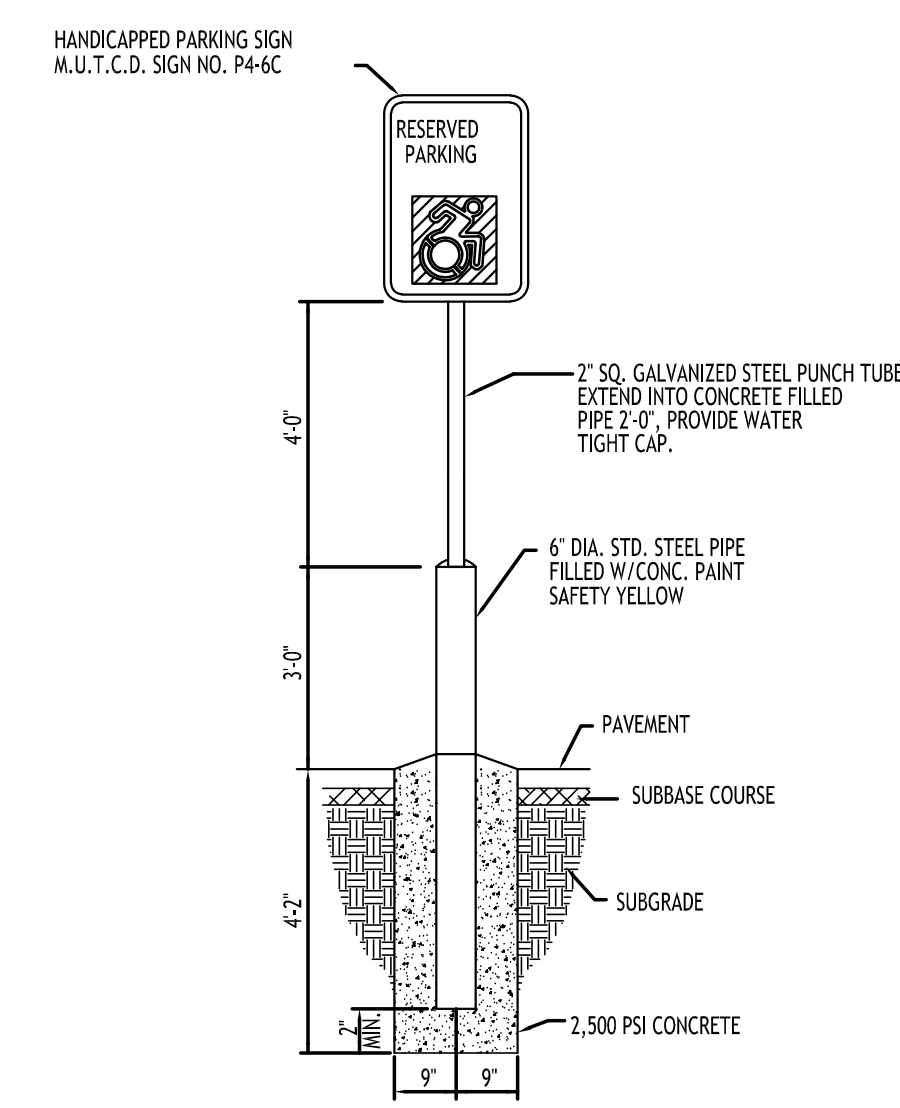


- NOTES:**
- CONTROL JOINTS TO BE AT 5'-0" O.C., BOTH WAYS WHERE APPLICABLE. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.
  - CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.
  - SUBBASE GRADE SHALL FOLLOW THE PROPOSED GRADE OF THE SIDEWALK AND SLOPE AWAY FROM BUILDING WHERE APPLICABLE, PROVIDE CONTINUOUS STONE PATH TO CURB UNDERDRAIN WHERE PROVIDED.
  - FULL DEPTH EXPANSION JOINTS SHALL BE INSTALLED EVERY 30' O.C., BOTH WAYS WHERE APPLICABLE. SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.
  - SEE CURB DETAIL FOR DOWLING REQUIREMENTS WHERE ABUTTING CURB.
  - INSTALL 4" LONG #3 DOWELS @ 12" O.C. WHERE SIDEWALK ABUTS A BUILDING WALL AT AN ENTRANCE, THICKEN SIDEWALK TO 6" AT BUILDING WALL AND INSTALL DOWEL CENTERED IN THE 6" DEPTH. DOWELS AND THICKENING OF SIDEWALK SHALL EXTEND 18" EITHER SIDE OF ENTRANCE.
  - INSTALL 1/2" PREMOULDED EXPANSION JOINT WITH BACKER ROD & SEALANT WHERE SIDEWALK ABUTS BUILDING OR OTHER STRUCTURE.

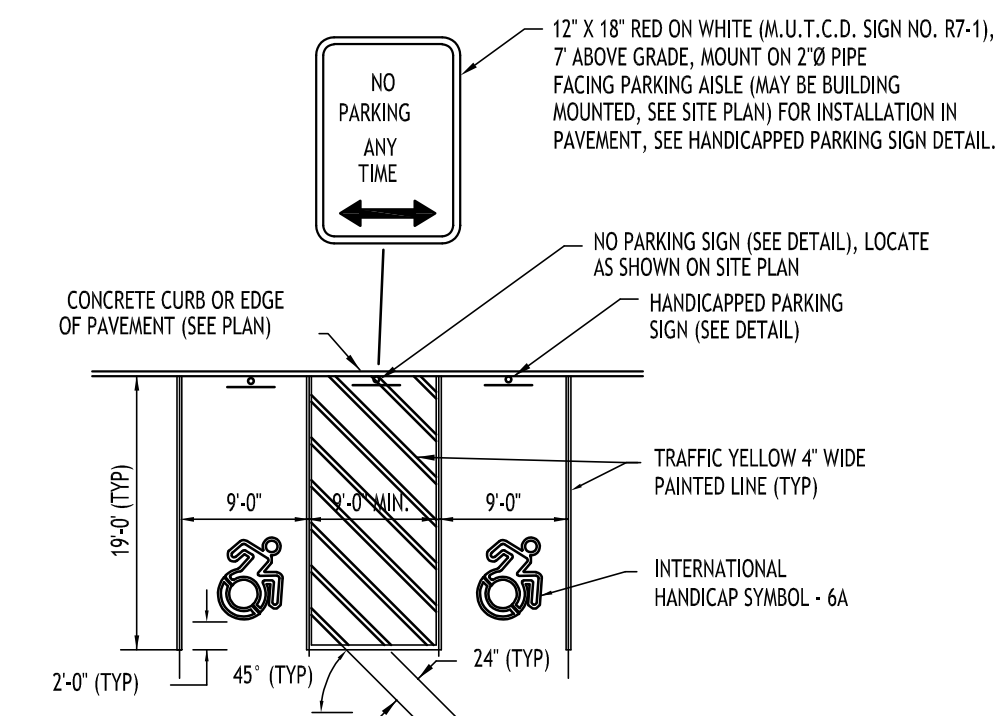
CONCRETE SIDEWALK - 7



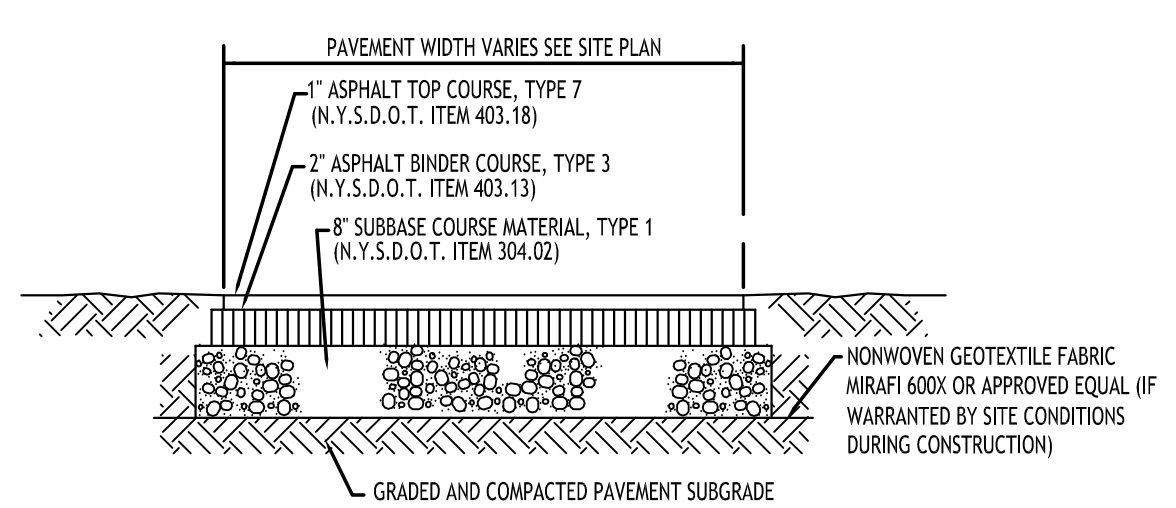
PIPE BOLLARD - 1  
eckerdts detail



HANDICAPPED PARKING SIGN - 4C  
INSTALLED IN PAVEMENT



HANDICAPPED PAVEMENT MARKINGS & SIGNAGE - 4B



NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 401-3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYS DOT STANDARD SPECIFICATION 304-3.

STANDARD DUTY ASPHALT SECTION - 2

REVISIONS:	No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

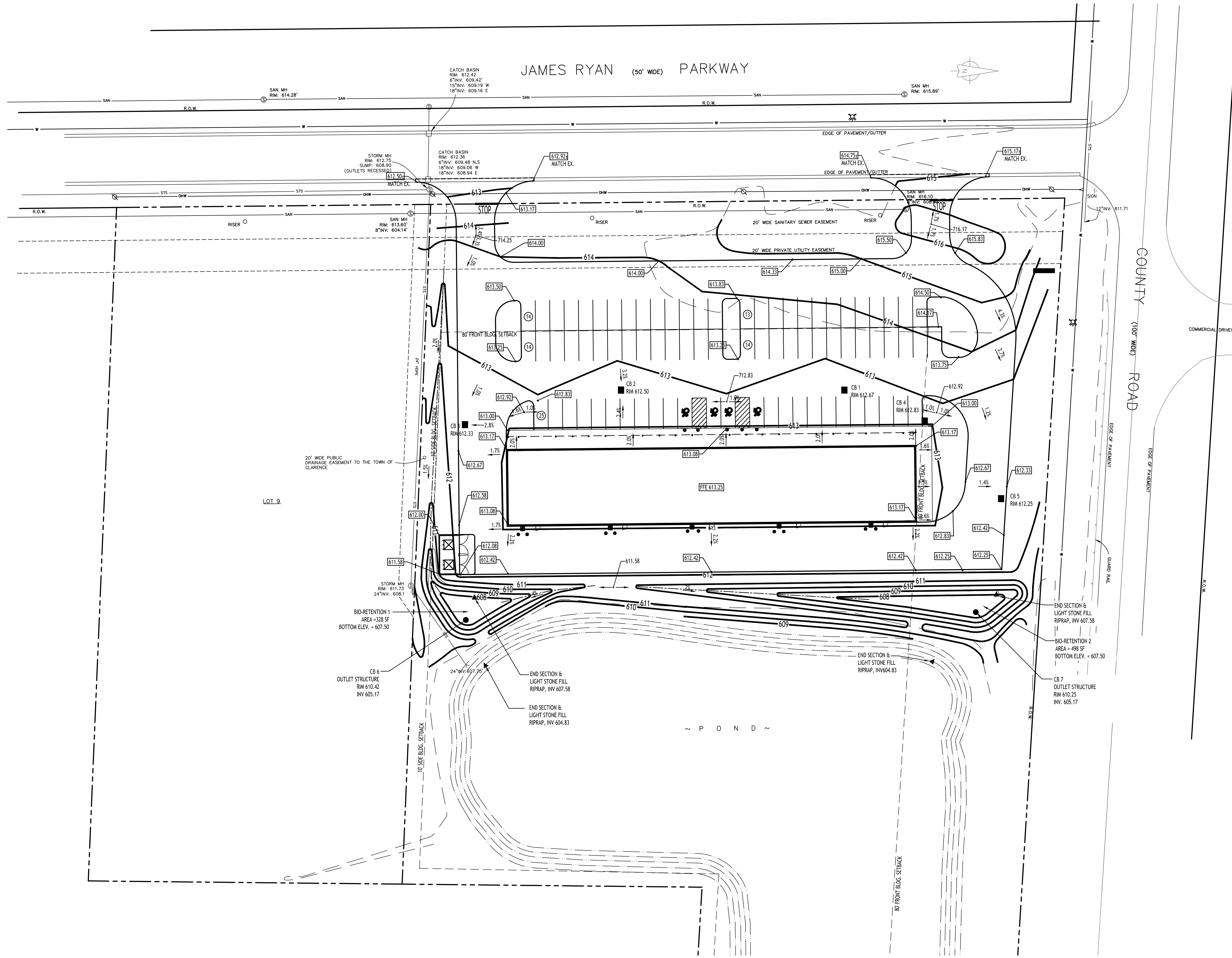
DRAWING NAME:  
Site Details

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-102**  
Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. WARNING: It is a violation of article 145 of the New York State Education Law to reproduce or to alter this drawing, in whole or in part, by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of CARMINA WOOD DESIGN.

© CARMINA WOOD DESIGN



**Grading Plan**  
SCALE: 1"=30'

**PROPOSED GRADING LEGEND**

PROPOSED CONTOUR	— 101 —
PROPOSED SPOT ELEVATION	100.80
PROPOSED TOP/BOTTOM OF CURB ELEV.	TC 100.50 BC 100.00
PROPOSED CATCH BASIN	■ CB
PAVEMENT/GROUND SLOPE	—
PROPOSED YARD DRAIN	⊗ YD
PROPOSED MANHOLE	● MH

REVISIONS:

No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

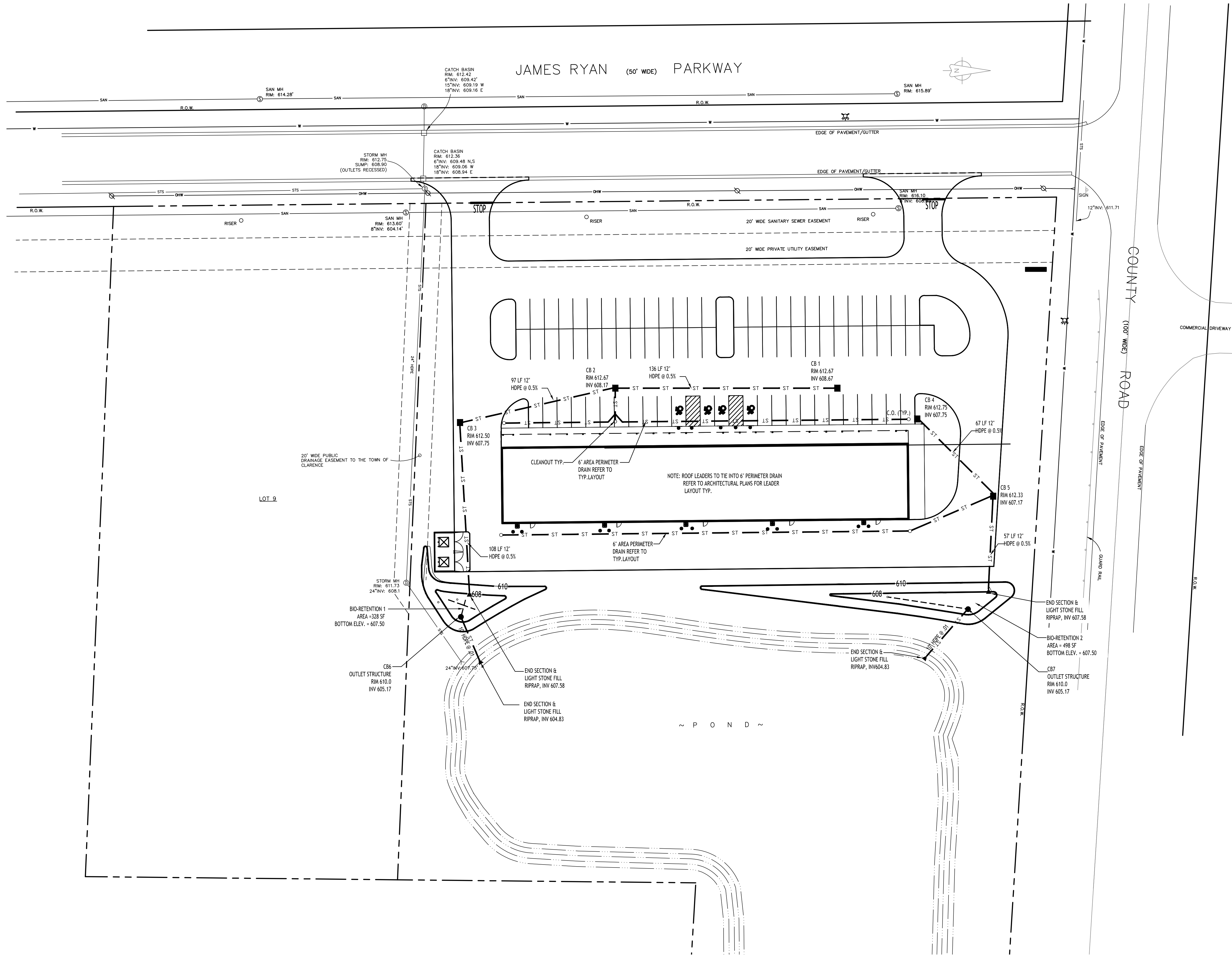
DRAWING NAME:  
**Grading Plan**

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-200**  
Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. WARNING: It is a violation of article 145 of the New York State Environmental Conservation Law to reproduce or alter this drawing, or any portion thereof, without the signature, the date, the notation "altered by" and a specific description of the alteration.

© CARMINA WOOD DESIGN



**Drainage Plan**  
SCALE: 1"=30'

**PROPOSED UTILITY LEGEND**

PROPOSED STORM SEWER	ST
PROPOSED SANITARY SEWER	6" SA
PROPOSED WATERLINE	1" W
PROPOSED CATCH BASIN	CB
PROPOSED YARD DRAIN	YD
PROPOSED MANHOLE	MH
PROPOSED HYDRANT ASSEMBLY	HV
PROPOSED GATE VALVE	GV

NOTE: FOR PROPOSED VALVE BOXES, CLEANOUTS, ETC., INSTALL A 3,000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MINIMUM OF 6" WIDER, ON ALL SIDES, THAN THE BOX, CLEANOUT, ETC. THE COLLAR SHALL BE A MINIMUM OF 6" THICK.

**CARMINA WOOD**  
DESIGN

Buffalo | Utica | Greensboro

**Commercial Development**  
James Ryan Pkwy @ County Rd  
Clarence, New York

REVISIONS:

No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
**Storm Drainage Plan**

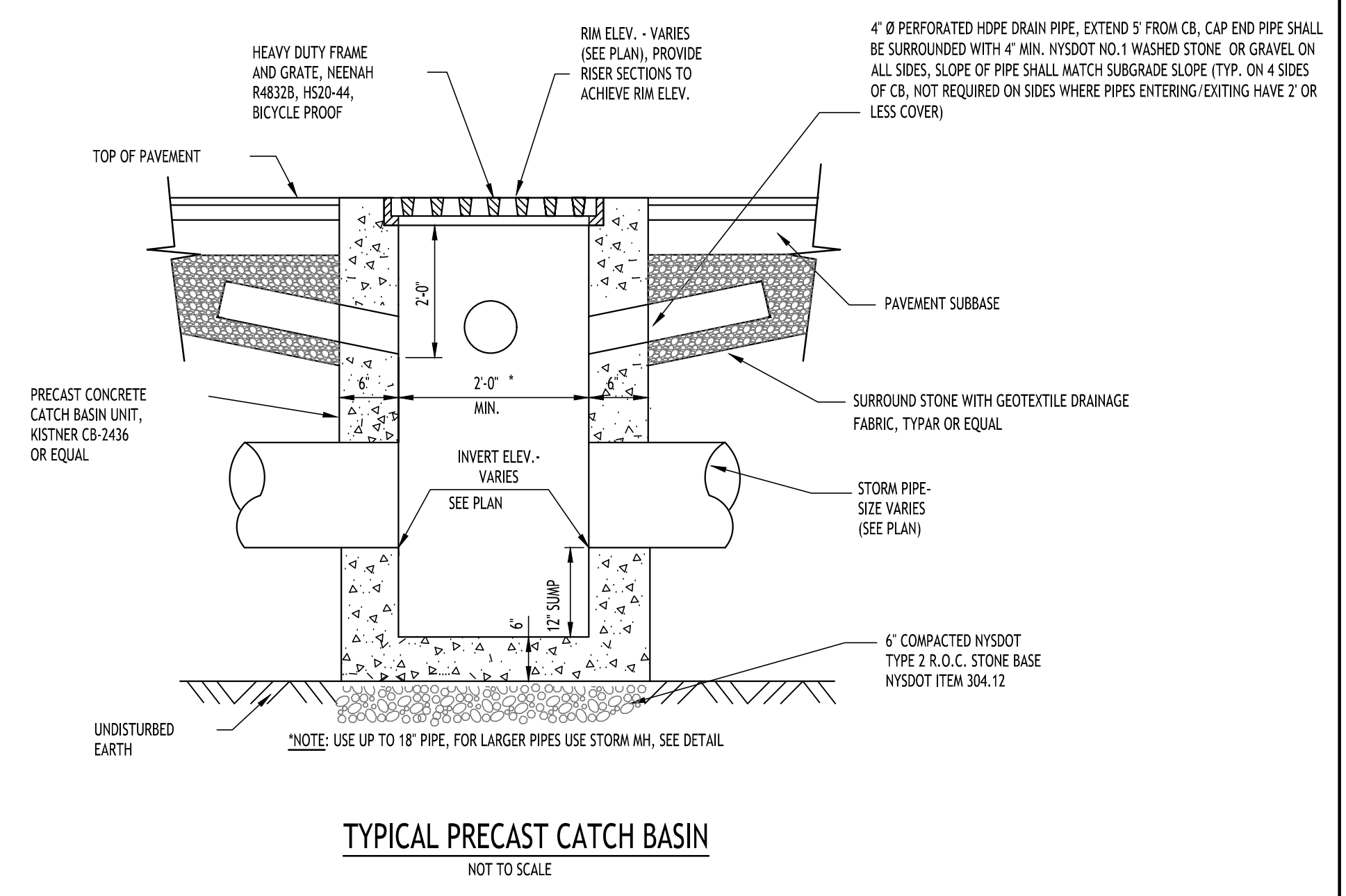
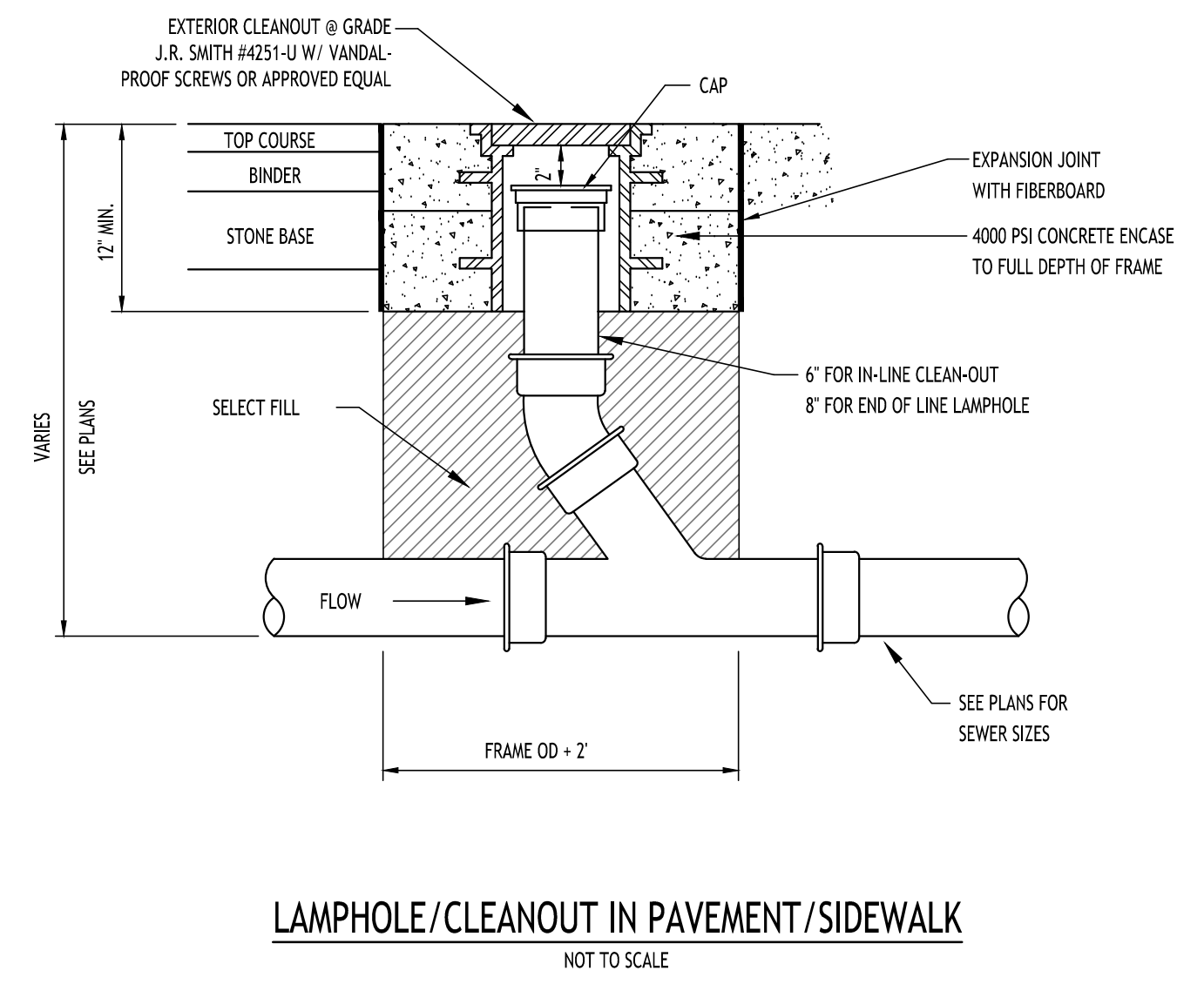
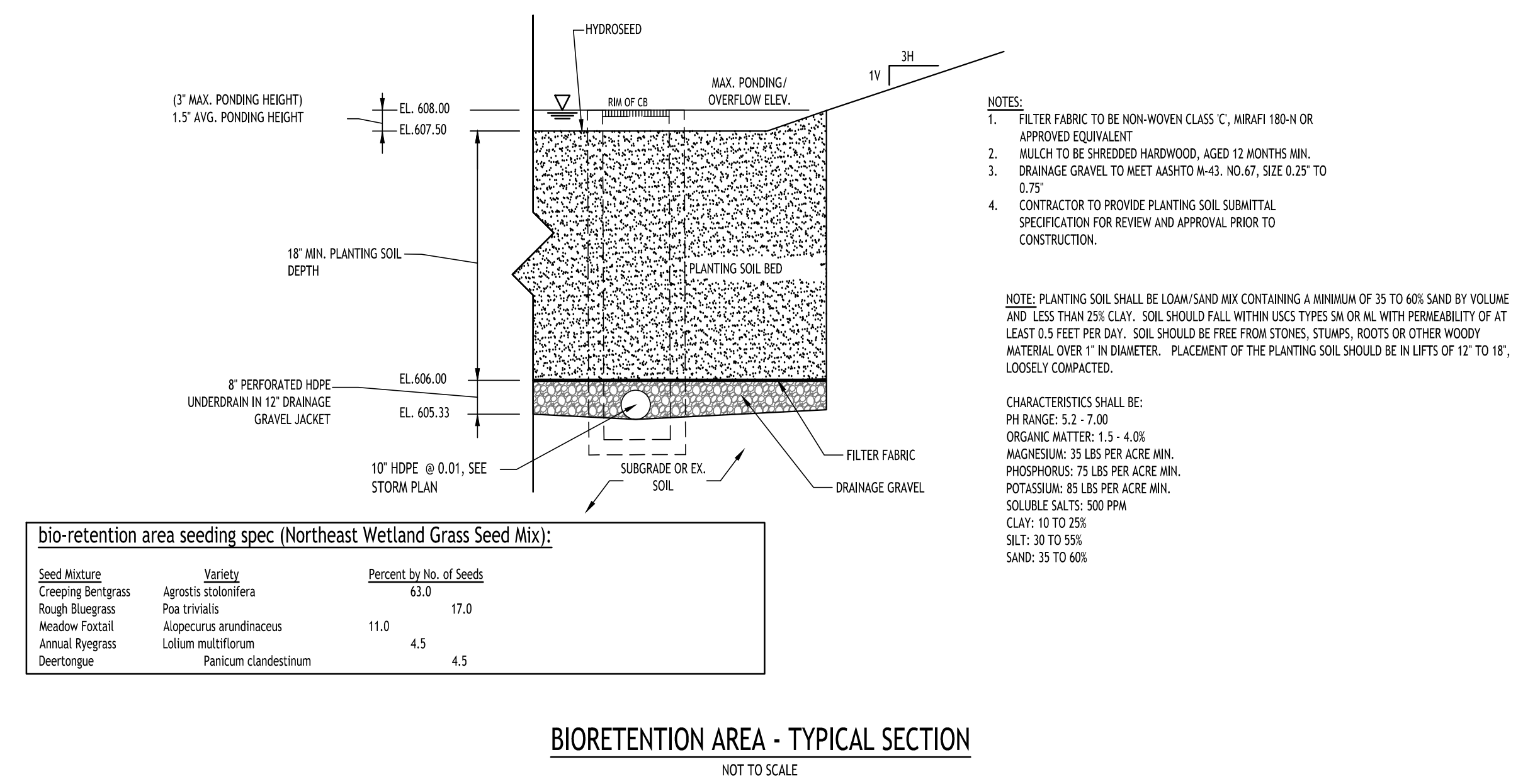
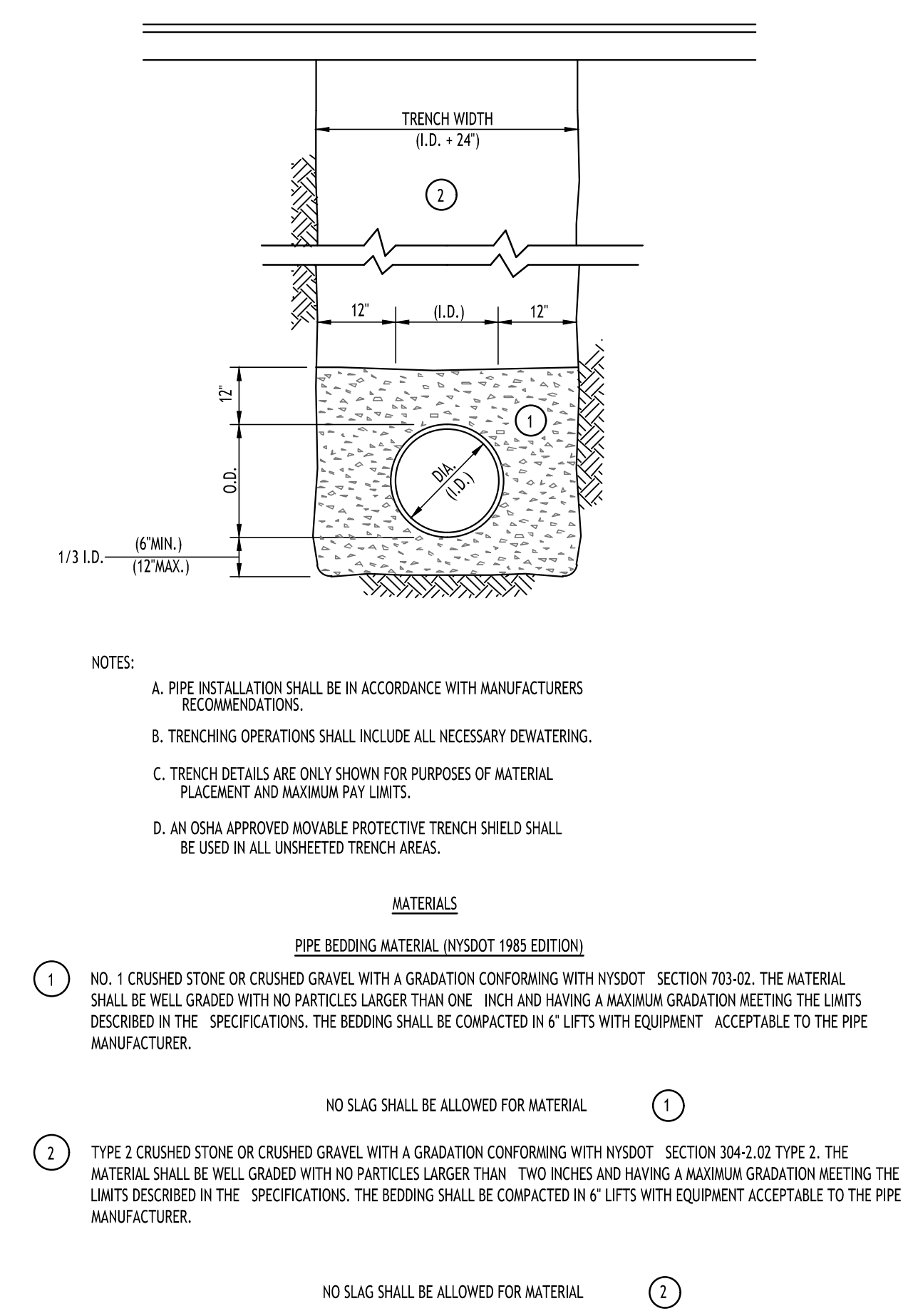
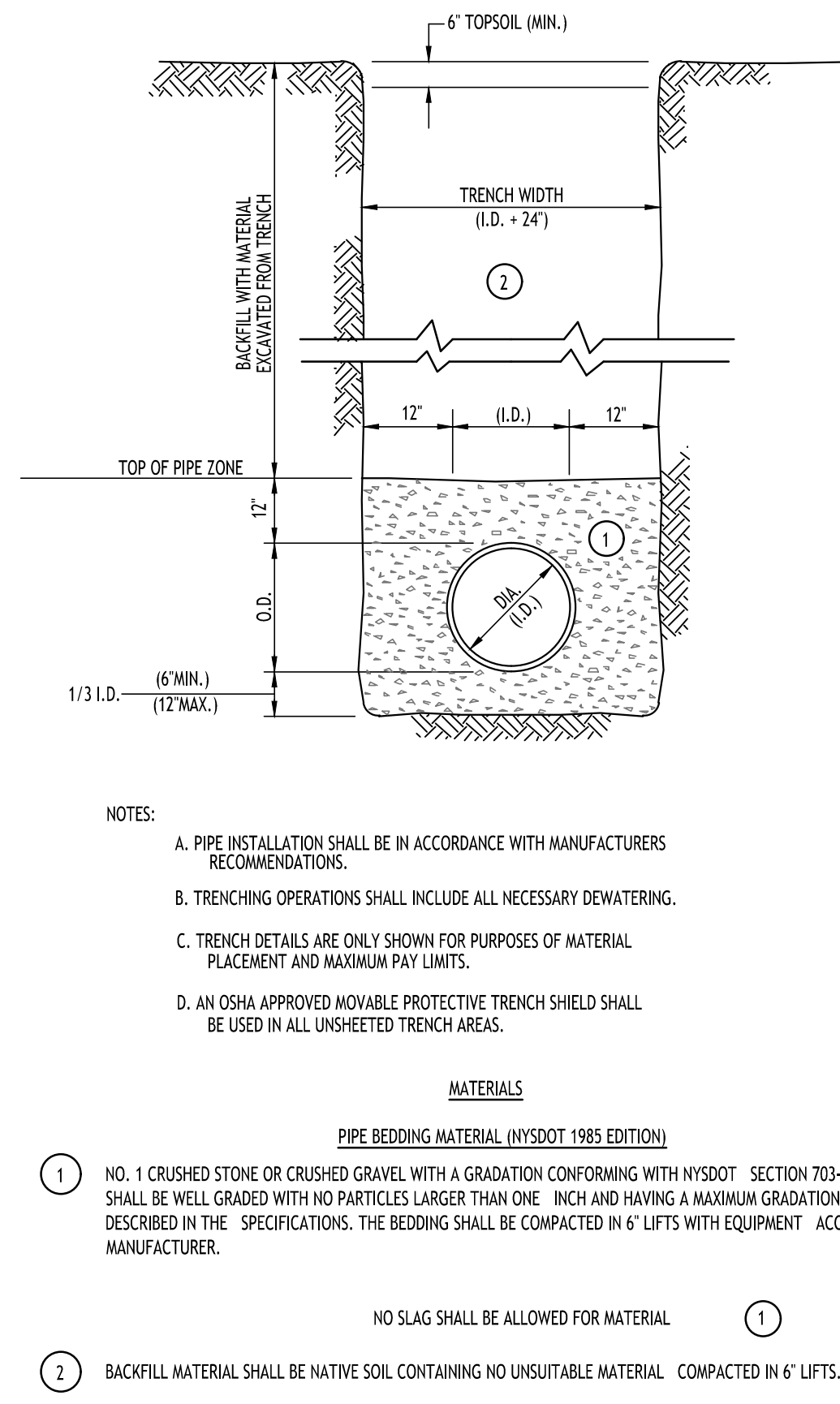
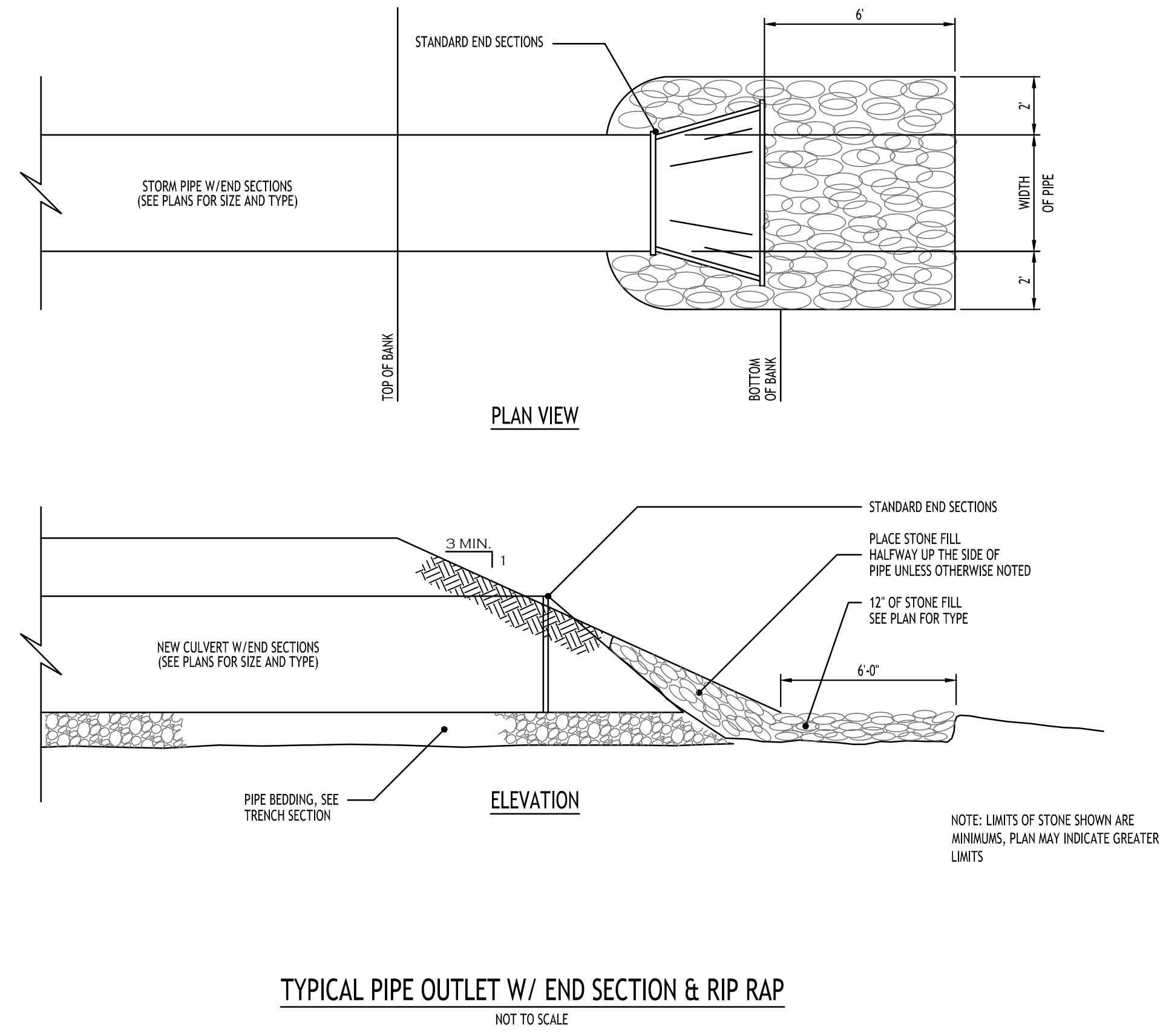
Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-300**

Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINAWOOD DESIGN is prohibited. WARNING: It is a violation of article 145 of the New York State Education Law for any person to reproduce, copy, distribute, sell, lease, rent, loan, or otherwise make available for use any portion of these documents or to alter this drawing, if altered such R.A., P.E. or L.L.S. shall affix his or her signature, the date, the nature, altered by and a specific description of the alteration.

© CARMINA WOOD DESIGN



**CARMINAWOOD DESIGN**  
Buffalo | Utica | Greensboro

**Commercial Development**  
James Ryan Pkwy @ County Rd  
Clarence, New York

REVISIONS:

No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

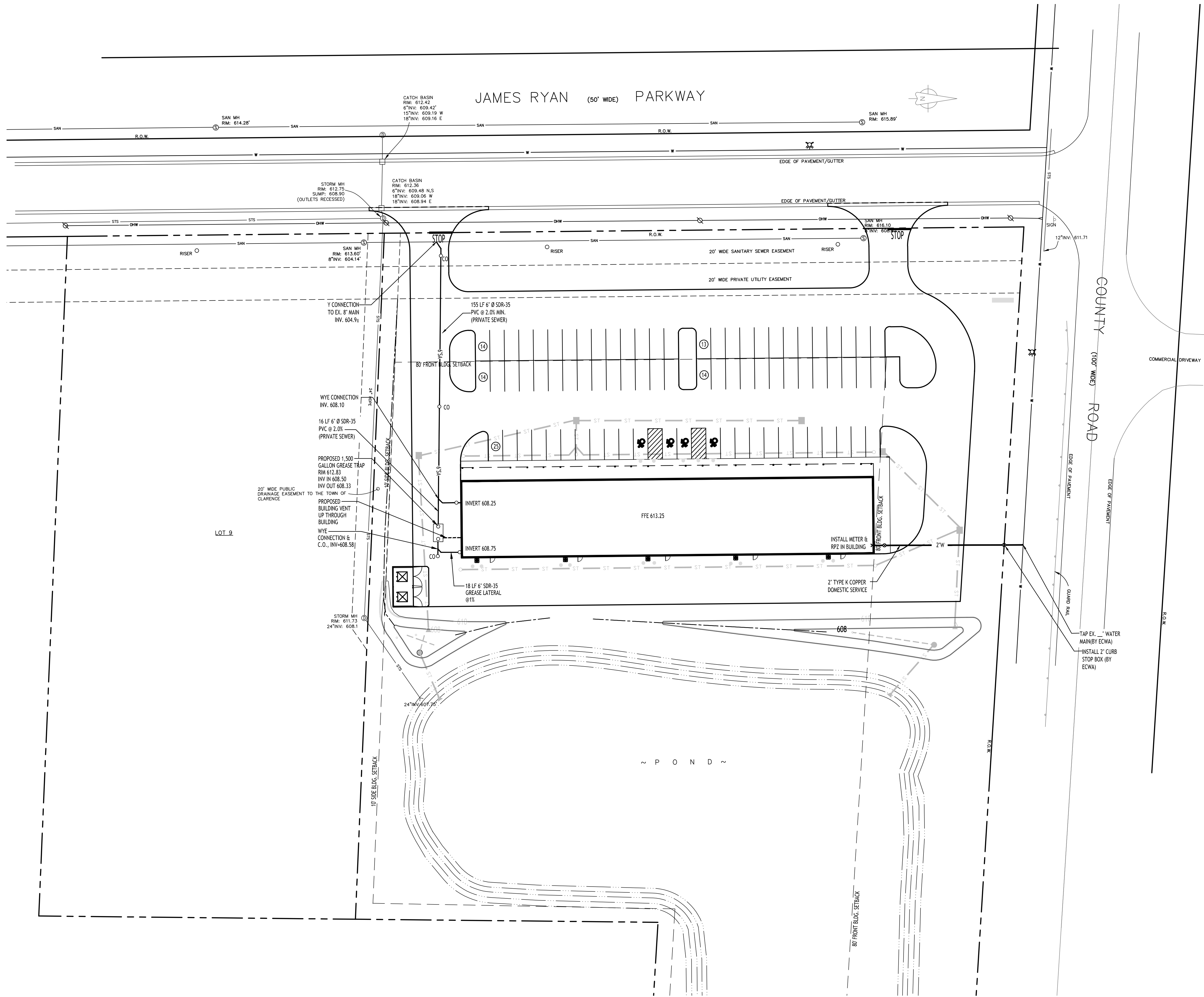
DRAWING NAME:  
**Storm Details**

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-301**  
Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. WARNING: It is a violation of article 45 of the ERIE COUNTY S.W.P.A. to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date the notation "Altered By" and a specific description of the alteration.

© CARMINA WOOD DESIGN



**UTILITY NOTES FOR ALL LAYOUTS:**

- UTILITY CONNECTION LOCATIONS SHOWN ARE SCHEMATIC AND SHALL BE COORDINATED WITH UTILITY PLANS. CONNECTION POINTS MAY VARY. COORDINATE WITH M.E.P. AND ARCHITECTURAL PLANS.
- SITE UTILITY CONTRACTOR TO INSTALL SANITARY (TO INCLUDE TRAP & VENTS) SERVICE TO WITHIN 5 FEET OF BUILDING. PLUMBING CONTRACTOR TO MAKE CONNECTION AND CONTINUE SERVICE INTERIOR TO THE BUILDING.

**UTILITY NOTES:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING STORM AND SANITARY LOCATIONS/INVERTS PRIOR TO CONSTRUCTION. INVERTS SHOWN ARE APPROXIMATE AND BASED ON RECORD DRAWINGS PROVIDED BY ERIE COUNTY DIVISION OF SEWERAGE MANAGEMENT (ECDSM). EXISTING WATER, GAS, ELECTRIC AND SANITARY LINES SHOWN ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION/SIZE/CONDITION BEFORE CONSTRUCTION.
- SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH PAVEMENT AREAS.
- IF NECESSARY, PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
- A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.
- ERIE COUNTY WATER AUTHORITY (ECWA) IS TO BE NOTIFIED A MINIMUM OF 48-HOURS PRIOR TO STARTING THE CONNECTION FOR THE NEW WATER SERVICE.
- ALL SANITARY SEWER CONSTRUCTION SHALL ADHERE TO ECDSM SPECIFICATIONS AND DETAILS, AND ERIE COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
- ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, ERIE COUNTY, OR TOWN OF WEST SENECA ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION IS TO CONFORM TO ECDSM RULES AND REGULATIONS.
- ECDSM REQUIRES PROPER TESTING (DEFLECTION, HYDROSTATIC & AIR) BEFORE ACTIVATION OF THE 8\"/>

**PROPOSED UTILITY LEGEND**

PROPOSED STORM SEWER	— ST —
PROPOSED SANITARY SEWER	— 6\"/>

NOTE: FOR PROPOSED VALVE BOXES, CLEANOUTS, ETC., INSTALL A 3000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MIN. OF 6\"/>

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**Utility Plan**  
SCALE: 1"=30'

REVISIONS:	Date
No. Description	

**PRELIMINARY**  
NOT FOR CONSTRUCTION

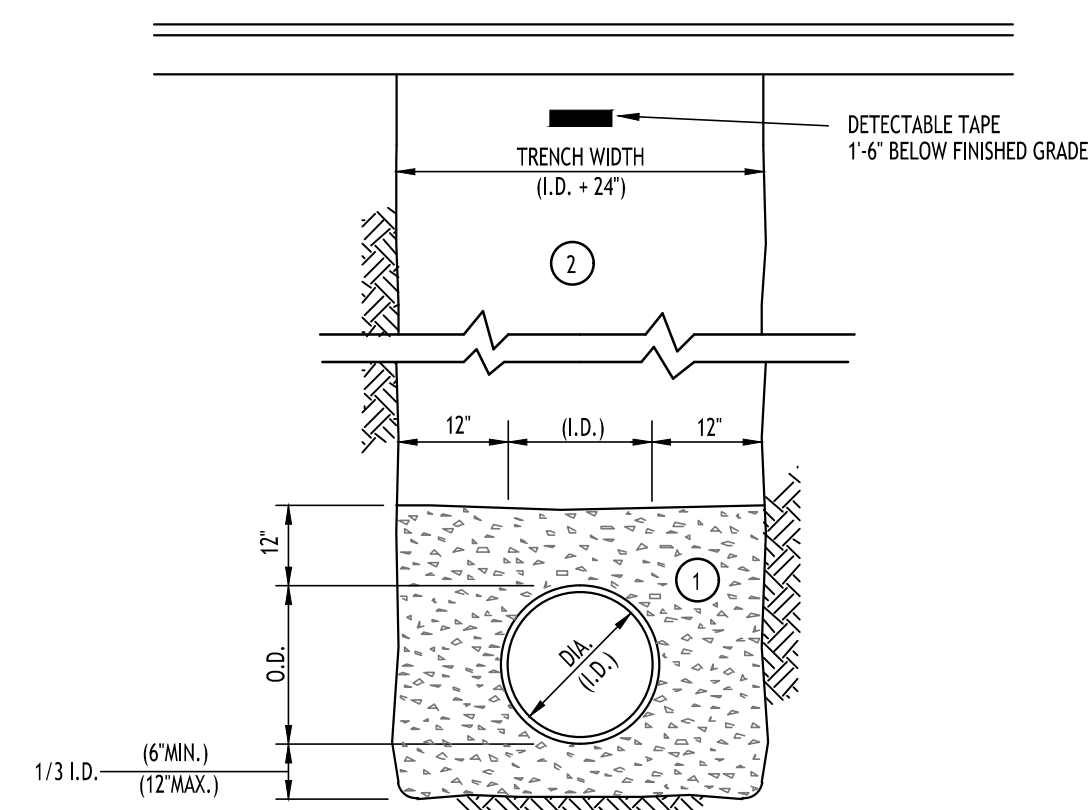
DRAWING NAME:  
**Utility Plan**

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**C-400**  
Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. WARNING: It is a violation of article 45 of the Public Access to Information Act (PAIA) to reproduce, disseminate, or otherwise make available to the public any information contained in this document or to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date the alteration was made, and a specific description of the alteration.

© CARMINA WOOD DESIGN



- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

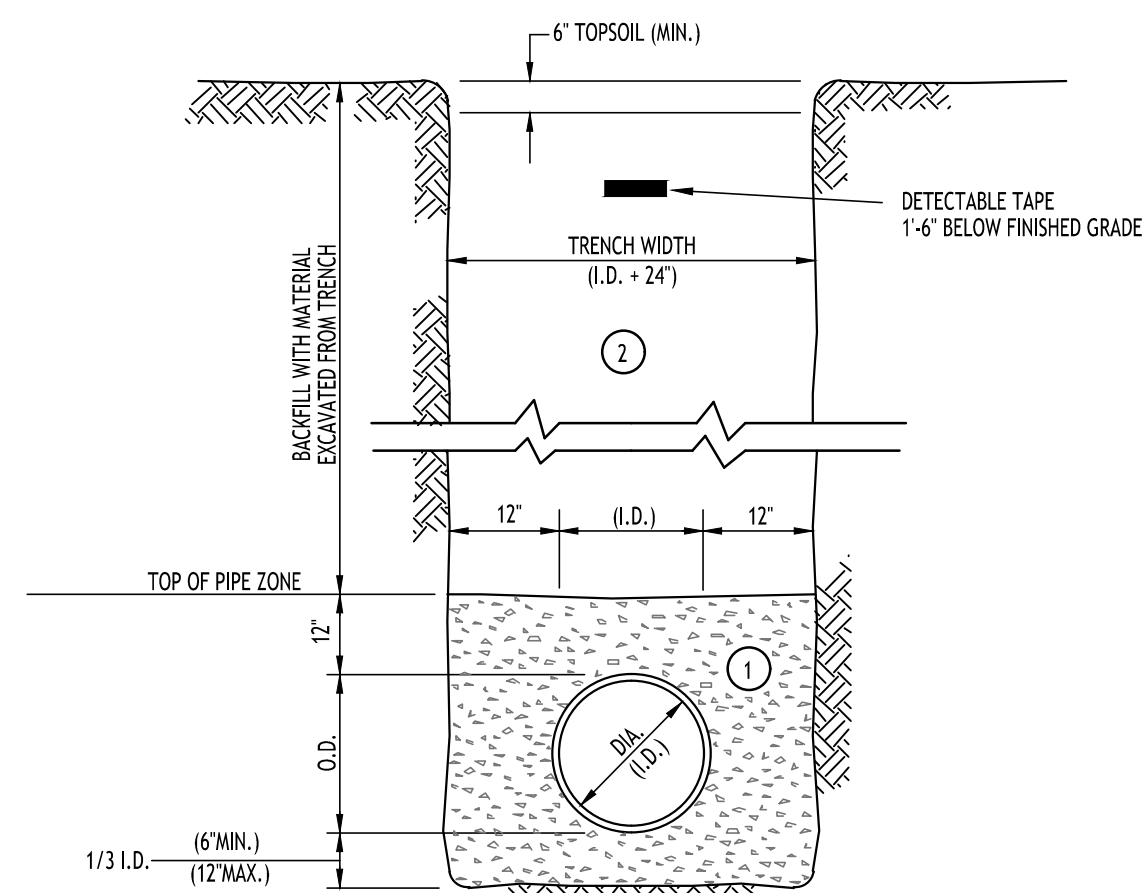
NO SLAG SHALL BE ALLOWED FOR MATERIAL

- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 304-2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL

**SEWER/WATERLINE TRENCH SECTION  
IN PAVED AREAS**

NOT TO SCALE



- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)

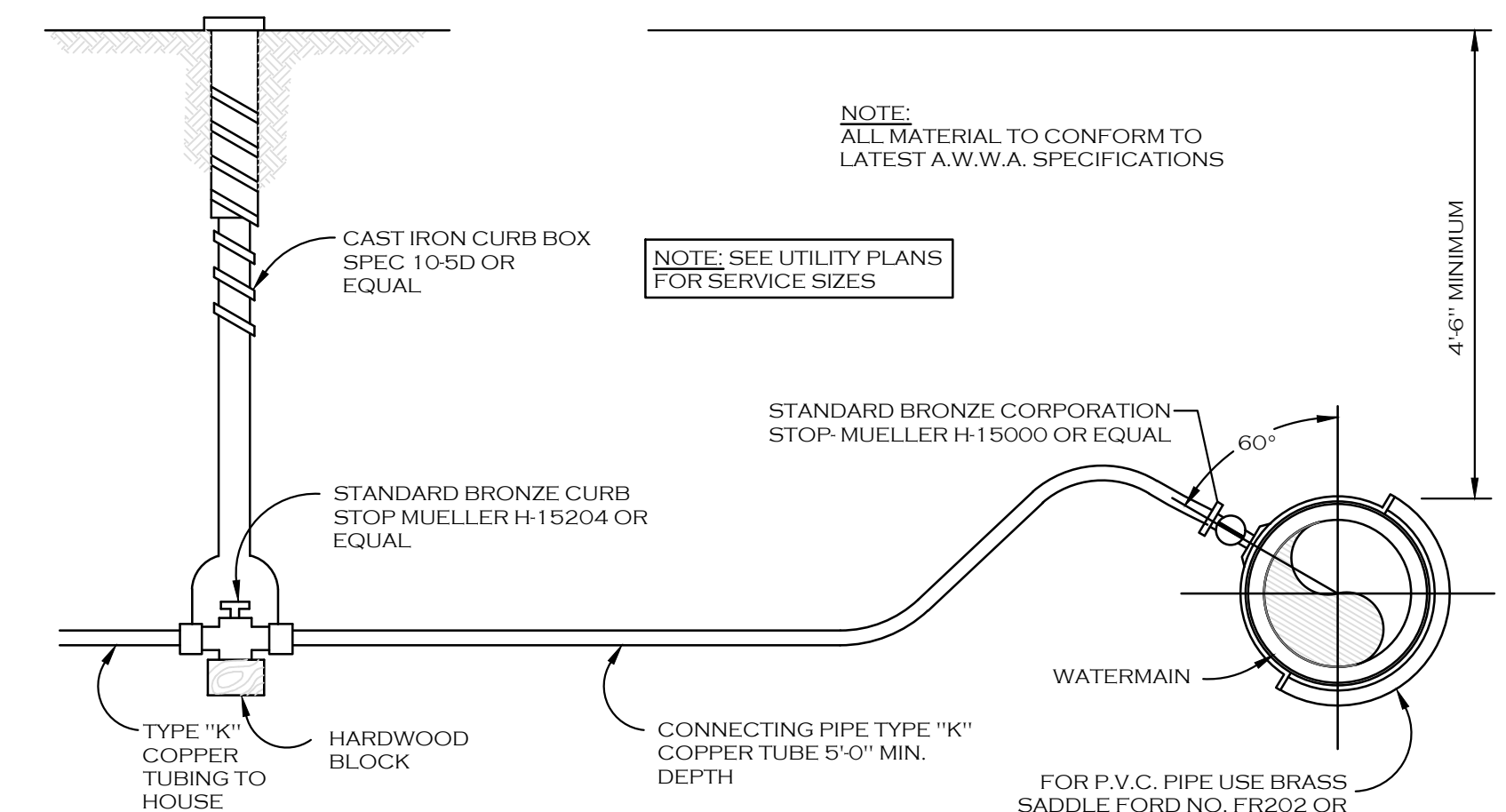
- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYS DOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL

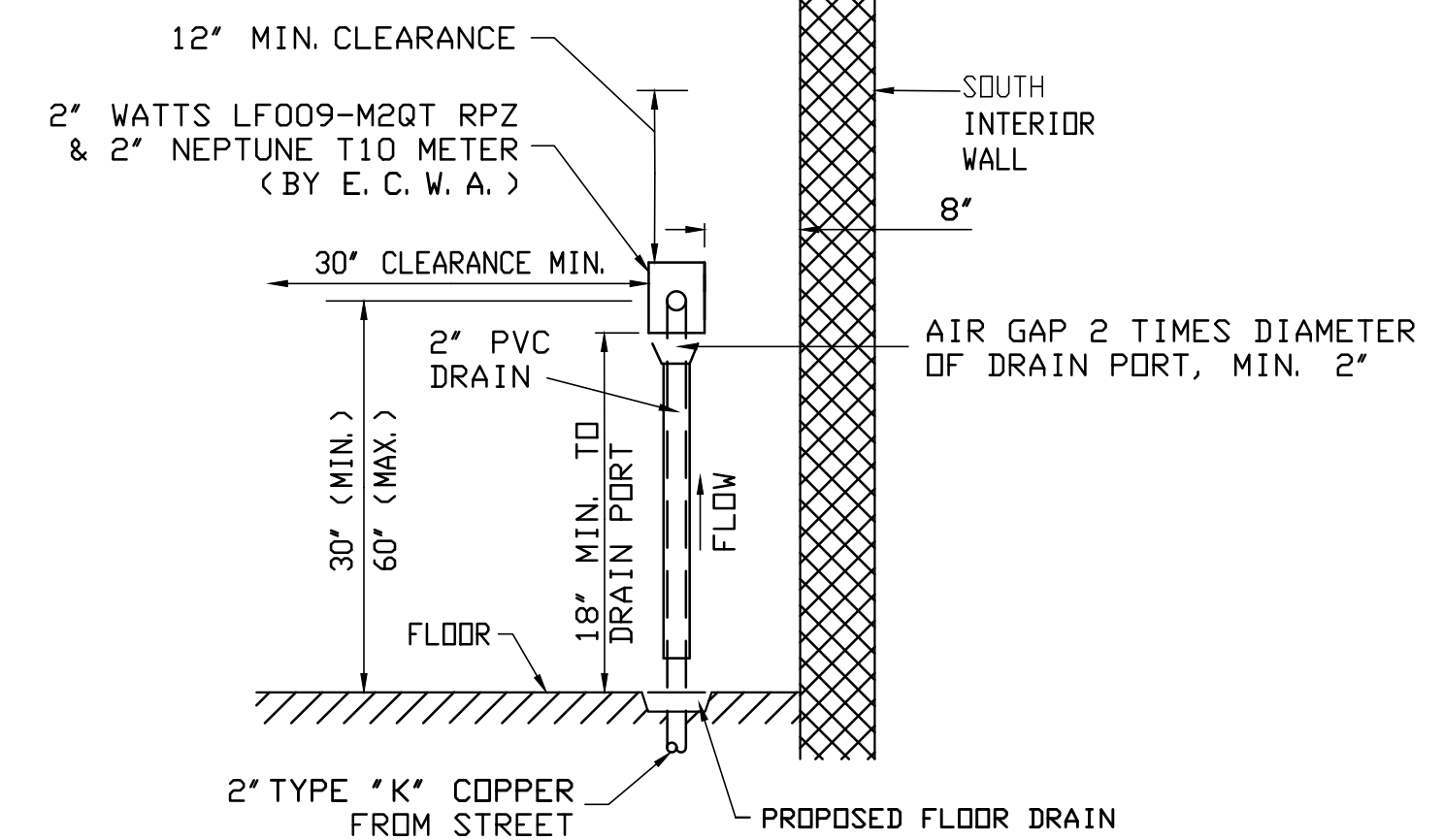
- BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

**SEWER/WATERLINE TRENCH SECTION  
IN UNPAVED AREAS**

NOT TO SCALE

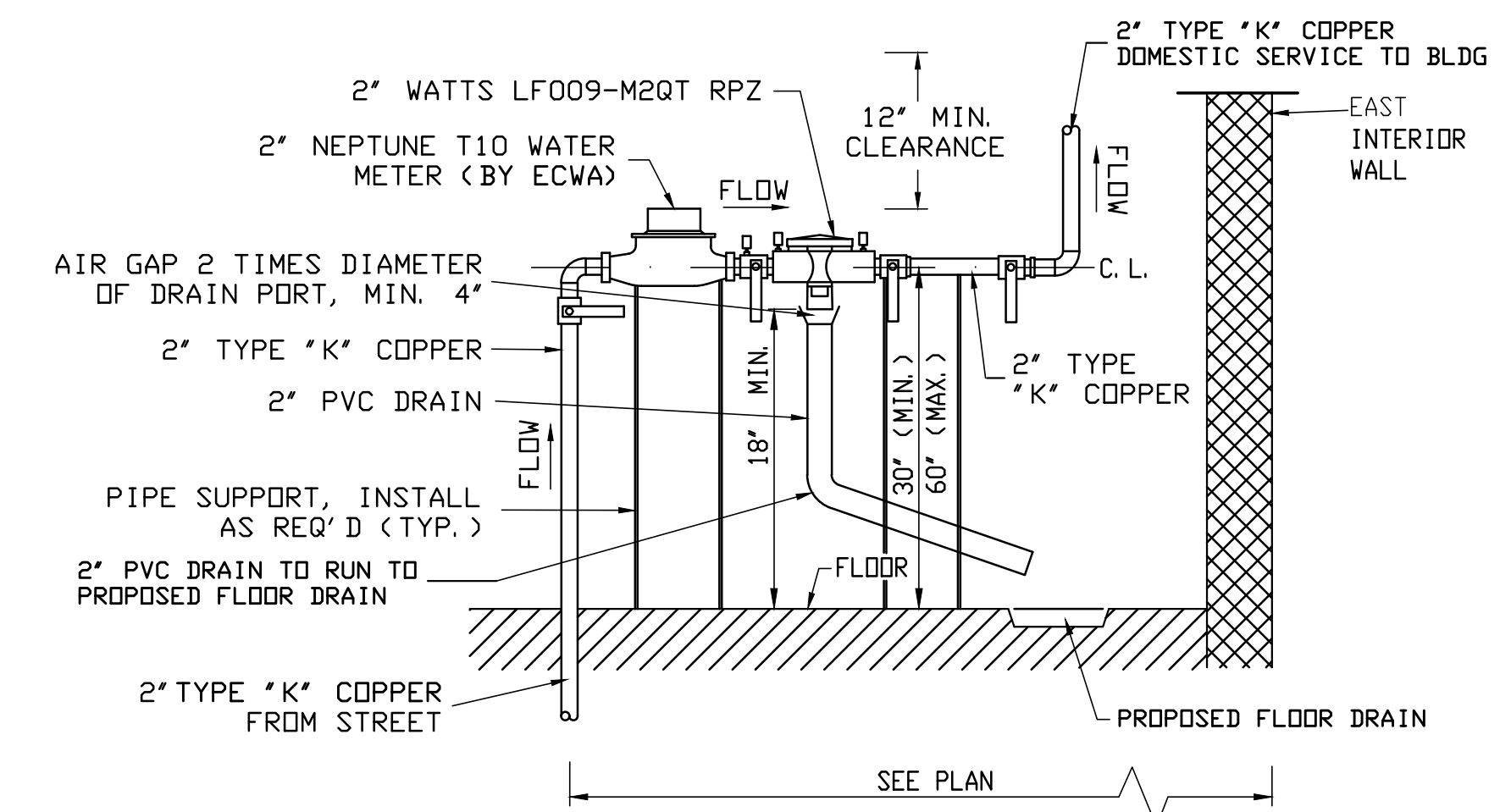


**TYPICAL WATER SERVICE LINE INSTALLATION**



**EAST ELEVATION**

SCALE: NONE



**NORTH ELEVATION**

SCALE: NONE

**2" DOMESTIC SERVICE BACKFLOW PREVENTER INSTALLATION**

SCALE: NONE

NOTES:

- NO TAPS TO BE MADE UPSTREAM OF RPZ & METER.
- HEAT, LIGHT AND ELECTRIC TO BE PROVIDED AT RPZ LOCATION.
- COORDINATE LOCATION WITH ARCHITECTURAL PLANS.

REVISIONS:	No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
Utility Details

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

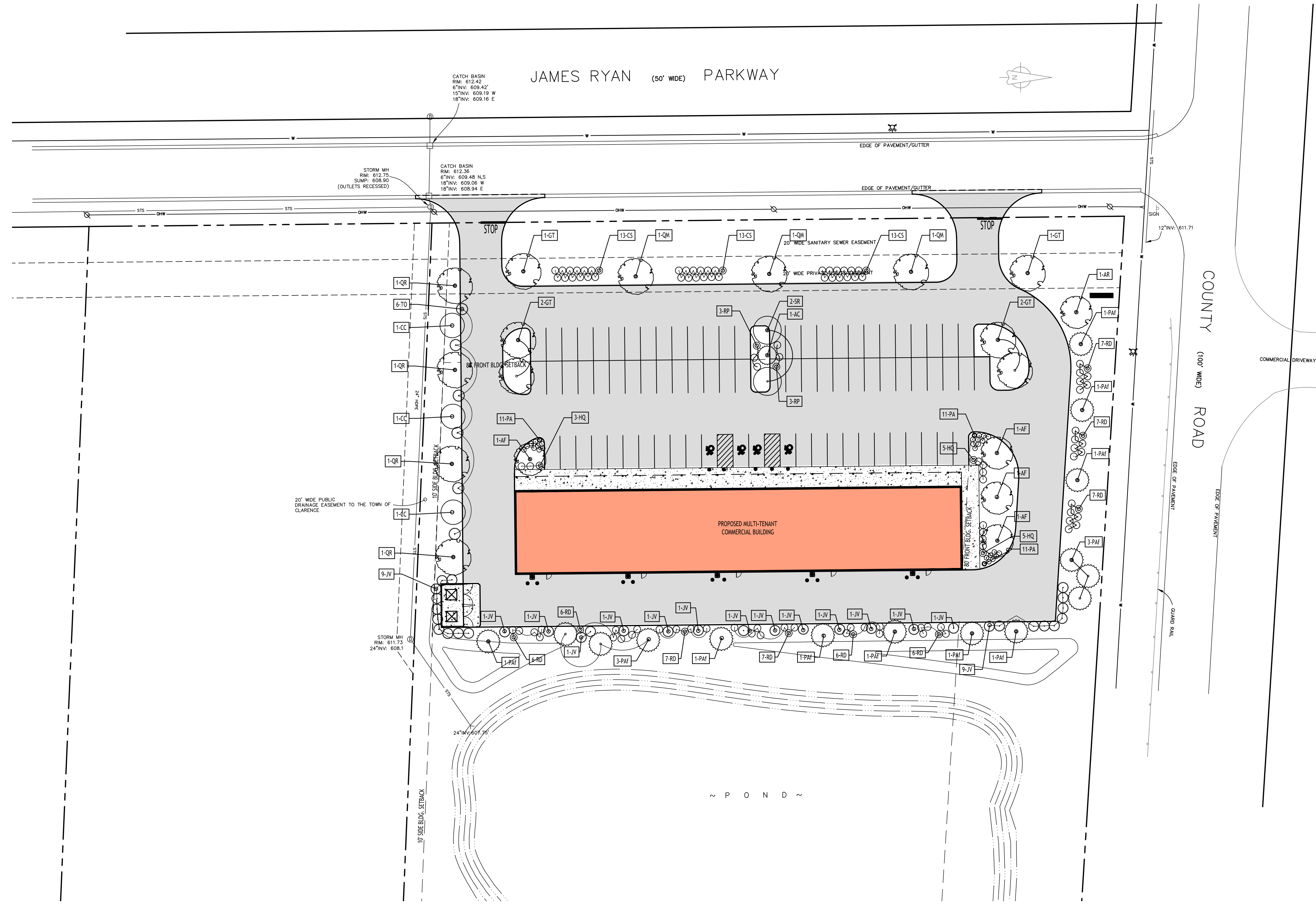
DRAWING NO.

**C-401**

Project No: 23-4107

All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINA WOOD DESIGN is prohibited. WARNING: It is a violation of article 145 of the Town of Amherst Zoning Ordinance to use these drawings for any project other than that specifically intended. No liability shall be assumed for errors or omissions or for any consequences arising from the use of these drawings. No alteration of these drawings shall be made without the written consent of CARMINA WOOD DESIGN. If altered back R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "altered by" and a specific description of the alteration.

© CARMINA WOOD DESIGN

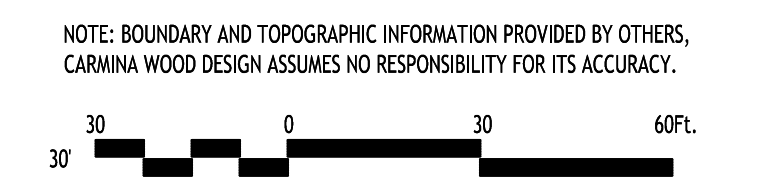
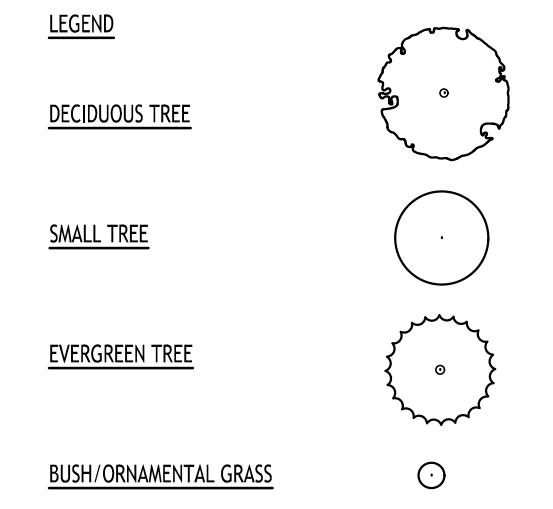


**Landscape Plan**  
SCALE: 1"=30'

PLANTING SCHEDULE - 5226 & 5228 MAINSTREET -AMHERST - NEW YORK

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
AF	3	ACER FREEMANNI "JEFFERSRED"	AUTUMN BLAZE MAPLE	2 1/2" - 3" CAL.	B&B
QR	4	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" - 3" CAL.	B&B
GT	6	GLEDTISIA TRIACANTHOS INERMIS "SKYCOLE"	SKYLINE THORNLESS HONEYLOCUST	2 1/2" - 3" CAL.	BAR. HT. OF 45' & 45' WIDE
QM	3	QUERCUS MACROCARPA	BUR OAK	2 1/2" - 3" CAL.	BAR. HT. OF 45' & 45' WIDE
AR	1	ACER RUBRUM	RED MAPLE	2 1/2" - 3" CAL.	BAR. HT. OF 45' & 45' WIDE
<b>SMALL/ORNAMENTAL TREES</b>					
SR	2	SYRINGA RETICULATA	JAPANESE TREE LILAC	7' - 8' HT.	B&B
CC	3	CERCIS CANADENSIS	EASTERN REDBUD	7' - 8' HT.	B&B
<b>EVERGREEN TREES</b>					
PAI	7	PICEA ABIES "Cupressina"	COLLIMNAR NORWAY SPRUCE	5' - 6' MIN. HT.	BAR. FULL TO GROUND
TO	6	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	5' - 6' MIN. HT.	BAR. FULL TO GROUND
AC	1	ABIES CONCOLOR	CONCOLOR FIR	5' - 6' MIN. HT.	BAR. FULL TO GROUND
JV	19	JUNIPERUS VIRGINIANA	ESTERN RED CEDAR	5' - 6' MIN. HT.	BAR. FULL TO GROUND
<b>SHRUBS</b>					
HQ	9	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	32" HIGH MIN.	NO. 3 CONT.
RP	6	RHODODENDRON x "PJM"	P.J.M. RHODODENDRON	24" HIGH MIN.	NO. 3 CONT.
RD	21	CORNUS ALBA "SIBERICA"	SIBERIAN DOGWOOD	32" HIGH MIN.	NO. 3 CONT.
CS	39	CORNUS SERICEA	REDOSEIER DOGWOOD	32" HIGH MIN.	NO. 3 CONT.

- NOTES:**
- ALL PLANTING BEDS & TREE PITTS SHALL RECEIVE A MIN. 3-INCH DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE CALLED OUT ON PLANS.
  - ALL PLANT MATERIALS SHALL BE INSPECTED TWICE ANNUALLY, ONCE IN THE SPRING AND AGAIN IN THE FALL. TREES & SHRUBS THAT ARE DEAD OR ARE IN POOR CONDITION/DISEASED (LESS THAN 50% LEAF COVER) SHALL BE REPLACED BEFORE THE NEXT GROWING SEASON. TREES AND SHRUBS THAT DO NOT EXHIBIT THE CONDITIONS FOR REPLACEMENT SHALL BE PRUNED AT THE TIME OF INSPECTION TO REMOVE DEAD TWIGS & BRANCHES.
  - ALL NURSERY TAGS TO REMAIN ON PLANTS UNTIL AFTER FINAL INSPECTION AND APPROVAL OF THE LANDSCAPING.
  - A DRIP IRRIGATION SYSTEM IS RECOMMENDED FOR ALL PLANTINGS. SOAKER HOSES ARE RECOMMENDED AT THE TIME OF INSTALLATION OF ALL PLANT MATERIALS AND SHOULD BE UTILIZED THROUGHOUT THE ENTIRE LENGTH OF THE FIRST FULL GROWING SEASON.
- \* ORNAMENTAL GRASSES SHOULD BE PRUNED BACK IN LATE FALL OR EARLY SPRING TO ALLOW NEW FOLIAGE TO GROW IN SPRING.
- PLANTING NOTES:**
- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
  - ALL TREE PIT SAUCERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
  - ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
  - ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.



REVISIONS:

No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
Site Landscape  
Concept

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

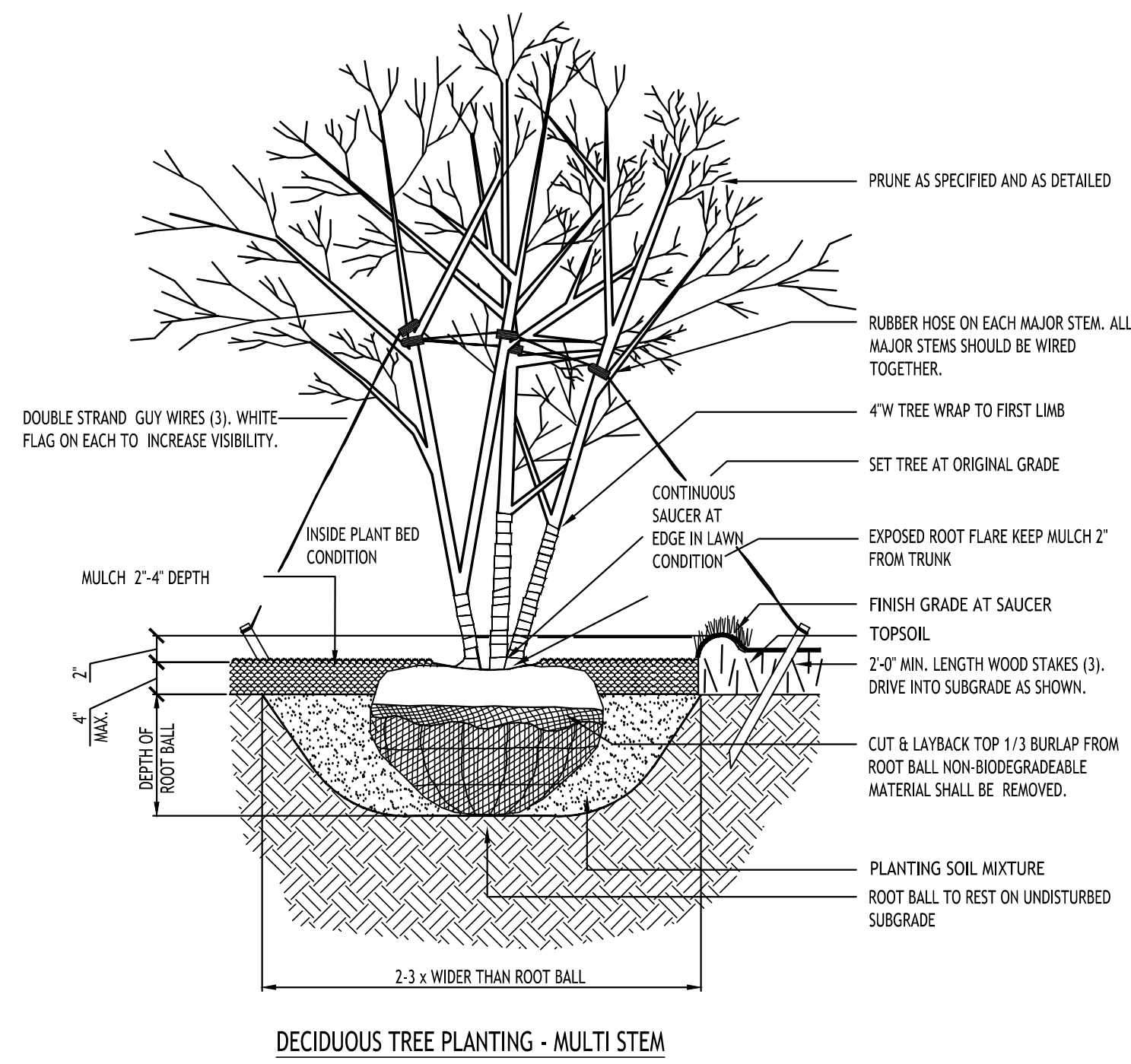
DRAWING NO.  
**L-100**

Project No: 23-4107

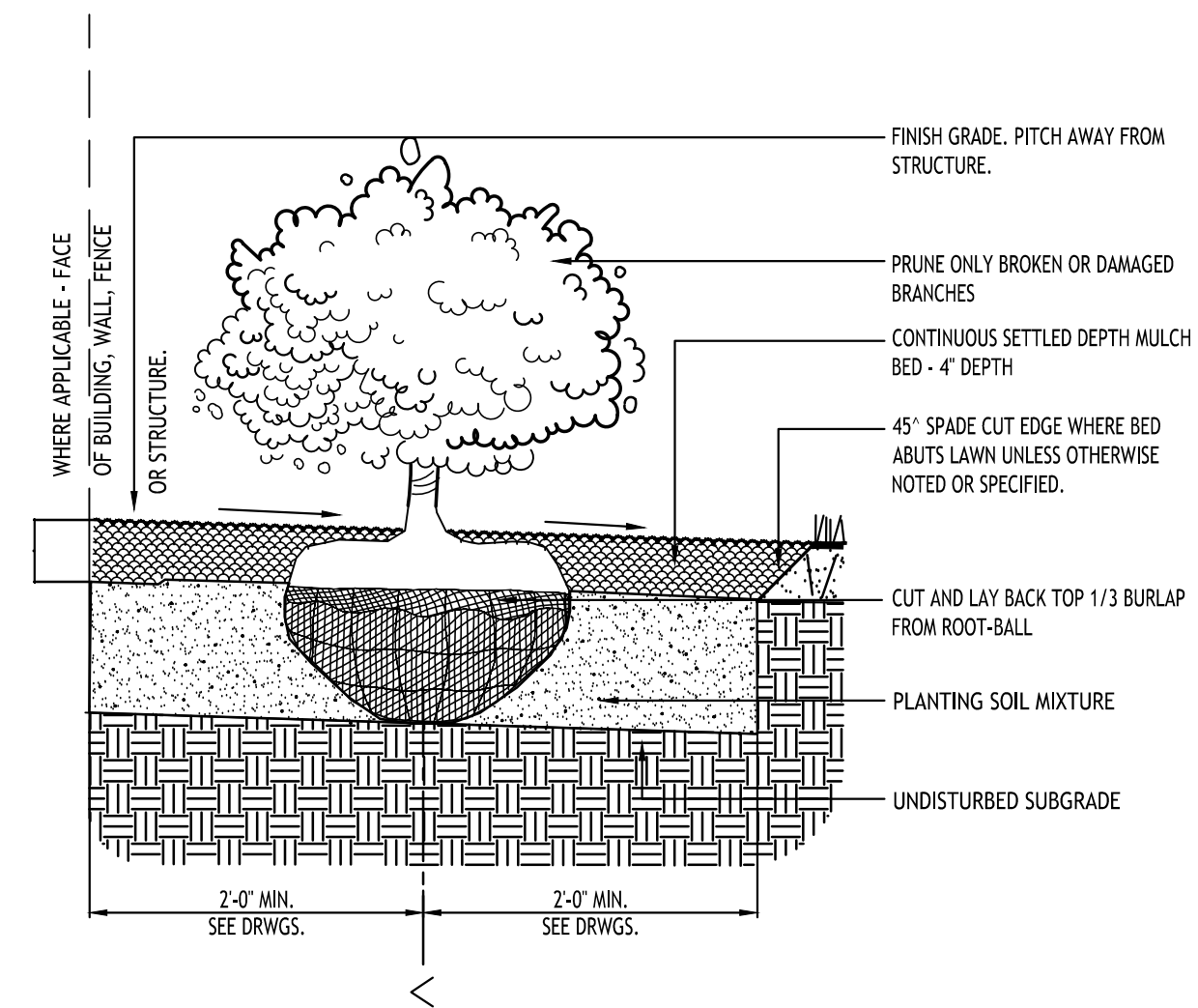


All Rights Reserved. Reuse of these documents without the expressed written permission of CARMINAWOOD DESIGN is prohibited. WARNING: It is a violation of Article 145 sections 7209a and 7301 of the New York State Education Law for any person, unless acting under the direction of a registered architect, licensed engineer or land surveyor to alter this drawing. If altered such R.A., P.E. or L.L.S. shall affix his or her seal, signature, the date, the notation "Altered By," and a specific description of the alteration.

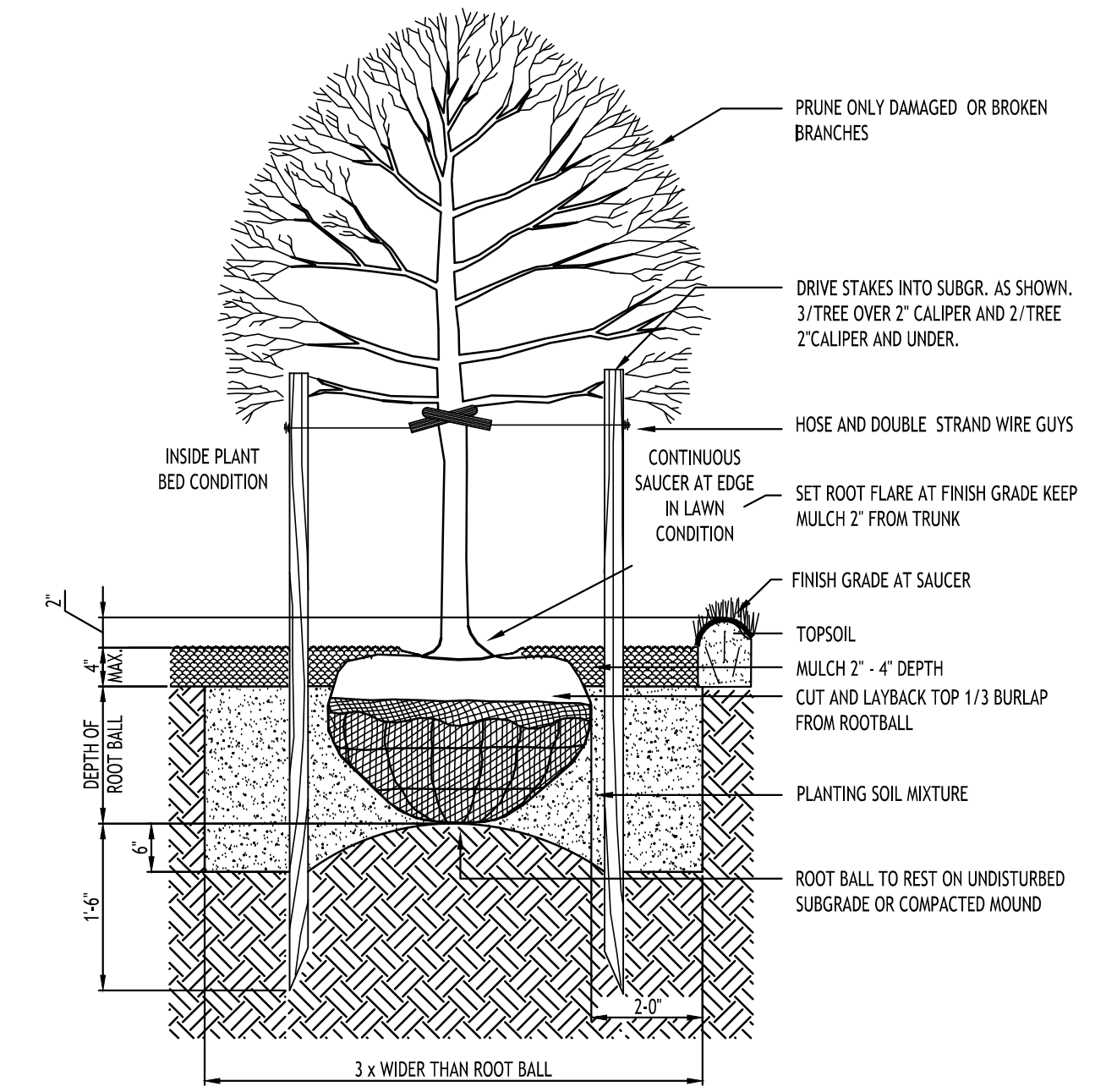
© CARMINA WOOD DESIGN



DECIDUOUS TREE PLANTING - MULTI STEM



STD. SHRUB PLANTING



STD. DECIDUOUS TREET PLANTING

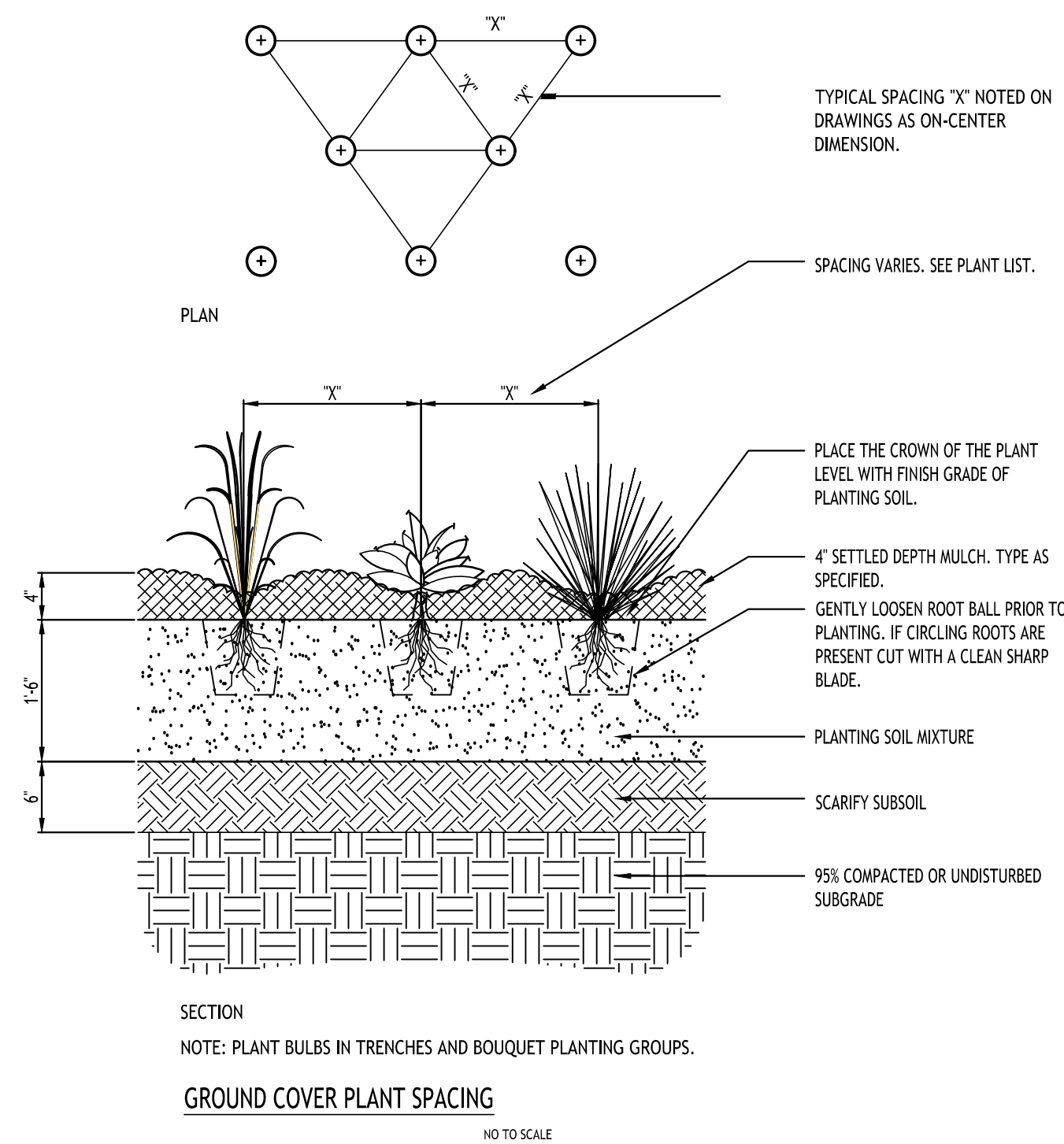
**LANDSCAPE NOTES:**

1. ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERMEN, ANSI Z60.1
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF. THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
3. THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUALL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
4. THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY, CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
5. ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
6. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART MLORGANITE.
7. STAKE TREES IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PLANTED AREAS SHALL RECEIVE A 3\"/>

10. THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 4\"/>

11. ALL SEEDED AREAS SHALL BE HYDROSEEDED IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING, SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.

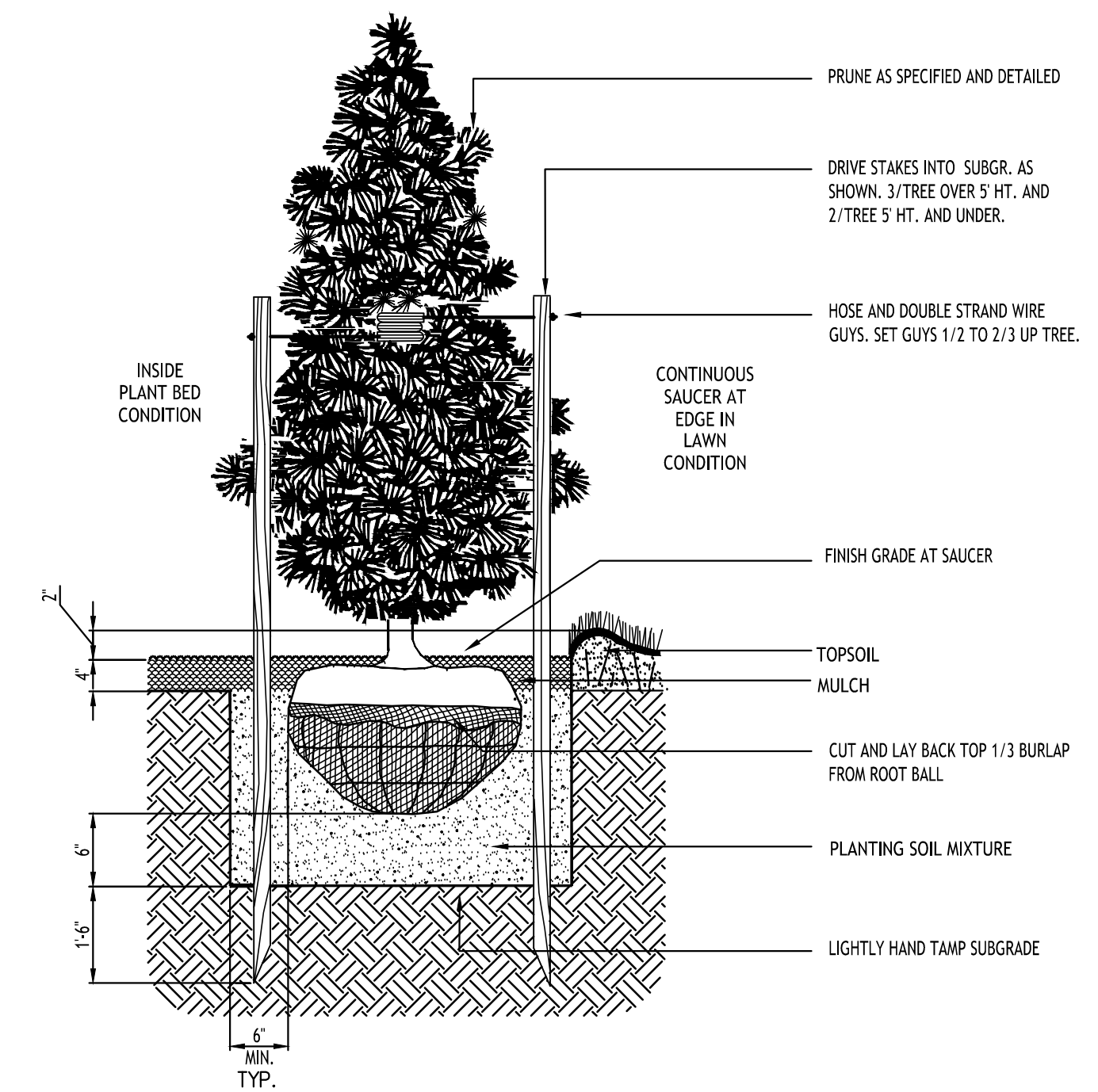
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.



NOTE: PLANT BULBS IN TRENCHES AND BOUQUET PLANTING GROUPS.

GROUND COVER PLANT SPACING

NO TO SCALE



STD. EVERGREEN PLANTING

REVISIONS:	DATE
No. Description	

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
Site Landscape  
Concept

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

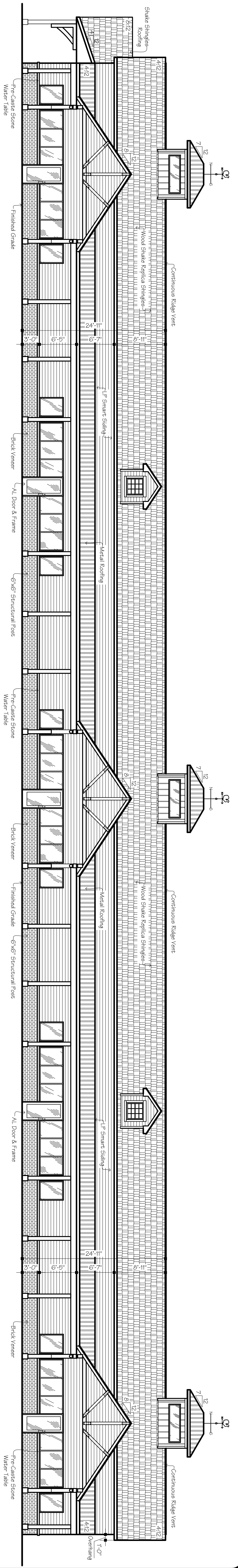
DRAWING NO.

**L-101**

Project No: 23-4107

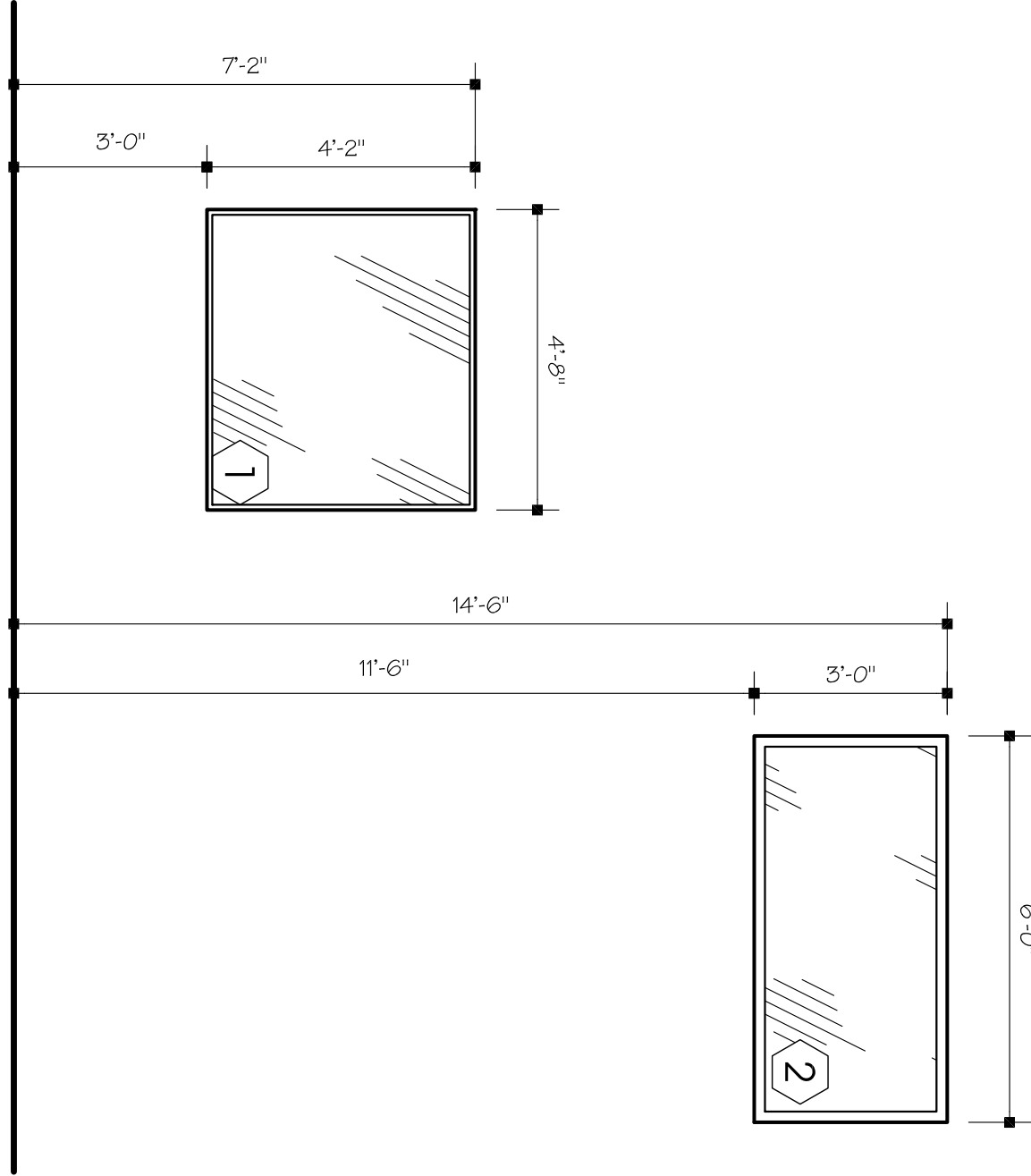
**CARMINAWOOD**  
DESIGN  
Buffalo | Utica | Greensboro

Commercial Development  
James Ryan Pkwy @ County Rd  
Clarence, New York



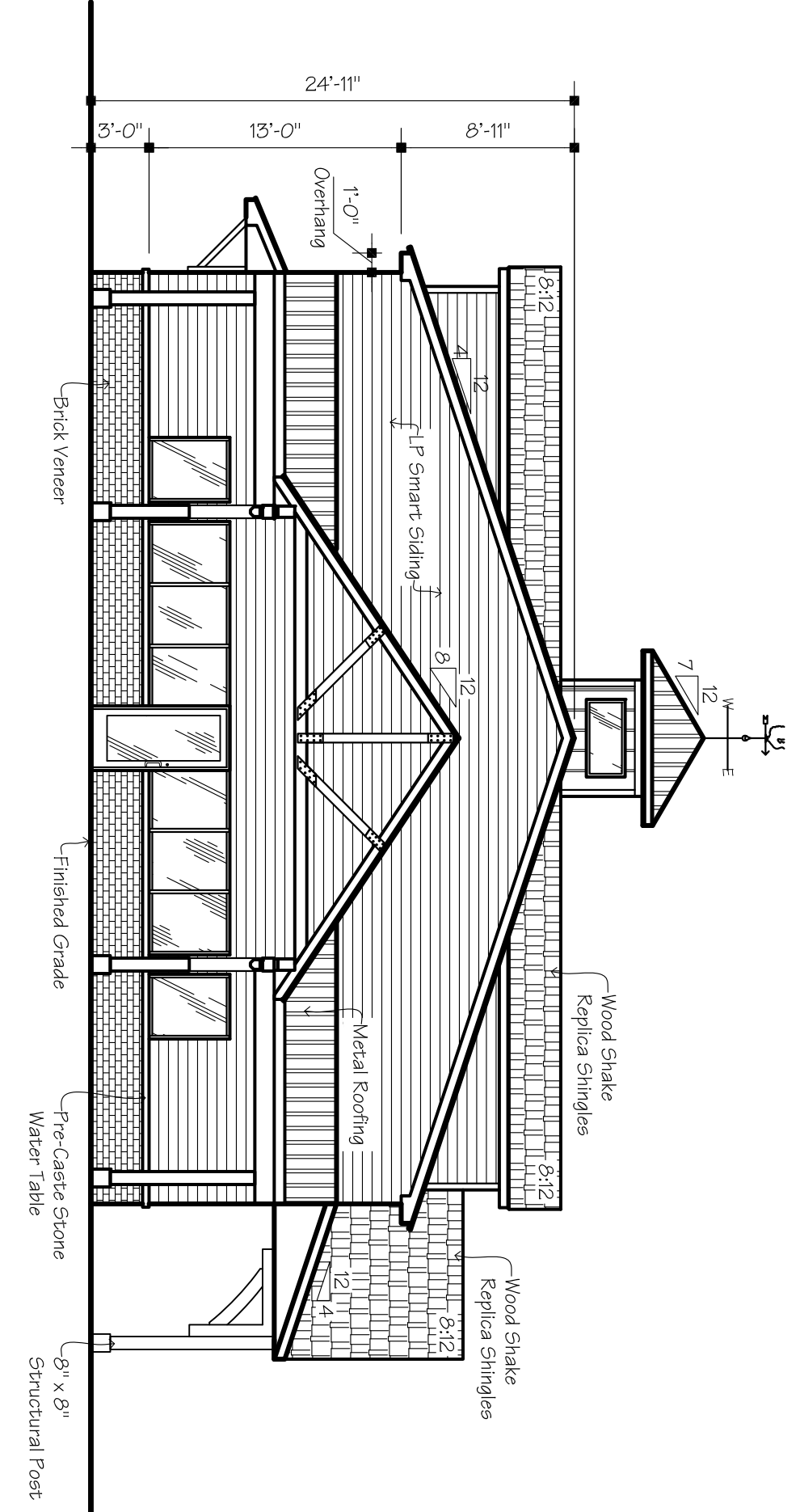
A3.1 Front Elevation

1/8" = 1'-0"



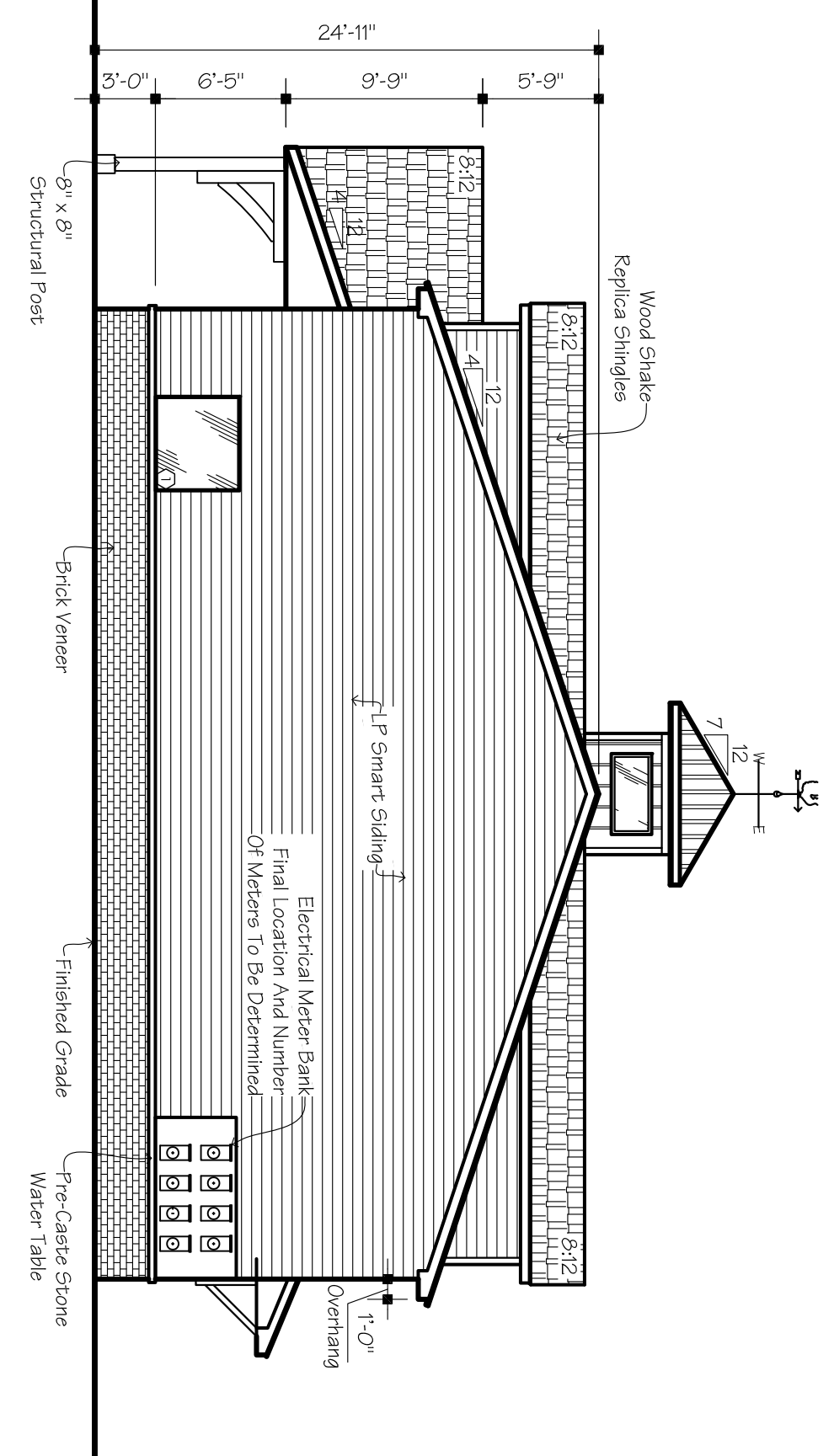
A3.5 Window Details

3/8" = 1'-0"



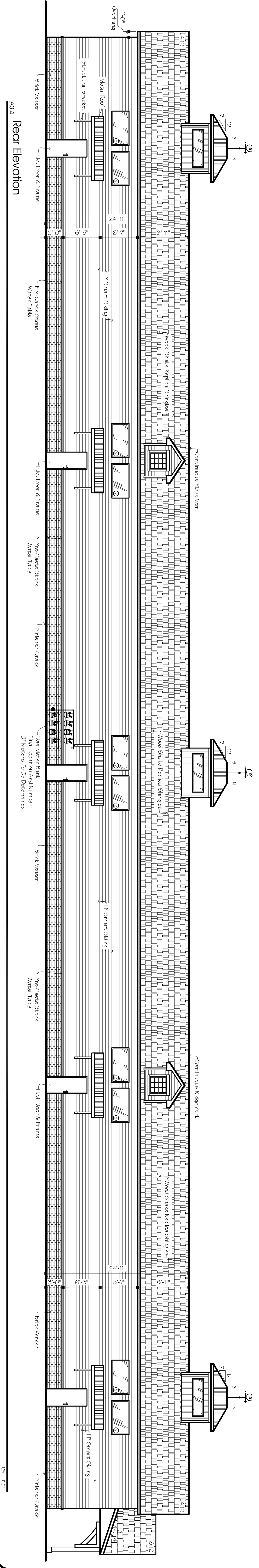
A3.2 Left Elevation

1/8" = 1'-0"



A3.3 Right Elevation

1/8" = 1'-0"



A3.4 Rear Elevation

1/8" = 1'-0"

Proposed Pole Barn For:

# Mattina Development

County Rd  
Clarence, NY 14032

Copyright Sutton Architecture 2023



Job Number:  
**23-216**

Title:  
**Elevations**

Drawn By: J. Pivittera	Sheet No.:
Date: 7-23-2024	<b>A-3</b>
Checked By: D. Sutton	
Scale: As Shown	

No.	Description	Date	By

**WARNING:**  
It is a violation of Article 147, Section 2003 of the New York State Education Law for any documents, unless under the direction of a Licensed Architect.