

RECEIVED

Ari M. Goldberg  
Counsel

AUG 22 2024

August 22, 2024

ZONING OFFICE

**VIA HAND DELIVERY**  
**VIA ELECTRONIC MAIL**

Town of Clarence  
Zoning Board of Appeals  
c/o Andrew Schaefer, Town Planning Department  
1 Town Place  
Clarence, NY 14031  
[ASchaefer@clarence.ny.us](mailto:ASchaefer@clarence.ny.us)

Re: Request for Action – Area Variance Application  
James Ryan Parkway & County Road  
Mattina Development LLC

Dear Chairman Mills and Members of the Zoning Board of Appeals:

Barclay Damon LLP represents Mattina Development, LLC (“Applicant”) with respect to its proposed retail plaza (“Development”) at the southeast corner of County Road and James Ryan Parkway, SBL 44.00-1-55 (“Property”). The Property is zoned I – Industrial where the proposed use is permitted.

The Planning Board conducted a coordinated review pursuant to the State Environmental Quality Review Act (SEQRA) and granted a Negative Declaration at its July 31, 2024 meeting.


The Development requires an area variance because parking is located in the front yard setback along James Ryan Parkway.

Enclosed, please find the following:

1. Request for Action | Area Variance Application Form
2. Site Plan
3. Architectural Elevations
4. Area Variance Analysis
5. Evidence of Neighbor Notification

Mattina | James Ryan Parkway & County – Revised Concept Plan  
August 22, 2024  
Page 2

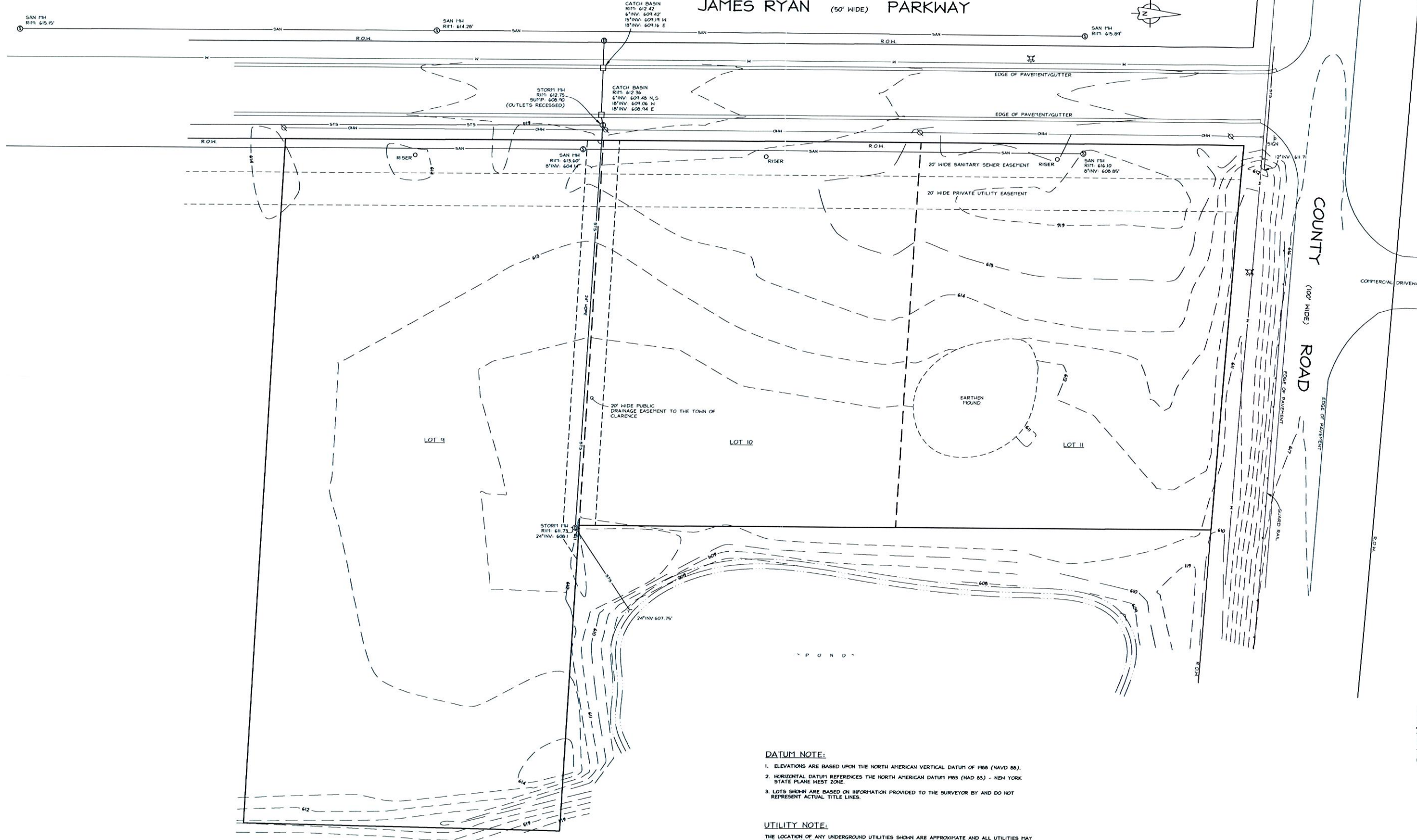
We look forward to discuss this variance request with the Zoning Board at its September 10, 2024 meeting. Please reach out with any questions. Thank you for your consideration.

Very truly yours,  
  
Ari M. Goldberg

AMG:  
Enclosures

cc: Chris Wood, Carmina Wood Design  
Mattina Development, LLC

JAMES RYAN (50' WIDE) PARKWAY



LEGEND

- SANITARY MANHOLE
- CATCH BASIN
- ⊕ HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS MARKER
- ⊕ ELECTRIC MANHOLE

DATUM NOTE:

1. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
2. HORIZONTAL DATUM REFERENCES THE NORTH AMERICAN DATUM 1983 (NAD 83) - NEW YORK STATE PLANE WEST ZONE.
3. LOTS SHOWN ARE BASED ON INFORMATION PROVIDED TO THE SURVEYOR BY AND DO NOT REPRESENT ACTUAL TITLE LINES.

UTILITY NOTE:

THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY CONSTRUCTION ACTIVITIES, ALL UTILITY COMPANIES SHOULD BE NOTIFIED IN ORDER TO VERIFY OR AMEND THEIR LOCATIONS AND/OR EXISTENCE. FOR ASSISTANCE CALL UPPO AT 1-800-462-7962.

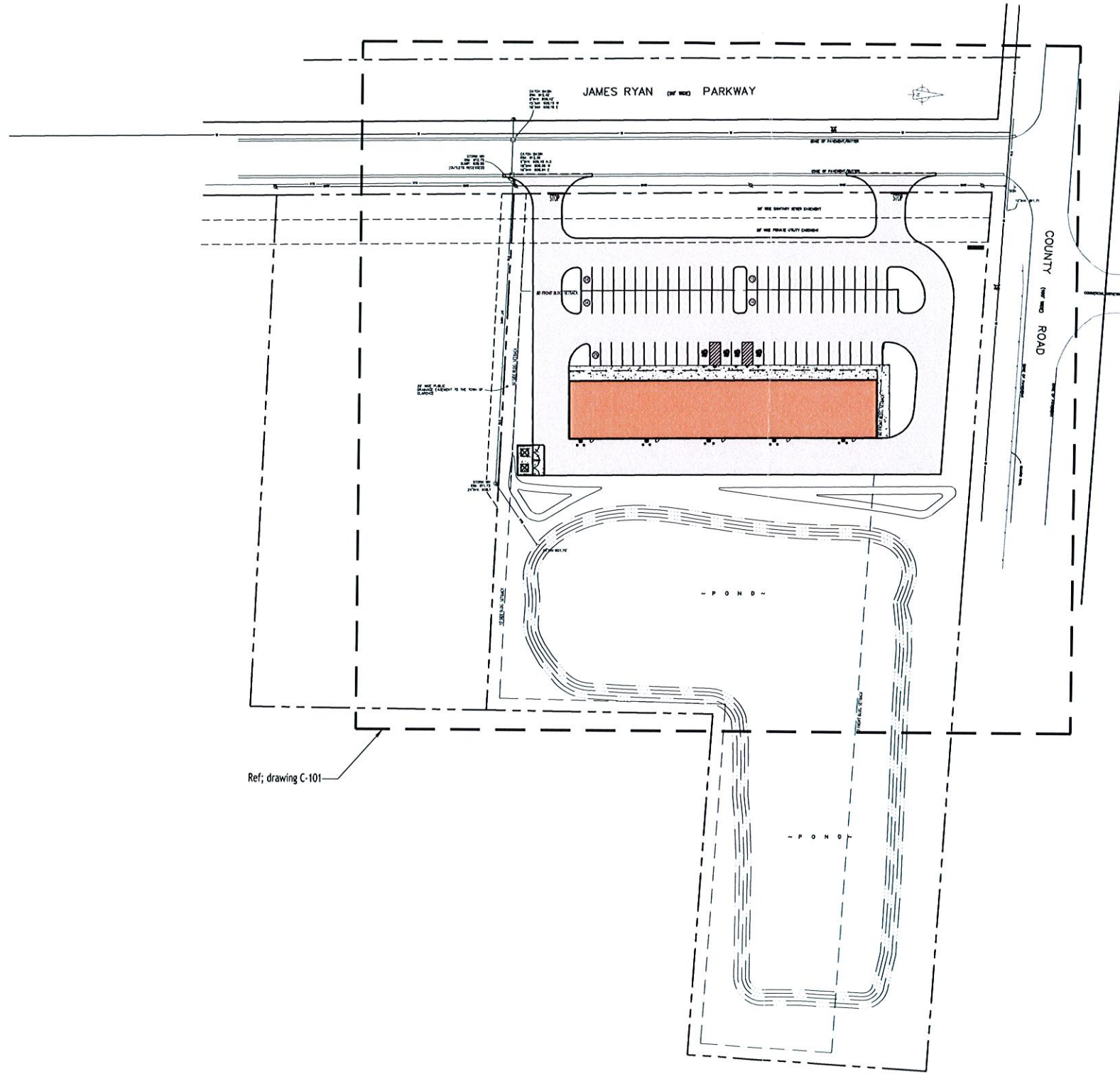


3556 Lake Shore Road, Suite 500, Buffalo, NY 14219  
 p (716) 827-8000 f (716) 270-6091 www.nussclarke.com

**NUSSBAUMER & CLARKE, INC.**  
 ENGINEERS AND SURVEYORS

TOPOGRAPHIC SURVEY  
 LOTS 9, 10 & 11  
 CIMATO FAMILY BUSINESS PARK  
 Town of Clarence  
 County of Erie, State of New York  
 Date of Survey: 08/02/2023 Scale: 1" = 30'

Project No.: 2532-.....



Ref; drawing C-101

**Overall Site Plan**  
 SCALE: 1"=50'  
 (Ref; C-101 & C-102 for site plan and details)

**SITE LEGEND**

PROPERTY LINE	---
PROPOSED CONCRETE CURB	====
PROPOSED SIDEWALK / CONCRETE PAD	--- ---
NUMBER OF PARKING SPACES	27
PROPOSED SIGN	▲
PROPOSED STANDARD DUTY ASPHALT PAVEMENT	□
PROPOSED LIGHT POLE	⊙
PROPOSED WALL MOUNTED LIGHT	⊙

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION, PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

REVISIONS:

No.	Description	Date

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

DRAWING NAME:  
**Overall Site Plan**

Date: 07.08.24  
 Drawn By: C. Wood  
 Scale: As Noted

DRAWING NO.

**C-100**

Project No: 23-4107

**Commercial Development**  
 James Ryan Pkwy @ County Rd  
 Clarence, New York

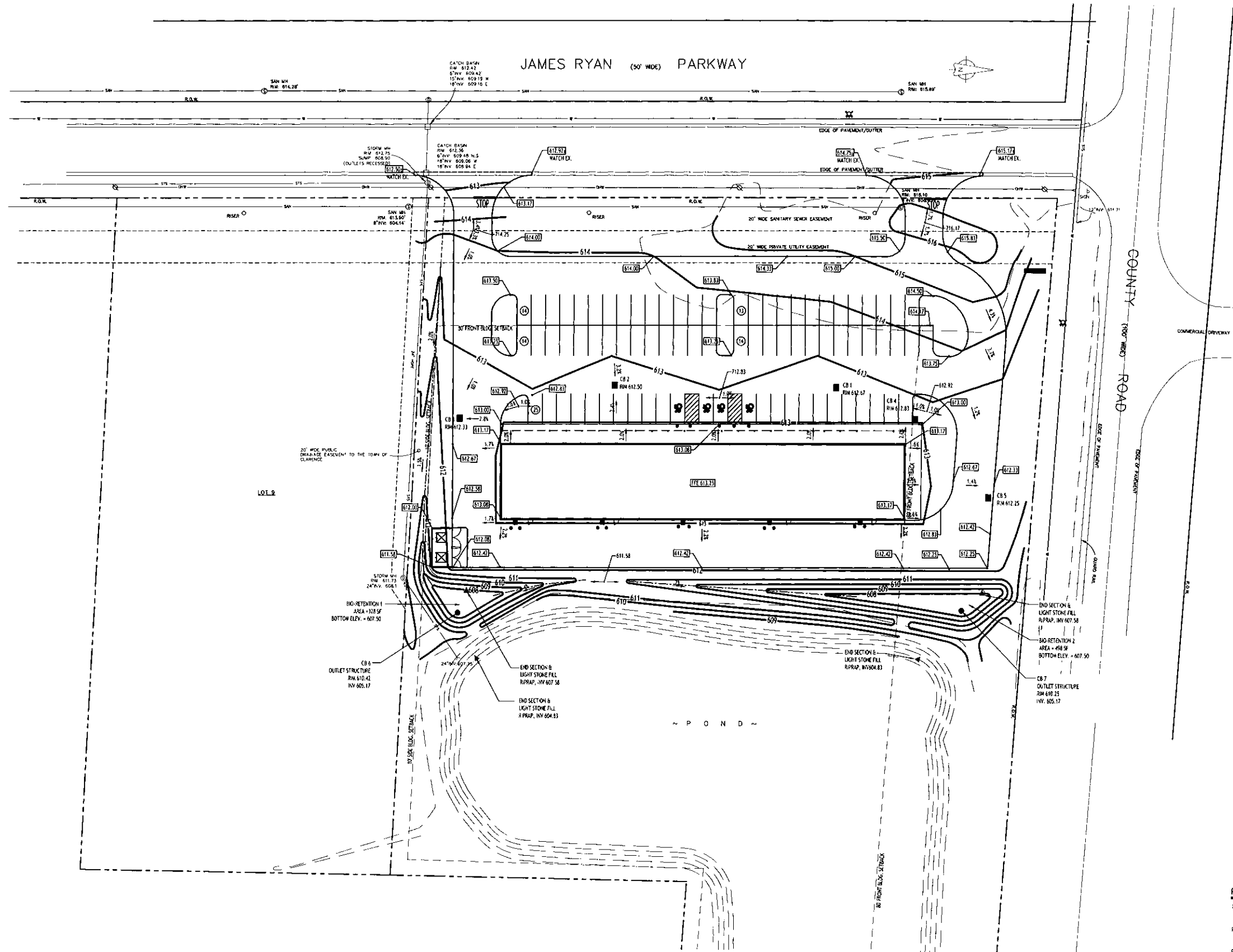
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**Grading Plan**  
SCALE: 1"=30'

**PROPOSED GRADING LEGEND**

PROPOSED CONTOUR	101
PROPOSED SPOT ELEVATION	100.80
PROPOSED TOP/BOTTOM OF CURB ELEV.	TC 100.50 BC 100.00
PROPOSED CATCH BASIN	CB
PAVEMENT/GROUND SLOPE	→
PROPOSED YARD DRAIN	YD
PROPOSED MANHOLE	MH

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**Commercial Development**  
James Ryan Pkwy @ County Rd  
Clarence, New York

REVISIONS:	Date
No. Description	

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
**Grading Plan**

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted  
DRAWING NO.  
**C-200**  
Project No: 23-4107

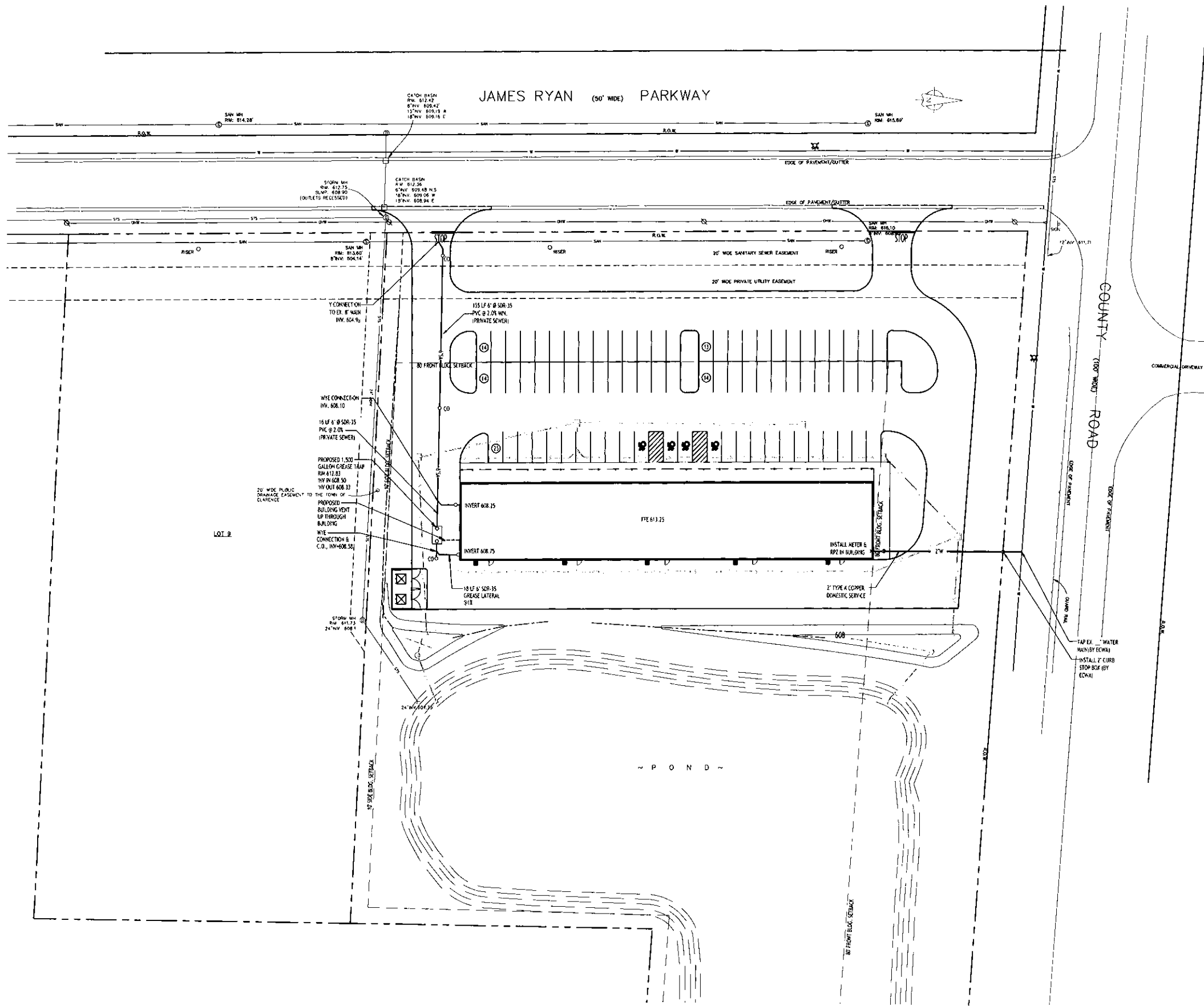






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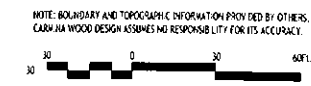
- UTILITY NOTES FOR ALL LAYOUTS:**
- UTILITY CONNECTION LOCATIONS SHOWN ARE SCHEMATIC AND SHALL BE COORDINATED WITH UTILITY PLANS. CONNECTION POINTS MAY VARY. COORDINATE WITH M.E.P. AND ARCHITECTURAL PLANS.
  - SITE UTILITY CONTRACTOR TO INSTALL SANITARY (TO INCLUDE TRAP & VENT) SERVICE TO WITHIN 5 FEET OF BUILDING. PLUMBING CONTRACTOR TO MAKE CONNECTION AND CONTINUE SERVICE INTERIOR TO THE BUILDING.

- UTILITY NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING STORM AND SANITARY LOCATIONS/INVERTS PRIOR TO CONSTRUCTION. INVERTS SHOWN ARE APPROXIMATE AND BASED ON RECORD DRAWINGS PROVIDED BY ERE COUNTY DIVISION OF SEWERAGE MANAGEMENT (ECSM). EXISTING WATER, GAS, ELECTRIC AND SANITARY LINES SHOWN ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION/SIZE (CONDITION BEFORE CONSTRUCTION).
  - SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH PAVEMENT AREAS.
  - IF NECESSARY, PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
  - A MINIMUM OF 10 FEET HORIZONTAL AND 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWER AND WATER SERVICES.
  - ERE COUNTY WATER AUTHORITY (ECWA) IS TO BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO STARTING THE CONNECTION FOR THE NEW WATER SERVICE.
  - ALL SANITARY SEWER CONSTRUCTION SHALL ADHERE TO ECSM SPECIFICATIONS AND DETAILS, AND ERE COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
  - ALL OTHER REQUIRED PERMITS BY THE STATE OF NEW YORK, ERE COUNTY, OR TOWN OF WEST SENECA ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONSTRUCTION IS TO CONFORM TO ECSM RULES AND REGULATIONS.
  - ECSM REQUIRES PROPER TESTING (DEFLECTION, HYDROSTATIC & AIR) BEFORE ACTIVATION OF THE 8" SEWER.
  - THE ERE COUNTY WATER AUTHORITY (ECWA) IS TO BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO STARTING THE CONNECTION FOR THE NEW WATER SERVICE.
  - FOR LIGHTING ELECTRICAL POINTS, SITE CONTRACTOR IS RESPONSIBLE FOR EXCAVATION AND BACKFILL. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR LAYING CONDUIT.

**PROPOSED UTILITY LEGEND**

PROPOSED STORM SEWER	— ST —
PROPOSED SANITARY SEWER	— 6"SA —
PROPOSED WATERLINE	— 1" W —
PROPOSED GAS (G), ELECTRIC (E), CABLE (C), & TELEPHONE (T)	— L —
PROPOSED CATCH BASIN	■ CB
PROPOSED YARD DRAIN	● YD
PROPOSED MANHOLE	● MH
PROPOSED HYDRANT ASSEMBLY	● HA
PROPOSED GATE VALVE	⊕ GV

NOTE: FOR PROPOSED VALVE BOXES, CLEANOUTS, ETC., INSTALL A 3000 PSI CONCRETE COLLAR AROUND THE ITEM AT GRADE. THE COLLAR SHALL BE A MIN. OF 6" THICK ON ALL SIDES, THINER THAN THE BOX, CLEANOUT, ETC. THE COLLAR SHALL BE A MIN. OF 6" THICK.



**Utility Plan**  
SCALE: 1"=30'

**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

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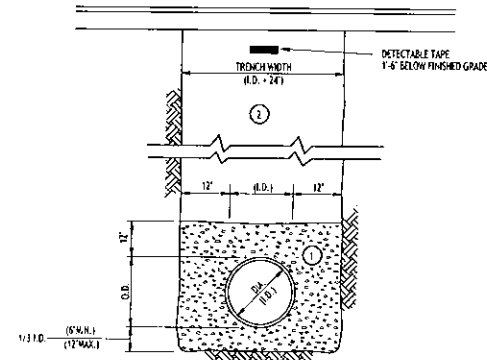
DRAWING NAME:  
**Utility Plan**

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.:

**C-400**

Project No: 23-4107



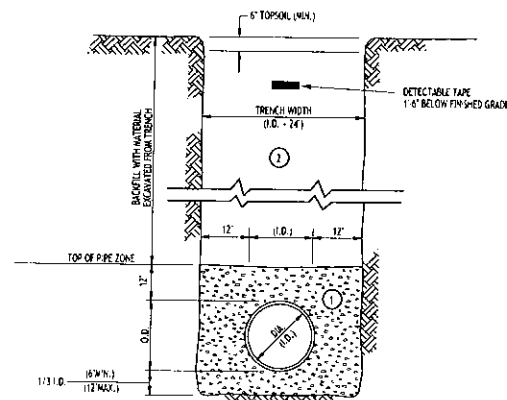
- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

**MATERIALS**

- PIPE BEDDING MATERIAL (MYSOOT 1985 EDITION)
- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH MYSOOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - NO SLAG SHALL BE ALLOWED FOR MATERIAL.
  - TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH MYSOOT SECTION 904-2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
  - NO SLAG SHALL BE ALLOWED FOR MATERIAL.

**SEWER/WATERLINE TRENCH SECTION IN PAVED AREAS**

NOT TO SCALE



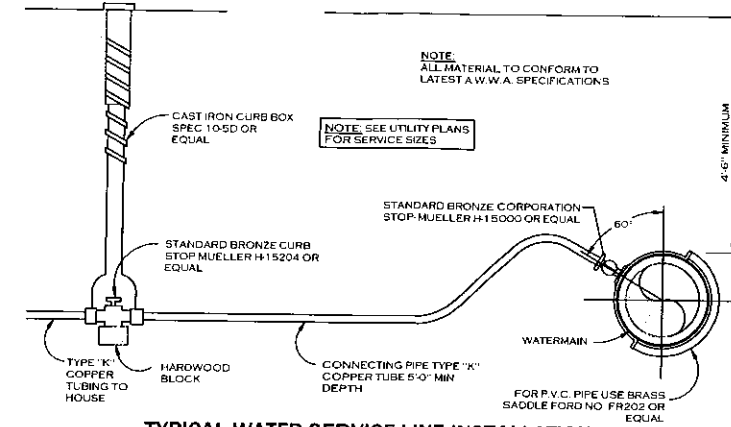
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  - NO SLAG SHALL BE ALLOWED FOR MATERIAL.
  - BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL. COMPACTED IN 6" LIFTS.

**SEWER/WATERLINE TRENCH SECTION IN UNPAVED AREAS**

NOT TO SCALE



**TYPICAL WATER SERVICE LINE INSTALLATION**

NOTE: ALL MATERIAL TO CONFORM TO LATEST A.W.W.A. SPECIFICATIONS.

NOTE: SEE UTILITY PLANS FOR SERVICE SIZES.

FOR P.V.C. PIPE USE BRASS SADDLE FOR NO. FR202 OR EQUAL.

4'-0" MINIMUM

60"

STANDARD BRONZE CORPORATION STOP MUELLER H-15204 OR EQUAL

WATERMAIN

CONNECTING PIPE TYPE "K" COPPER TUBE 5'-0" MIN DEPTH

HARDWOOD BLOCK

TYPE "K" COPPER TUBING TO HOUSE

CAST IRON CURB BOX SPEC 10-50 OR EQUAL

STANDARD BRONZE CURB STOP MUELLER H-15204 OR EQUAL

NOTE: SEE UTILITY PLANS FOR SERVICE SIZES.

NOTE: ALL MATERIAL TO CONFORM TO LATEST A.W.W.A. SPECIFICATIONS.

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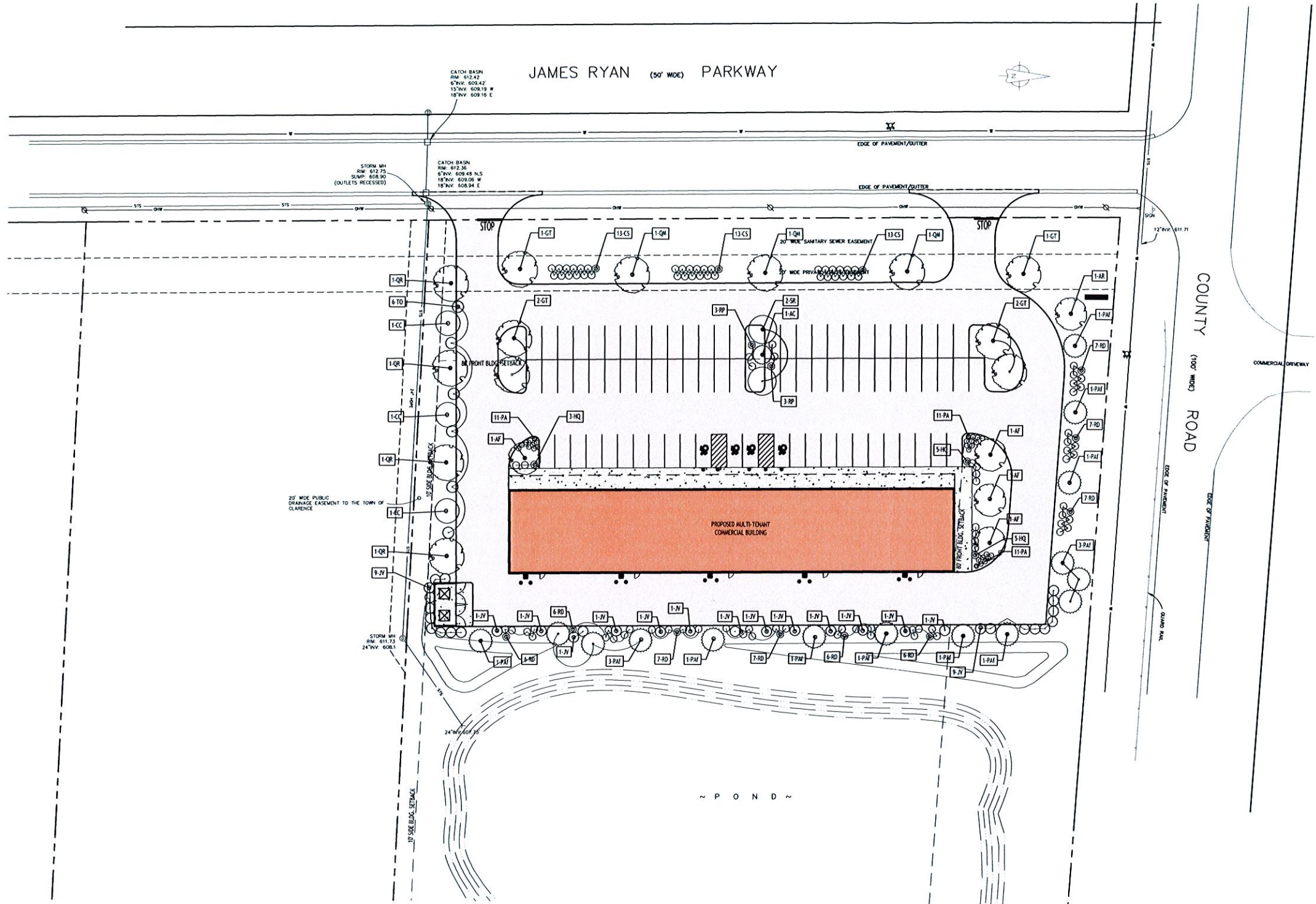
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4'-0" MINIMUM

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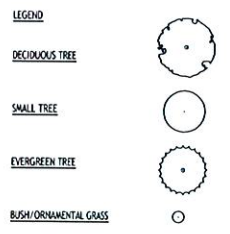
**Landscape Plan**  
SCALE: 1"=30'

PLANTING SCHEDULE - 5226 & 5228 MAINSTREET -AMHERST - NEW YORK

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
AF	3	ACER FRIEDRIANI "HYFERSRED"	AUTUMN BLAZE MAPLE	2 1/2" - 3" CAL.	B&B
QR	4	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" - 3" CAL.	B&B
GT	6	GLEDITSIA TRACANTHOS INERMIS "SKYCOLE"	SKYLINE THORNLESS HONEYLOCUST	2 1/2" - 3" CAL.	MIN. HT. OF 45' & 45' WIDE
QM	3	QUERCUS MACROCARPA	BUR OAK	2 1/2" - 3" CAL.	MIN. HT. OF 45' & 45' WIDE
AR	1	ACER RUBRUM	RED MAPLE	2 1/2" - 3" CAL.	MIN. HT. OF 45' & 45' WIDE
<b>SMALL/ORNAMENTAL TREES</b>					
SR	2	SYRINGA RETICULATA	JAPANESE TREE LILAC	7' - 8' HT.	B&B
CC	3	CERIS CANADENSIS	EASTERN REDBUD	7' - 8' HT.	B&B
<b>EVERGREEN TREES</b>					
PM	7	PICEA ABIES "Cupressiform"	COLUMNAR NORWAY SPRUCE	5' - 6" MIN. HT.	B&B, FULL TO GROUND
TO	6	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	5' - 6" MIN. HT.	B&B, FULL TO GROUND
AC	1	ABIES CONCOLOR	CONCOLOR FIR	5' - 6" MIN. HT.	B&B, FULL TO GROUND
JV	19	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5' - 6" MIN. HT.	B&B, FULL TO GROUND
<b>SHRUBS</b>					
HQ	9	HYDRANGEA QUERIFOLIA	OAKLEAF HYDRANGEA	32" HIGH MIN.	NO. 3 CONT.
RP	6	RHODODENDRON x "PJM"	P.J.M. RHODODENDRON	24" HIGH MIN.	NO. 3 CONT.
SD	21	CORNUS ALBA "SIBERICA"	SIBERIAN DOGWOOD	32" HIGH MIN.	NO. 3 CONT.
CS	39	CORNUS SERICEA	REDOSIER DOGWOOD	32" HIGH MIN.	NO. 3 CONT.

- NOTES:**
- ALL PLANTING BEDS & TREE PITS SHALL RECEIVE A MIN. 3-INCH DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE CALLED OUT ON PLANS.
  - ALL PLANT MATERIALS SHALL BE INSPECTED TWICE ANNUALLY, ONCE IN THE SPRING AND AGAIN IN THE FALL. TREES & SHRUBS THAT ARE DEAD OR ARE IN POOR CONDITION/DISEASED (LESS THAN 50% LEAF COVER) SHALL BE REPLACED BEFORE THE NEXT GROWING SEASON. TREES AND SHRUBS THAT DO NOT EXHIBIT THE CONDITIONS FOR REPLACEMENT SHALL BE PRUNED AT THE TIME OF INSPECTION TO REMOVE DEAD TWIGS & BRANCHES.
  - ALL NURSERY TAGS TO REMAIN ON PLANTS UNTIL AFTER FINAL INSPECTION AND APPROVAL OF THE LANDSCAPING.
  - A DRIP IRRIGATION SYSTEM IS RECOMMENDED FOR ALL PLANTINGS. SOAKER HOSES ARE RECOMMENDED AT THE TIME OF INSTALLATION OF ALL PLANT MATERIALS AND SHOULD BE UTILIZED THROUGHOUT THE ENTIRE LENGTH OF THE FIRST FULL GROWING SEASON.
- \*ORNAMENTAL GRASSES SHOULD BE PRUNED BACK IN LATE FALL OR EARLY SPRING TO ALLOW NEW FOLIAGE TO GROW IN SPRING.

- PLANTING NOTES:**
- ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE (3) FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL.
  - ALL TREE PIT SAUKERS, SHRUB BEDS, ORNAMENTAL GRASS BEDS, AND PERENNIAL FLOWER BEDS SHALL RECEIVE THREE (3) INCHES DEPTH OF DARK SHREDDED HARDWOOD BARK MULCH.
  - ALL SEASONAL FLOWER BEDS SHALL BE A MINIMUM OF TWELVE (12) INCHES DEEP WITH A WELL-BLENDED MIXTURE OF 50% PEAT MOSS & 50% SCREENED TOPSOIL. NO MULCH SHALL BE INSTALLED IN THE SEASONAL FLOWER BEDS.
  - ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED WITH THREE (3) TREE STAKES AS PER TREE PLANTING DETAIL.



**CARMINA WOOD**  
DESIGN  
Buffalo | Utica | Greensboro

**Commercial Development**  
James Ryan Pkwy @ County Rd  
Clarence, New York

REVISIONS:

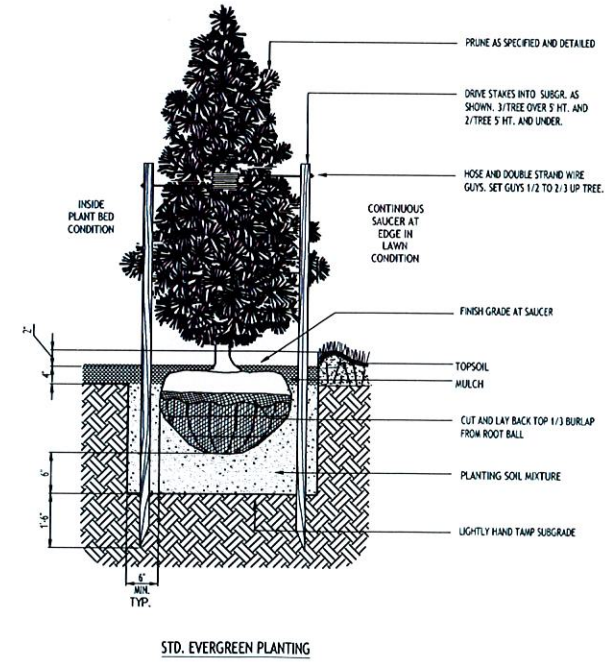
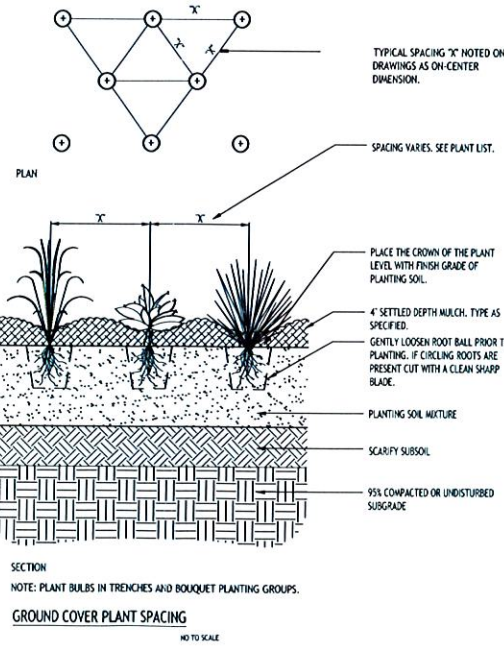
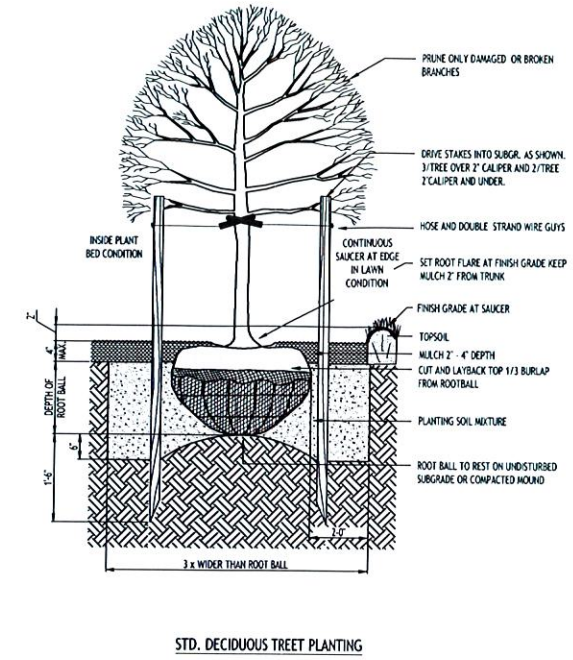
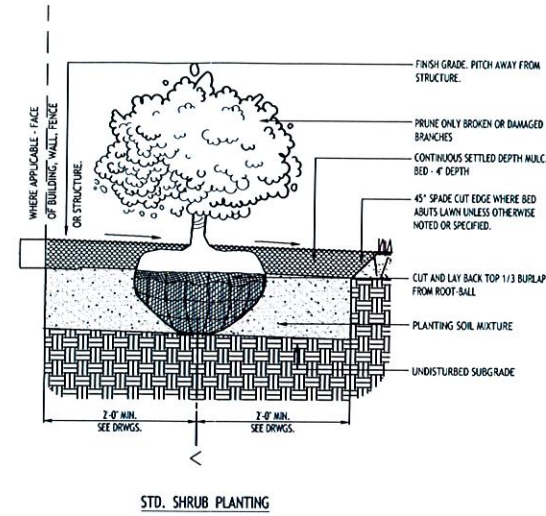
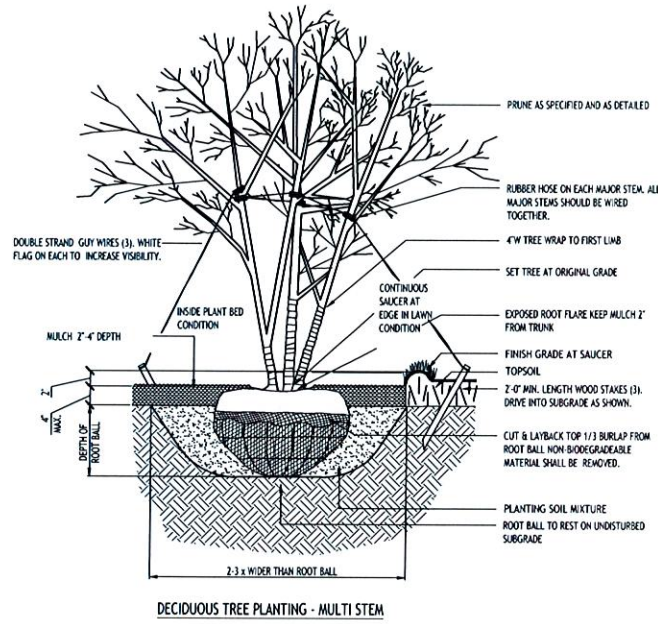
No.	Description	Date

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAWING NAME:  
Site Landscape  
Concept

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

DRAWING NO.  
**L-100**  
Project No: 23-4107



LANDSCAPE NOTES:

1. ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
3. THE CONTRACTOR SHALL PERFORM A ROUGH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNERS FIELD REPRESENTATIVE PRIOR TO ACTUAL INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY, ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
4. THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY, CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
5. ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
6. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART ORGANIC.
7. STAKE TREES IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PLANTED AREAS SHALL RECEIVE A 3\"/>

10. THE AREAS ON THE PLAN TO BE SEEDED SHALL HAVE 4\"/>
- 11. ALL SEEDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING, SOO MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.

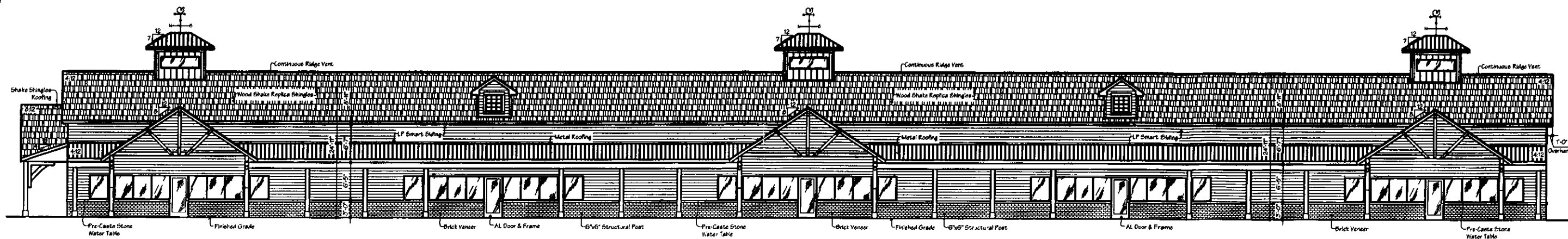
REVISIONS:	No.	Description	Date

PRELIMINARY  
NOT FOR CONSTRUCTION

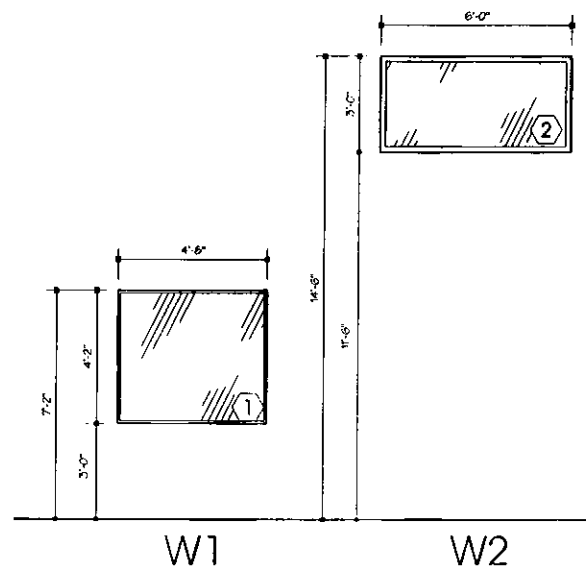
DRAWING NAME:  
Site Landscape  
Concept

Date: 07.08.24  
Drawn By: C. Wood  
Scale: As Noted

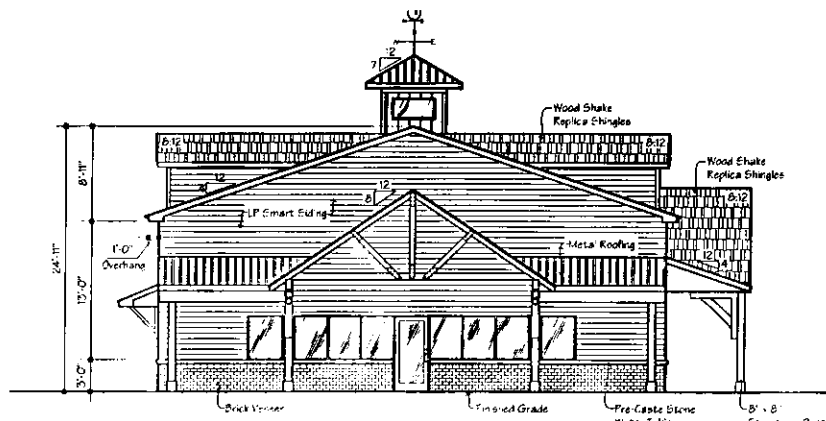
DRAWING NO.  
L-101  
Project No: 23-4107



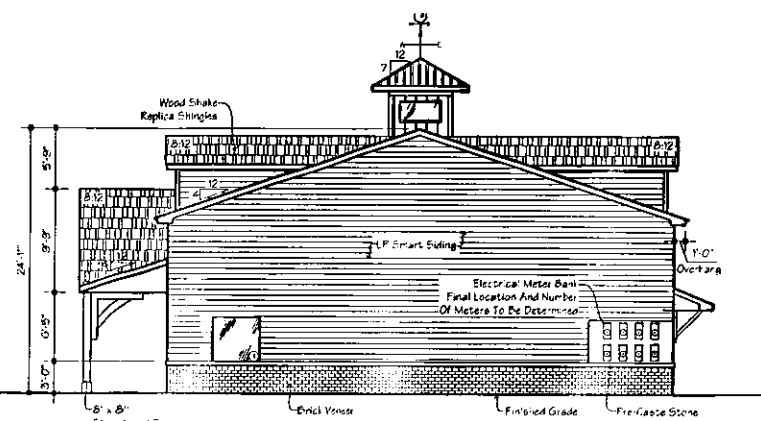
A3.1 Front Elevation



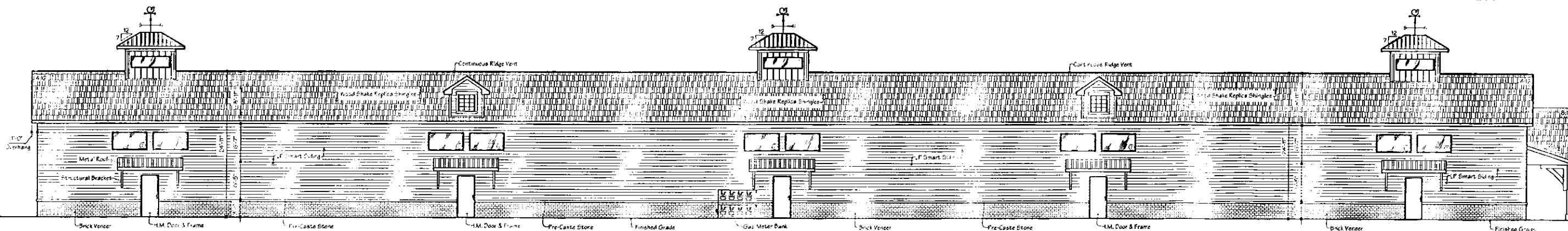
A3.5 Window Details



A3.2 Left Elevation



A3.3 Right Elevation



A3.4 Rear Elevation

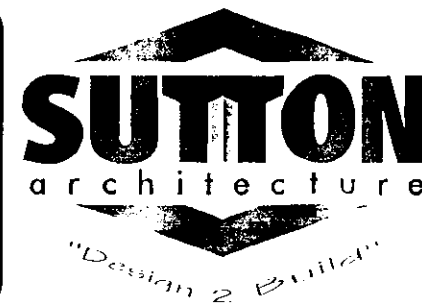
No.	Description	Scale	Date

WARNING:  
This drawing is the property of Sutton Architecture. It is to be used only for the project and site specifically identified herein. Any other use without the written consent of Sutton Architecture is strictly prohibited.

Proposed Pole Barn For  
 ■ ■ ■  
**Mattina Development**

County Rd  
 Clarence, NY 14032

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Job Number:  
**23-216**

Title:  
 Elevations

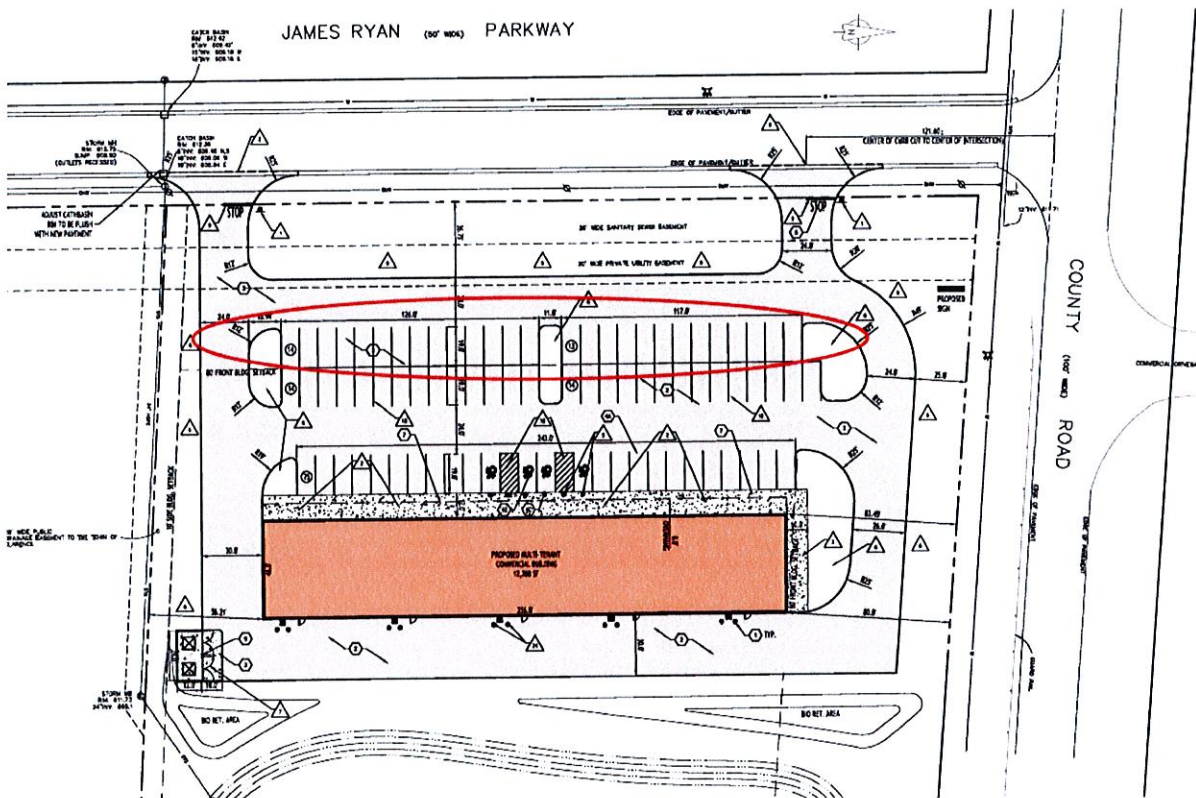
Drawn By:  
 J. Privitera  
 Date:  
 7-23-2024  
 Checked By:  
 D. Sutton  
 Date:  
 As Shown

**A-3**

## Area Variance Analysis County Road and James Ryan Parkway

Mattina Development, LLC (“Applicant”), proposes construction of a 12,288 SF multi-tenant retail building and plaza at the northeast corner of County Road and James Ryan Parkway, SBL 44.00-1-55, sublots 10, 11 and the stormwater Retention subplot (“Property”). The Property is zoned Industrial, and the Development is a permitted use.

To accommodate the necessary parking, Applicant must place parking in the 80’ front yard building setback along James Ryan Parkway, which requires a variance under Town Zoning Code § 229-103.B. *See also* Town Zoning Code § 229-102.E (requiring 80’ front setback). In the image below, the parking area relevant to the variance is circled in red.



As detailed in the following analysis, the benefits of granting the variance outweighs detriments to health, safety, and welfare of the neighborhood or community.

### **Variance Standard**

As this Zoning Board of Appeals (“ZBA”) is aware, the standard for reviewing area variance requests is set forth in New York State Town Law § 267-b(3)(b). In making its determination, the ZBA shall consider the benefit to the Applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination the board shall also consider:

**(1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.**

Authorizing the proposed the parking location will not produce an undesirable change in the character of the neighborhood or detriment nearby properties. The front setback variance, if granted, will allow the required number of parking spaces to service the retail plaza. It is essential that enough parking be accommodated on-site as there are no alternative means to park on the Property or in this area. Further, the parking area remains 60' from Property line parallel to James Ryan Parkway and otherwise compliant with the 80' setback requirement parallel to County. James Ryan Parkway is internal to other lots in the industrial park, which minimizes the impact of parking spaces being just 20' closer than required.

**(2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.**

The benefit sought by the Applicant cannot be achieved by any other method, feasible for the Applicant to pursue. Strict compliance with the established setbacks would result in a loss of 17 parking spaces and significant site redesign. Applicant would likely need a variance for total parking spaces. It is essential that enough parking be accommodated on-site as there are no alternative means to park on the Property or in this area. Similarly, shifting the parking away from James Ryan Parkway to meet setbacks, would undermine the navigability and flow of traffic in the rear of the building.

**(3) whether the requested area variance is substantial.**

As the ZBA is aware, the law in New York is clear that a pure mathematical formula cannot be the basis of a determination of whether a variance should be considered substantial. The ZBA must consider the magnitude of the requested variance in light of its impact. Merely because a variance may seem noteworthy on paper does not mean that any "harm" would be generated on the surrounding community, and it is "harm" that is balanced against the interest of the Applicant according to the Town Law § 267-b(3) test. Here, the requested variances are not substantial. The variance facilitates appropriate parking on the Property with minimal intrusion to the community as the abbreviated parking setback fronts the roadway that services the industrial park. Accordingly, the variance is not substantial.

**(4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.**

The requested variance will not adversely affect the environment. The requested variance will not impact drainage, flooding, and runoff or any other topographical changes such as grading, trees, and vegetation. The Planning Board conducted a coordinated review pursuant to the State Environmental Quality Review Act (SEQRA) and granted a Negative Declaration at its July 31, 2024 meeting.



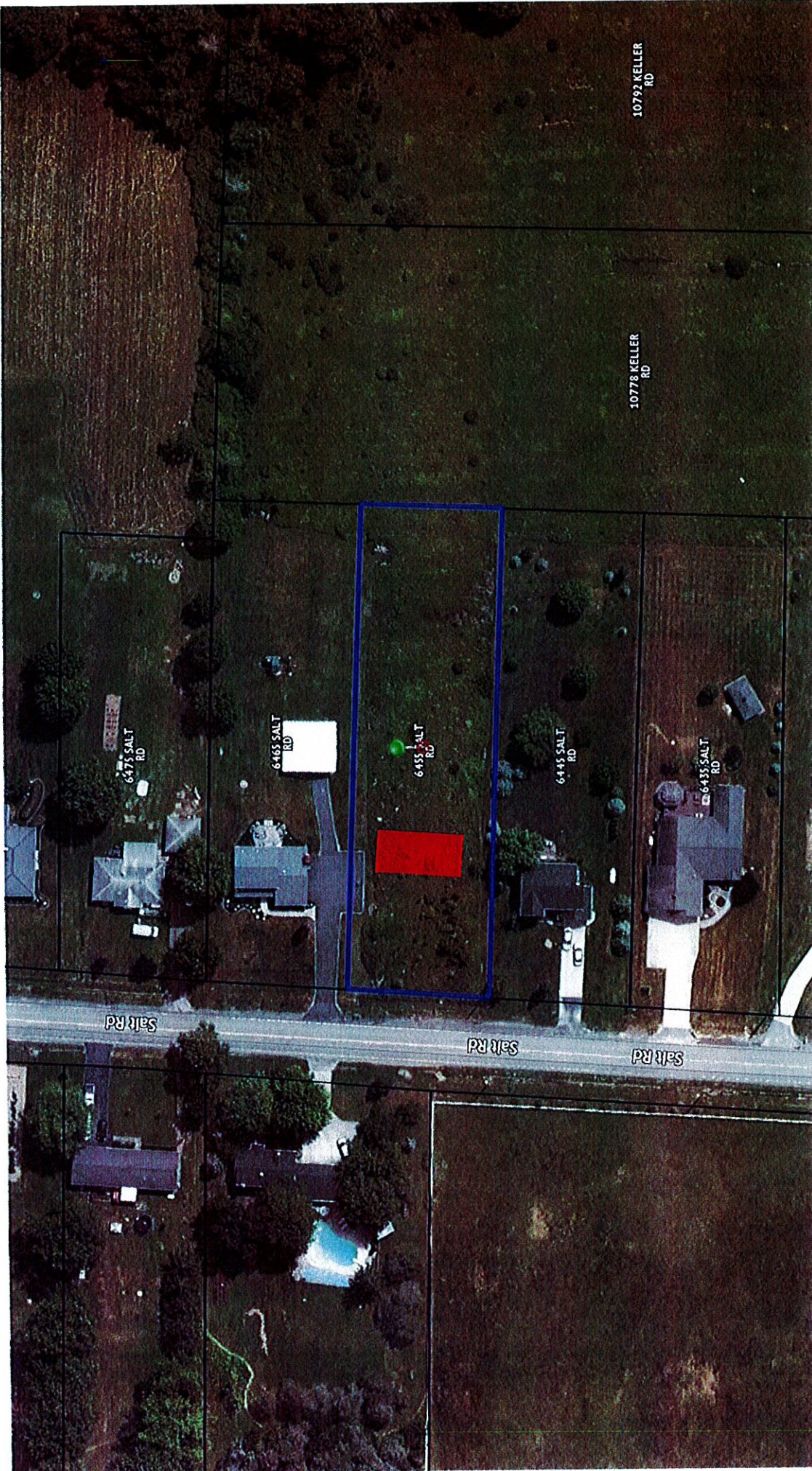
**(5) whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.**

The alleged difficulty of strict compliance is not self-created. If, however, the ZBA should determine that the alleged difficulties are self-created, Town Law § 267-b(3)(b) provides that such a determination does not preclude the granting of the requested variance but is merely a factor to consider.

**Balancing.**

As indicated above, the ZBA must take into consideration the benefit to the Applicant if the variances are granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. Here, the benefit to the Applicant is substantial. Granting the requested variance authorizes Applicant to proceed with the Development with sufficient quantity of parking in a manner that is not obtrusive to the area. On the other hand, any detriment to the health, safety and welfare of the neighborhood or community is *de minimis*. With substantial benefit to the Applicant if the variances are granted and no identified detriment to the health safety and welfare of the community by such a grant, it is respectfully requested the proposed variances be approved.





\*\*\*note the parcel lines displayed are approximate\*\*\*

## 6455 Salt Road



Proposed 11' principal structure side yard setback.

The minimum required side yard setback is 15' for the principal structure.

A 4' variance is requested.



# Request for Action

Town of Clarence | Office of Planning & Zoning  
(716)741-8933 | 1 Town Place, Clarence, NY 14031

**Town Use Only**

Date: 8/13/2024

Received By: [Signature]

APPLICANT REQUEST:

Project Address: 6455 Salt Road - Clarence, NY 14031

SBL #:

### Action Desired:

Lot address is in Zoning District A-RR - Agricultural Rural Residential. Owners seek an area variance to permit a side setback of +/- 11'-0'.  
Town of Clarence Zoning Code, Section 229-41-B requires 15'-0" side setback.

### Reason:

1. House as designed requires a front-load garage to align house and garage roof lines and allow indoor access to garage attic from house second floor.
2. Side-load garage design would place garage entirely or partially behind the house, and require added room for driveway and turning radius and backing room pavement at left side of the lot.
3. Side-load garage design would also add to the project cost due to added complexity of house and garage roof construction intersecting main house roof at a right angle.

CONTACT INFO:

### APPLICANT INFO

Name / Business: Michele Buccinna

E-Mail:

Phone #:

Address:

Town:

### SIGNATURE

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

Signed:

### PROJECT SPONSOR INFO (if Different Than Applicant)

Name / Business:

E-Mail:

Phone #:

Address:

Town:

State:

Zip:

### CORRESPONDENCE

Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.

<input checked="" type="checkbox"/>	Applicant
<input type="checkbox"/>	Project Sponsor

Town Use Only:

Action: \_\_\_\_\_ By: \_\_\_\_\_ On: \_\_\_\_\_ Fee: \$500 Paid: \_\_\_\_\_

Action: \_\_\_\_\_ By: \_\_\_\_\_ On: \_\_\_\_\_ Fee: \_\_\_\_\_ Paid: \_\_\_\_\_

Action: \_\_\_\_\_ By: \_\_\_\_\_ On: \_\_\_\_\_ Fee: \_\_\_\_\_ Paid: \_\_\_\_\_

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## **BUCCINA: Area Variance Criteria and Responses**

**6455 Salt Road – Clarence, NY 14031**

### **Area Variance - CRITERIA**

An area variance shall mean the authorization by the Zoning Board of Appeals for the use of land in a manner which is not allowed by the dimensional or physical requirements of the applicable zoning regulations.

In making its determination, the Zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood community by such grant. In making such determination the Board shall also consider:

- 1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;*
- 2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;*
- 3. Whether the requested area variance is substantial;*
- 4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and*
- 5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.*

### **BUCCINNA RESPONSES:**

**1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;**

RESPONSE: NO

1. The variance request will allow for the construction of a single-family house in character with the existing nearby houses.
2. The existing house adjacent to the left side property line where the variance is requested has its garage along the common property line. The proposed construction would result in two garages adjacent to each other on either side of the property line, thus providing separation between the main interior and exterior living areas of each property.

**2. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;**

RESPONSE: NO

1. The proposed design of the house and garage aligns the two roof to provide for construction efficiency, and for access to the garage attic from the house second floor for convenience and security.
2. In order to comply with the required 15'-0" side setback, the garage would have to be moved partially or entirely behind the house to create a side-loaded garage. This would require added driveway pavement for entering turning radius and for backing out to exit the garage.
3. The rear placement of the garage would also require added complexity and cost in roof structural design and construction for the house and garage as they intersect at a right angle

**3. Whether the requested area variance is substantial;**

RESPONSE: NO

1. The variance request is for +/-4'-0".
2. Since the adjacent property also has its garage near the shared boundary line, the variance request would not result in an encroachment of the main living and activity areas of the two properties.

**BUCCINA: Area Variance Criteria and Responses (continued)**

**4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and**

RESPONSE: NO

1. The resulting construction would be opposite the existing neighboring garage, and would not have a negative effect on the neighbor's use of their property.
2. The resulting construction is consistent with the character of the existing houses and properties in the neighborhood.

**5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.**

RESPONSE: NO

1. The lot in question was platted long before the current zoning setbacks were adopted for minimum lot widths of 150'-0" (Section 229-40-A).
2. The owners seek permission to make use of and derive maximum use of their property with the construction of a single-family house which is well within the context of other neighboring existing properties.

**Address of Property**

6455 Salt Road  
Clarence, NY 14031

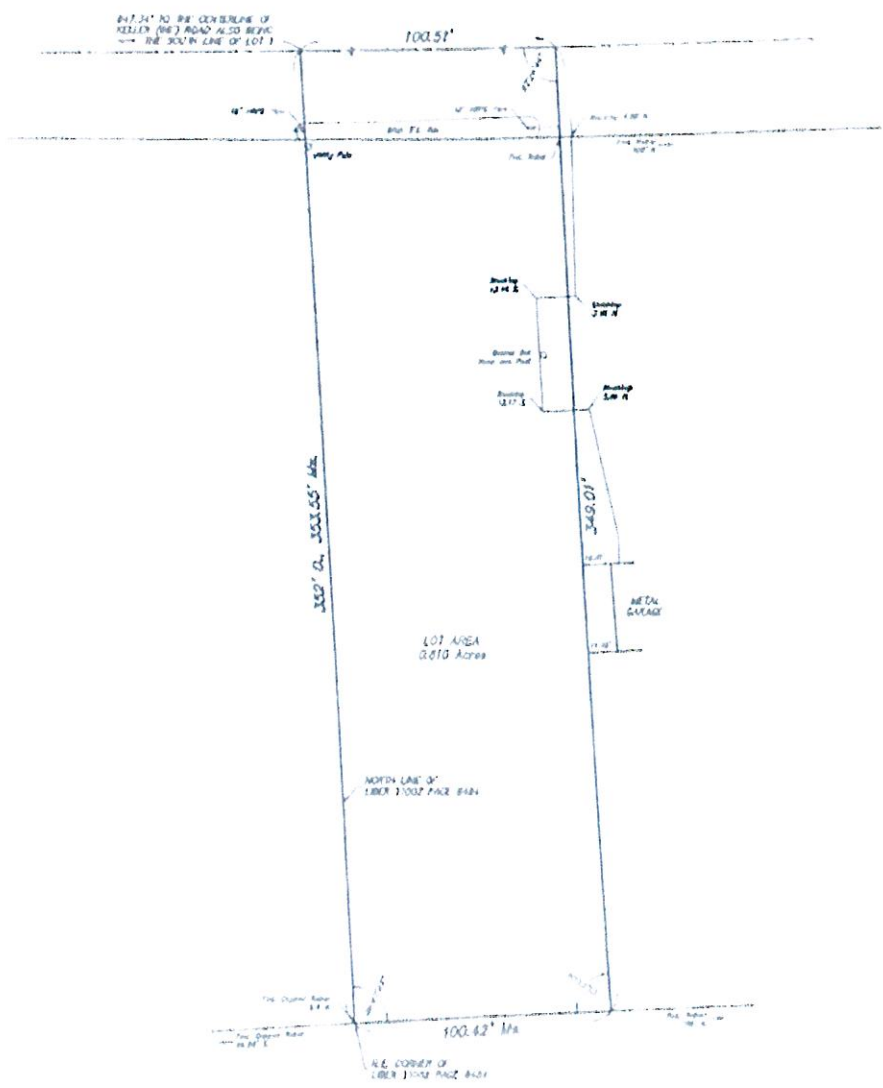
**Owner / Applicant:** \_\_\_\_\_

**Signature** \_\_\_\_\_

**Date** \_\_\_\_\_



# SALT (66' WIDE) ROAD



## LEGEND

- |                              |                    |
|------------------------------|--------------------|
| —●— WATER SERVICE PIPE       | —●— ROAD OF 66'    |
| —B— WATER LINE 18" W.D.      | —CONC— CONCRETE    |
| —X— FIRE HYDRANT             | —R— ROBERT         |
| —O— OIL (DRIP PAINT - STONE) | —SIA— MANHOLE      |
| —O— MANHOLE (STONE)          | —GAS— GAS LINE     |
| —O— MANHOLE (ELECTRIC)       | —W— WATER LINE     |
| —O— MANHOLE (SEWER)          | —E— TELEPHONE LINE |
| —O— MANHOLE (TELEPHONE)      | —U— UTILITY LINES  |
| —O— CASHE BARBER             | —D— DIRT           |
| —R— GAS LINE 1/2" W.D.       | —M— MEASURED       |
| —S— LIGHT STANDARD           | —L— L.B.P.         |
| —S— SIGN                     | —P— PAINT          |
| —C— CURB/RAVINE              |                    |

HEREBY, I, JAMES H. MILLARD, LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY RECORD AS FILED IN MY OFFICE ON THE DATE INDICATED THEREON.

*James H. Millard*  
 JAMES H. MILLARD  
 SURVEYOR

COPYRIGHT 2022, BY  
**Millard, Mackay & DeJes**  
 LAND SURVEYORS, LLP  
 100 WEST 10TH  
 BUFFALO, NEW YORK 14202  
 PHONE (716) 831-3500 • FAX (716) 831-3501

AMENDS:  
 SURVEY DATE: 10-13-17  
 OSHA 8803 DATE: 10-23-20  
 SCALE: 1" = 30'  
 ALL RIGHTS RESERVED

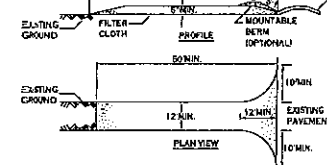
PART OF LOT 1, SECTION 4, TOWNSHIP 22, RANGE 11, OF THE  
 COLUMBIAN AND WASHINGTON SURVEY, 1832, COUNTY OF  
 SURVEY OF 8455 SALT ROAD, TOWN OF OQUINIA

1501 N. KESLER - 1 - 5517





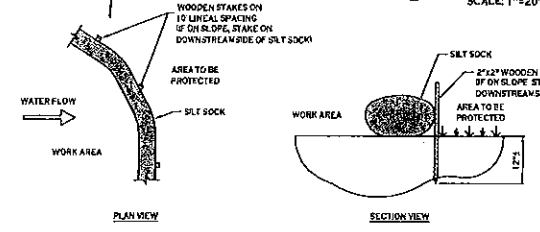
Aspen Engineering PLLC NOTE: unauthorized alteration or addition to this drawing is a violation of section 7209, provision 2 of the New York State education law. ALL RIGHTS RESERVED



**CONSTRUCTION SPECIFICATIONS**

1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT ADVANCEMENT LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS TWENTYFOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 1:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, CROPPED, TRACKED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



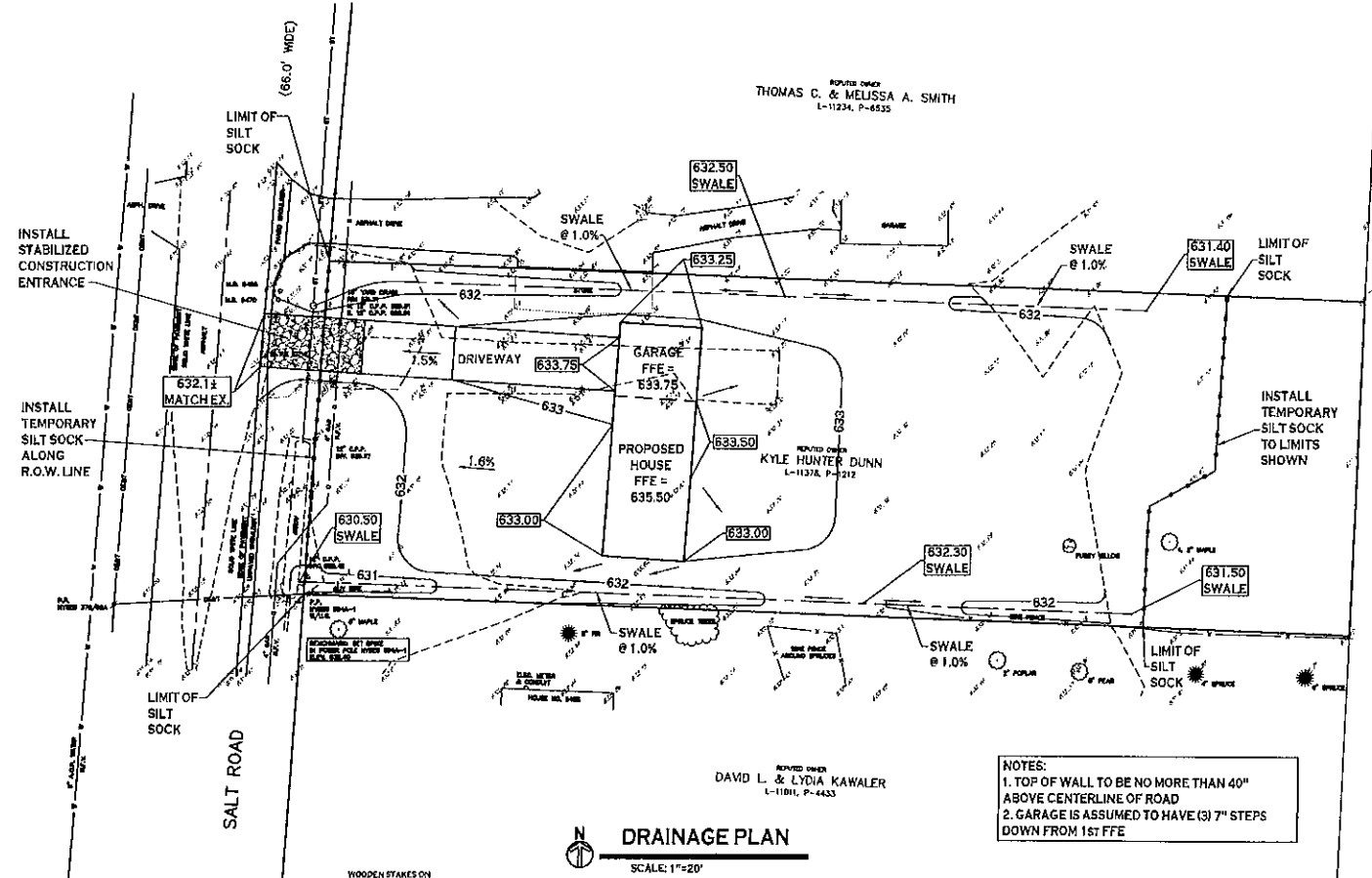
**SILT SOCK DETAIL**

**NOTES:**  
CONTRACTOR SHALL INSPECT AND MAINTAIN SILT SOCK AS NEEDED DURING THE DURATION OF CONSTRUCTION PROJECT.  
CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK WHEN IT HAS REACHED THE EXPOSED SURFACE OF THE SILT SOCK ALTERNATIVELY, RATHER THAN CREATE A SOIL DISTURBING ACTIVITY, THE ENGINEER MAY CALL FOR ADDITIONAL SILT SOCK TO BE ADDED AT AREAS OF HIGH SEDIMENTATION, PLACED IMMEDIATELY ON TOP OF THE EXISTING SEDIMENT LADEN SILT SOCK.  
SILT SOCK SHALL BE OVERLAPPED 12" AT JOINTS AND STAKED ON EACH SIDE OF THE SOCK AT A 45° ANGLE.

**SIZING CHART**

DIA. (IN.)	SLOPE %					
	2	5	10	20	25	30
8	225*	200	100	50	20	-
12	250	225	125	65	50	40
18	275	250	150	70	55	45
24	350	275	200	130	100	60
32	450	325	275	150	120	75

\* LENGTH IN FEET



**DRAINAGE PLAN**  
SCALE: 1"=20'

- NOTES:**
1. TOP OF WALL TO BE NO MORE THAN 40" ABOVE CENTERLINE OF ROAD
  2. GARAGE IS ASSUMED TO HAVE (3) 7" STEPS DOWN FROM 1ST FFE

**GENERAL NOTES**

- (1) HORIZONTAL CONTROL IS REFERENCED TO NEW YORK STATE PLANE COORDINATE SYSTEM NAD 83, ZONE 18E. VERTICAL CONTROL IS REFERENCED TO NAVD 83.
- (2) UNDERGROUND UTILITY INFORMATION SHOWN WAS OBTAINED FROM RECORD PLANS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES. PRIOR TO ANY CONSTRUCTION OR EXCAVATION AT THIS SITE, THE PROPER UTILITY AUTHORITY SHOULD BE NOTIFIED. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPLETE ALL SUCH UTILITIES IN THE AREA, OTHER IN REVERSE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- (3) FOR REFERENCE SEE TOWN OF CLARENCE TAX MAP NO. 45.00-1-5513.
- (4) FOR REFERENCE SEE SURVEY PREPARED BY WILLIAM MACKAY & DOLLER DATED OCTOBER 13, 2000 AND IDENTIFIED AS BK. NO. 45.00-1-5513.

THE ENGINEER OF RECORD FOR THIS PROJECT CERTIFIES THAT THESE DESIGN PLANS MEET THE REQUIREMENTS AND ARE IN COMPLIANCE WITH THE NYSDC STORMWATER MANAGEMENT DESIGN MANUAL AND NYSDC PHASE II STORMWATER REGULATION REQUIREMENTS.

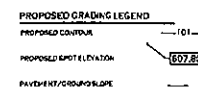
- UTILITY NOTES:**
1. HOUSE & BARN ROOF LEADLIS & SUMP PUMP DISCHARGE SHALL BE PIPED TO ROADSIDE DITCH OR STORAGE SYSTEM.

TOTAL DISTURBED AREA = 0.5 ± ACRES

**SITE DATA (RAIN ZONING)**

LOT SIZE = 0.78 AC (1/4)
MIN. LOT WIDTH = 100 FT. MEASURED AT SETBACK
MIN. LOT AREA = 1.33 ACRES
FRONT SETBACK = 45 FT., 100 FT. MAX. SUBDIVISION REQUIREMENT
SIDE SETBACK = 15 FT.
REAR SETBACK = 40 FT.
MAXIMUM LOT COVERAGE = 10%
MAXIMUM BUILDING HEIGHT = 35 FT.
MINIMUM FLOOR AREA = 1,000 SF

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. ASPEN ENGINEERING ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



**Aspen Engineering PLLC**  
P.O. Box 545  
Orchard Park, New York 14127  
716-559-3342

**Proposed Single Family Home**  
6455 Salt Road  
Clarence, New York

**DRAWING NAME:**  
Grading Plan

**DRAWING NO.:**  
C-100  
Project no.: 22.xxx

# DICEY-BUCCINNA RESIDENCE

PERMIT SUBMISSION - AUGUST 1, 2024

6455 SALT ROAD  
CLARENCE, NEW YORK 14031

### PRE-CONSTRUCTION

- PROJECT SCOPE OF WORK IS A NEW SINGLE-FAMILY RESIDENCE.
- THESE DOCUMENTS HAVE BEEN PREPARED BASED ON ANECOTAL INFORMATION ABOUT THE SITE PROVIDED BY THE OWNERS TO THE ARCHITECT DURING THE COURSE OF HISHER WORK. SUB-GRADE NATURAL AND MAN-MADE ELEMENTS SHALL BE THE RESPONSIBILITY OF THE OWNER TO UNCOVER AND/OR DISSEMABLE OR OTHERWISE REMOVE, OR TO PROVIDE OBSERVATION, DOCUMENTATION, OR TESTING AS MAY BE REQUIRED BY THE BUILDING CODE OFFICIAL.
- THESE DRAWINGS REPRESENT THE KNOWN AND REASONABLY FORESEEABLE CONDITIONS REQUIRED FOR CODE COMPLIANCE. THE BUILDING CODE OFFICIAL MAY REQUIRE ANY ADDITIONAL REMOVAL, SUBSTITUTION, REPLACEMENT, OR ADDITION OF STRUCTURE, MATERIALS, SYSTEMS, EQUIPMENT, OR CONSTRUCTION IN ORDER TO BRING THE PROJECT INTO FULL COMPLIANCE WITH ALL APPLICABLE CODES. THE OWNERS SHALL BE RESPONSIBLE TO ENGAGE THE ARCHITECT TO PERFORM ALL MODIFICATIONS TO THE CONSTRUCTION DRAWINGS AS DIRECTED BY THE CODE OFFICIAL.
- THE ARCHITECT HAS PERFORMED NO EXAMINATION OF SUB-GRADE CONDITIONS REGARDING EXCAVATION, BACKFILL, FOOTINGS AND FOUNDATIONS, DRAINAGE, OR GRADING, AND HAS REPRESENTED AS SCHEMATIC ANY SUCH ELEMENT, AND ALL ASSUMED SITE CONDITIONS.
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE CODES OF NEW YORK STATE BUILDING CODE, RESIDENTIAL CODE, AND THE ENERGY CONSERVATION CONSTRUCTION CODE (2023 EDITION). THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT SITE CONDITIONS. SUCH ALTERATIONS SHALL NOT VIOLATE ANY APPLICABLE CODES, NOR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY DIMENSIONS SHOWN AS "A" ARE APPROXIMATE AND SHALL BE VERIFIED AND/OR ADJUSTED IN THE FIELD. OWNER/CONTRACTOR SHALL VERIFY IN THE FIELD ALL NOTES AND DIMENSIONS BEFORE CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS GIVEN AND FIELD VERIFY AS REQUIRED.
- THE SITE PLAN SHOWN IS SCHEMATIC FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH SETBACK REQUIREMENTS. THE OWNER SHALL PROVIDE A LICENSED SURVEYOR'S SITE PLAN IF REQUIRED FOR PERMIT REVIEW.
- THE WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNERS AND THE CONTRACTOR.
- APPLICABLE CODE REQUIREMENTS MAY VARY WITH CONSTRUCTION STANDARDS AND TECHNIQUES. VERIFY ALL SETBACKS AND GRADE ELEVATIONS WITH BUILDING INSPECTOR AND LICENSED LAND SURVEYOR BEFORE BEGINNING ANY WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE BEGINNING ANY WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/PLUMBING/SANITARY AND ENERGY CODES, STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT ALL WINDOWS AND DOORS INSTALLED (AS SPECIFIED OR AS APPROVED SUBSTITUTIONS) MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS, AND ALL CODE REQUIREMENTS FOR NATURAL LIGHT, VENTILATION, AND EMERGENCY EGRESS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- EXAMINATION OF THE SITE SHALL BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HISHER BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN THE CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER/CONTRACTOR CHANGES TO THESE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNERS.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUB-CONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL AND LIFE SAFETY INTENT ONLY. NO MECHANICAL, ELECTRICAL, PLUMBING (MEP), SITE/CIVIL, NOR FIRE PROTECTION/ENGINEERING OR SPECIFICATIONS ARE INCLUDED BY THE ARCHITECT IN THESE DOCUMENTS. ALL SUCH ENGINEERING AS REQUIRED SHALL BE PERFORMED BY OTHERS.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S SEAL IN INK SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- ALL PLUMBING AND ELECTRICAL WORK, AND MECHANICAL HEATING, COOLING, AND VENTILATION IS THE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR ON A DESIGN-BUILD BASIS. ALL EQUIPMENT, SYSTEMS, AND INSTALLATIONS SHALL COMPLY WITH ALL APPLICABLE CODES.

### DESIGN LOADS

THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURE'S DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF N.Y.S. (PER TABLE R201.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS)

#### TABLE R201.5 UNIFORMLY DISTRIBUTED LIVE LOADS

FIRST FLOOR	40 psf	12 psf (DEAD LOAD)
SECOND FLOOR	20 psf	12 psf (DEAD LOAD)
EXTERIOR DECKS	40 psf	12 psf (DEAD LOAD)
GUARDS AND HANDRAILS	200 psf	SINGLE CONCENTRATED LOAD AT ANY POINT

#### TABLE R201.6

ROOF	12 psf	10 psf (DEAD LOAD)
CROWD SNOW LOAD	50 psf	
SOIL PRESSURE	2,000 psf (ASSUMED)	

IF REQUIRED, THE OWNER SHALL PROVIDE A GEOTECHNICAL SOILS REPORT TO THE BUILDING INSPECTOR, WHICH CONTAINS ANALYSIS AND DATA AS REQUIRED FOR PERMITTING AND CONSTRUCTION.

### CONCRETE

THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTERS 3 AND 4 OF THE NEW YORK STATE RESIDENTIAL CODE AND THE COMPANING GEOTECH REPORT (GCEA 22-1125 BY GUYTON GROUP ENGINEERING AND ARCHITECTURE, PLLC). THE GEOTECH REPORT SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AS AN ELEMENT OF THE PERMIT REVIEW PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR CONSULTING WITH A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.

ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2,000 PSF, AND NOT TO EXCEED 3,500 POUNDS PER SQ. FT., IN ACCORDANCE WITH THE PROJECT GEOTECH REPORT AND DIRECTIONS. PLACE ALL FOOTINGS AT MINIMUM 4" OF 3000 PSI FINISHED GRADE, OR AS REQUIRED BY LOCAL CODE.

- 2500 PSI - FOOTINGS AND FOUNDATION WALLS NOT EXPOSED TO THE WEATHER
- 2500 PSI - BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE SLAB
- 3000 PSI - BASEMENT WALLS, FOUNDATION WALLS, VERTICAL CONCRETE EXPOSED TO THE WEATHER
- 3000 PSI - PORCHES, CARPORT SLABS, AND STEPS EXPOSED TO WEATHER. GARAGE SLABS
- UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE SHALL BE MIN. PSI STRENGTH CONCRETE AS LISTED ABOVE. ON 1" CRUSHED GRAVEL MINIMUM WITH #4 @ 14" ON-CENTER REINFORCING. INTERIOR SLABS SHALL BE PLACED ON MINIMUM 4" THICK POLYETHYLENE VAPOR BARRIER OVER A SUB-BASE OF MINIMUM 4" OF COMPACTED POROUS FILL
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS AND ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.
- PLACE 1/2" DIAMETER x 1/2" SILL PLATE ANCHOR BOLTS AT EACH VERTICAL REBAR (WHERE OCCURRING) OR AT 4' ON CENTER AND AT EACH CORNER AND BOTH EDGES OF OPENINGS.
- CONTRACTOR TO BE RESPONSIBLE FOR SIZE, LOCATION, AND INSTALLATION OF REQUIRED STEEL REINFORCING IN FOOTINGS AND WALL PER LOCAL CODES OR SPECIFIC SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.
- FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONSISTENT COMPACTION, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO VERIFY FOOTINGS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.
- FOOTING REINFORCEMENT: (1) #4 BARS @ 24" ON-CENTER WITHIN 3" COVER ALL SIDES
- PROVIDE TERMITE PROTECTION AS REQUIRED BY LOCAL CODES.
- PROVIDE DEEP SCORE CONTROL JOINTS AT MID POINTS OF ALL SLABS BOTH DIRECTIONS.

### STRUCTURAL STEEL

- ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
- UNLESS OTHERWISE NOTED, PROVIDE A 3/8" PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3/8" DIAMETER BOLTS STAGGERED AT 2'-0" ON CENTER, RIGIDLY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS ADVISED BY GOVERNING CODES.
- SHOP-PRIME AND PAINT TT-P-20, TT-P-31C, TT-P-8G, FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC MANUAL AND SPECIFICATIONS.

### CARPENTRY

- UNLESS NOTED OTHERWISE, MINIMUM FRAMING LUMBER SHALL BE DOUGLAS FIR CONSTRUCTION GRADE. BEAMS, HEADERS, AND FLOOR JOISTS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1200psi.
- ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS, OR SHAKES.
- UNLESS NOTED OTHERWISE, PROVIDE:
  - DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
  - DOUBLE JOISTS UNDER ALL KITCHEN ISLAND WITH STONE, FAUX STONE, OR SOLID SURFACE COUNTER TOP.
  - TWO ROWS OF 1/3 CROSS BRIDGING OR METAL BRIDGING PER JOIST SPAN.
- FLOOR CONSTRUCTION SHALL COMPLY WITH SECTION R102.
  - PROVIDE 3/4" CDX PLYWOOD OR ADVANTECH SUB-FLOOR, TONGUE AND GROOVE.
- CUTTING, NOTCHING, AND BORING OF FLOORING MEMBERS SHALL BE DONE ONLY ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. PER SECTION R202.4
- STAIR CONSTRUCTION SHALL CONSIST OF (1) 2x12 STRINGERS, 5/4 OR 2x THICK TREAD AND 3/4" THICK RISER - OR FABRICATED BY COMPONENT MANUFACTURER.
- UNLESS NOTED OTHERWISE, RAFTERS, CEILING JOISTS, COLLAR TIES, AND PURLINS TO BE SIZED AS PRESCRIBED BY CHAPTER 8 OF THE RESIDENTIAL CODE.
- ROOF TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS DESIGN INCLUDING SPACING SHALL BE DETERMINED BY TRUSS MANUFACTURER/ENGINEER.
- "MICROLAM" BEAMS ARE MANUFACTURED BY WEYERHAEUSER, FEDERAL WAY, WASHINGTON. BENDING STRESS IS 2800psi. THIS PRODUCT IS MANUFACTURED GLUE LAMINATED WOOD PRODUCT WITH SMALL LAMINATION SIMILAR TO PLYWOOD. "PARALLEL" TRUSS FRAMING, AND "1x" JOISTS ARE ALSO MANUFACTURED BY WEYERHAEUSER. CONTRACTOR SHALL STRICTLY ADHERE TO THE MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF THEIR PRODUCTS. NO SUBSTITUTIONS ARE PERMITTED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL. ANY SUBSTITUTIONS SUBMITTED BY THE OWNER OR CONTRACTOR SHALL BE ACCOMPANIED BY A WRITTEN REPORT SHOWING STRUCTURAL LAYOUT AND PLACEMENT OF BEAMS, JOISTS, HEADERS, COLUMNS, ETC., ALONG WITH CALCULATIONS AND INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- SPECIAL LIFTUP CONNECTORS AS INDICATED AT CANTILEVERED JOISTS SHALL BE "SIMPSON STRONG TIE" ANCHORS (OR EQUAL).
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS-1, THICKNESS AS SHOWN, APA RATED SHEATHING EX-1, NAILING AND SPACING PER APA RECOMMENDATIONS FOR LOCATIONS INTENDED, AND AS REQUIRED BY THE BUILDING CODE.
- ALL WOOD STRUCTURAL FRAMING, FURRING, AND SHEATHING ELEMENTS AND COMPONENTS IN CONTACT WITH CONCRETE, MASONRY, OR CLOSER TO THE EXPOSED GROUND OR CRACK SPACES OR UNDEGRADED AREAS THAN ALLOWED BY CODE SHALL BE FULLY WOOD PRESERVATIVE-TREATED IN ACCORDANCE WITH SECTION R317 - PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY.
- OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) TO BE CAULKED, WEATHER STRIPPED, OR OTHERWISE SEALED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

### INSULATION, GYPSUM BOARD, AND FINISHES

MINIMUM REQUIRED THERMAL PERFORMANCE PER TABLE 602.1.2 ECOCVHS (CLIMATE ZONE 5).

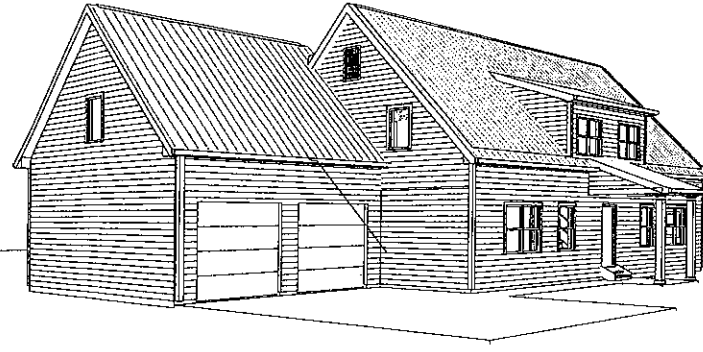
FEMESTRATION	U-0.30
CEILING	R-10
EXTERIOR WOOD FRAME WALLS	R-20 (ALT. : R-13 CAVITY + R-5 CONTINUOUS)
FLOORS	R-30
BASEMENT WALLS	R-15 (CONTINUOUS EXTERIOR OR INTERIOR INSULATION) R-10 (CONTINUOUS CAVITY INSULATION AT INTERIOR) R-15 (CAVITY INSULATION AT INTERIOR WITH R-5 CONTINUOUS INSULATION AT INTERIOR OR EXTERIOR)
SLAB (HEATED)	R-5 (UNDER FULL AREA OF THE HEATED SLAB)

BUILDING ENERGY EFFICIENCY SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 11 OF THE RESIDENTIAL BUILDING CODE AND CHAPTER 4 (RESIDENTIAL) OF THE ENERGY CONSERVATION CONSTRUCTION CODE.

### BLOW-IN OR SPRAYED INSULATION AT ROOFS, CEILING, WALLS

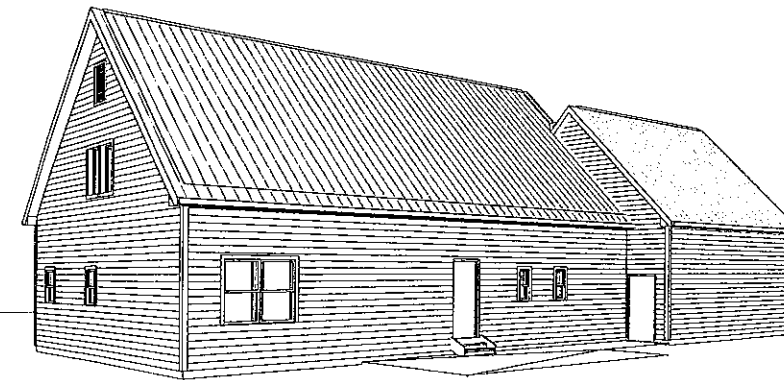
- FOR SPRAYED POLYURETHANE FOAM (SPF) INSULATION, THE INSTALLED THICKNESS OF THE AREAS COVERED AND THE R-VALUE OF THE INSTALLED THICKNESS SHALL BE INDICATED ON THE CERTIFICATION PER THE REQUIREMENTS OF SECTION N1101.10.1.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH SECTION N1101.10.1.1. THE THICKNESS OF SPRAYED FIBERGLASS AND CELLULOSE INSULATION SHALL BE WRITTEN IN INCHES ON WALLS INSTALLED AT A MINIMUM OF ONE PER EACH 300 SQUARE FEET OF INSULATED SPACE. THE THICKNESS AND R-VALUE OF SPRAYED POLYURETHANE FOAM INSULATION SHALL BE INDICATED ON THE CERTIFICATION PROVIDED BY THE INSULATION INSTALLER.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 316 FOR SURFACE BURNING CHARACTERISTICS, THERMAL BARRIER, INTERIOR FINISH, ETC. ROOF VENTILATION IS NOT REQUIRED PER THE CONDITIONS OF SECTION R306.5.

- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.
- INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES AND LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
- UNLESS NOTED OTHERWISE, INSTALL MINIMUM 10-mil POLYETHYLENE VAPOR BARRIERS AGAINST ALL INSULATION. LAP JOINTS 18" MIN., TAPE IF LESS.
- EXTERIOR WALL SHEATHING SHALL BE 1/2" CDX PLY INSULATED SHEATHING PANEL. INSTALL PER THE MANUFACTURER'S INSTRUCTIONS AND TO COMPLY WITH ALL APPLICABLE CODES.
- ALL INTERIOR WALLS ARE TO BE COVERED WITH 1/2" GYPSUM WALL BOARD, USE 5/8" GYPSUM BOARD ON CEILINGS WITH JOISTS, RAFTERS OR TRUSSES AT 24" O.C. SPACING (OPTIONAL USE AT 16" O.C. CEILING MEMBER SPACING). FINISH WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND (3 COATS).
- GARAGE WALLS AND CEILING COMMON TO THE HOUSE ARE TO BE COVERED WITH ONE LAYER 1/2" GYPSUM BOARD, INSTALLED IN COMPLIANCE WITH SECTION R202.6
- USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CEILING IN ALL BATH AND TOILET AREAS.



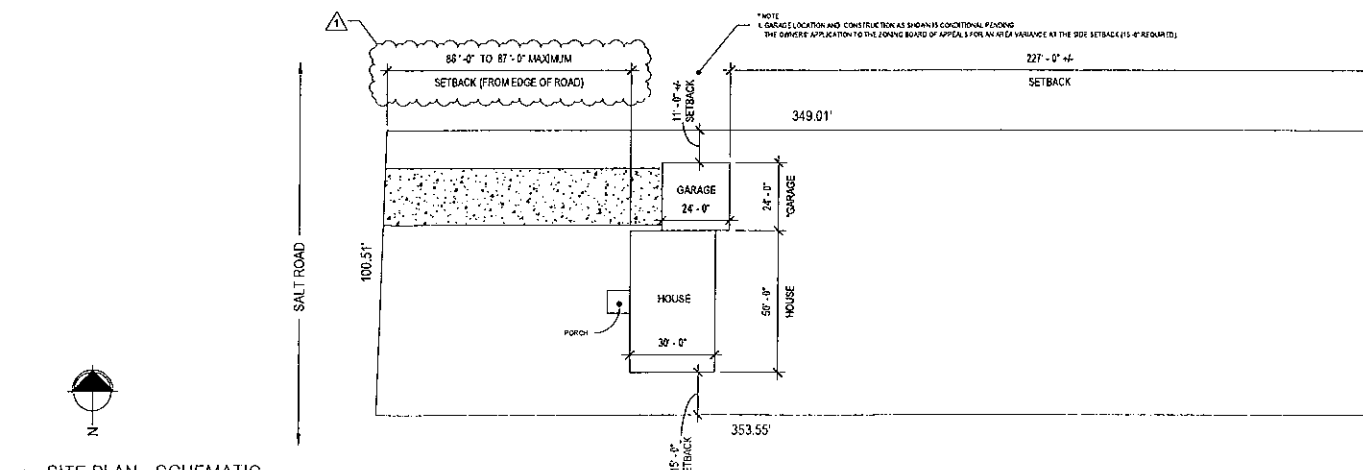
1 PERSPECTIVE VIEW

PERSPECTIVE VIEWS ARE FOR INFORMATION ONLY, NOT FOR CONSTRUCTION PURPOSES



2 PERSPECTIVE VIEW

PERSPECTIVE VIEWS ARE FOR INFORMATION ONLY, NOT FOR CONSTRUCTION PURPOSES



3 SITE PLAN - SCHEMATIC

NOTE:

1. SITE PLAN IS SCHEMATIC AS SHOWN FOR THE PURPOSES OF DEMONSTRATING COMPLIANCE WITH ZONING CODE YARD SETBACK REQUIREMENTS ONLY.
2. THIS PLAN IS DERIVED FROM A SURVEY BY MILLARD, MCKAY & DELLES OF SBLR 45 00-155 13, DATED 10-13-2020.
3. THE OWNERS SHALL SUBMIT A COPY OF THE PARCEL BOUNDARY SURVEY AND ANY OTHER SITE INFORMATION AS REQUIRED BY THE TOWN OF CLARENCE PLANNING, ZONING, AND/OR BUILDING DEPARTMENTS FOR PROJECT APPROVALS.
4. THE OWNERS SHALL SUBMIT A SITE DRAINAGE PLAN FOR THE PROJECT UNDER SEPARATE COVER.
5. GARAGE LOCATION AND CONSTRUCTION AS SHOWN IS CONDITIONAL PENDING THE OWNERS APPLICATION TO THE ZONING BOARD OF APPEALS FOR AN AREA VARIANCE AT SIDE SETBACK (15'-0" REQUIRED).

### SHEET INDEX MATRIX

✓ = SHEETS INCLUDED IN ORIGINAL SUBMISSION  
X = SHEETS REVISED OR ADDED

Sheet Number	Sheet Name	REVISION 1 - 08-23-24	PERMIT SUBMISSION 07/20/24
GENERAL			
G001	COVER SHEET	X	✓
ARCHITECTURAL			
A101	BASEMENT FOUNDATION PLAN	X	✓
A102	FIRST FLOOR PLAN		✓
A103	SECOND FLOOR PLAN		✓
A104	ROOF PLAN	X	✓
A201	ELEVATIONS		✓
A202	ELEVATIONS		✓
A301	BUILDING SECTIONS		✓
A302	SCHEDULES, WALL SECTIONS & DETAILS	X	✓
Grand Total:			

### CODE SUMMARY

NAME OF PROJECT: DICEY-BUCCINNA RESIDENCE  
ADDRESS: 6455 SALT ROAD - CLARENCE, NEW YORK 14031  
OWNERS: SCOTT DICEY AND MICHELE BUCCINNA  
BUILDING TYPE: NEW SINGLE FAMILY HOUSE W/ ATTACHED GARAGE  
PROJECT USE: R-3 SINGLE-FAMILY RESIDENTIAL  
CODE AND ZONING ENFORCEMENT: TOWN OF CLARENCE, NEW YORK

APPLICABLE BUILDING CODES - NEW YORK STATE 2023  
2023 RESIDENTIAL CODE  
- OTHER NEW YORK STATE CODES AS REFERENCED

EDWIN E. SMART, AIA  
smartDESIGN ARCHITECTURE, PLLC  
585.345.4087

BUILDING DATA  
CONSTRUCTION TYPE: VB  
SPRINKLERED: NO  
BUILDING HEIGHT: 28'-0" +/-  
STORIES: 2

### ZONING REQUIREMENTS

- ZONING DISTRICT: AGRICULTURAL-RESIDENTIAL A-RR
1. MINIMUM LOT WIDTH: 100.0 FEET (ALLOWED PER SECTION 229-40 (B))
  2. SETBACKS SECTION 229-41 (B) (7):  
FRONT YARD: 45 - 200 FEET  
SIDE YARD: 15 FEET  
REAR YARD: 45 FEET  
DRIVEWAY: 3 FEET
  3. BUILDING HEIGHT (SECTION 229-43 (A)): 35 FEET
  4. LOT COVERAGE (SECTION 229-45):  
10.0% FOR A TWO-STORY STRUCTURE INCLUDING GARAGE

### DESIGN LOADS

THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE DESIGN OF THE STRUCTURE IN ACCORDANCE WITH THE PRINTED TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE:

	LIVE LOAD (TABLE 201.5)	DEAD LOAD
ROOF	20 PSF	10 PSF
SLEEPING ROOMS	30 PSF	12 PSF
NON-SLEEPING ROOMS	40 PSF	12 PSF
EXTERIOR BALCONIES/DECKS	40 PSF	12 PSF

SOIL BEARING CAPACITY, MINIMUM ALLOWABLE 2,000 POUNDS PER SQUARE FOOT (PSF), AND NOT TO EXCEED 3,500 POUNDS PSF, IN ACCORDANCE WITH THE PROJECT GEOTECH REPORT AND DIRECTIONS.

smartDESIGN  
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### > design team

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WARNING: No alteration to this document nor conforming to section 2303 & 2307 New York State Education Law is to be undertaken.

revision schedule		
no.	description	date
1	Revision 1	08-23-24

### > drawing information

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drawn by: TEAMK  
checked by: EES  
scale: As indicated

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### COVER SHEET

G001  
sheet number

STRUCTURAL COLUMN SCHEDULE			
COLUMN	SIZE	DESCRIPTION	LOCATION
C1	PIPEASCH9	ADJUSTABLE STEEL COLUMN	BASEMENT
C2	5x6	P.T. WOOD	FRONT PORCH

STRUCTURAL FRAMING SCHEDULE			
BEAM	SIZE	DESCRIPTION	LOCATION
B1	WBX21	STEEL BEAM ON C1 COLUMNS	BASEMENT
B2	(2) 2x10	HEADER/BEAM PROVIDE METAL CONNECTORS AT B2-B3 INTERFACE (SIMPSON OR EQUAL)	ROOF/ATTIC
B3	(2) 3x6-114	MICROLAM RAFTER/BEAM NOTE: PROVIDE 2X6 STRAP AT EACH SIDE OF B3 CONTINUOUS ACROSS ATTIC AT ATTIC CEILING HEIGHT	ROOF/ATTIC

TYPICAL HEADER SCHEDULE		
UNLESS OTHERWISE NOTED	2X6 WALL	2X4 WALL
OPENING	(1) 2X8	(2) 2X8
UP TO 4'-0"	(2) 2X8	(2) 2X8
5'-0"	(3) 2X8	(2) 2X8
6'-0"	(3) 2X10	(2) 2X10
7'-0"	(3) 2X10	(2) 2X12
8'-0"	(3) 2X12	(2) 2X12

NOTE:  
 - PROVIDE (2) 1/2" PLY. WD. GUSSETS-2X6 WALL  
 - PROVIDE (1) 1/2" PLY. WD. GUSSETS-2X4 WALL  
 - GLUE AND NAIL ALL HEADERS

LEGEND	
(SD)	SMOKE DETECTOR (PER R314 RCNYS)
(CAM)	CARBON MONOXIDE DETECTOR (PER R315 RCNYS)
(HD)	HEAT DETECTOR (PER R314.2.3 RCNYS)
(BT)	BEAM TAG
(CT)	COLUMN TAG
DENOTES SPAN DIRECTION OF JOISTS/RAFTERS	
POST OR BEAM LOAD SUPPORT: POST: PROVIDE MIN. SOLID 6x8 OR (2) 2x4x5.8 BUILT-UP SUPPORT COLUMN (SPIND AND GLUE) AT BEAM END W/ METAL POST-BEAM CONNECTOR (SIMPSON OR EQUAL, TYPICAL). - PROVIDE PRESSURE-TREATED WOOD AT EXTERIOR AND BASEMENT LOCATIONS. BEAM: FINAL LVL BEAM SIZING BY MFR/SUPPLIER, PROVIDE METAL POST-BEAM CONNECTOR. PROVIDE METAL ANCHORED FOUNDATION-POST/BEAM CONNECTOR.	
POST SUPPORT: 3" DIA. ADJUSTABLE STEEL PIPE AT BEAM END W/ METAL POST-BEAM CONNECTOR (SIMPSON OR EQUAL) ON 30"x30"x12" CONCRETE FOUNDATION, TYPICAL.	
INTERIOR PARTITION LEGEND	
NOTE: FOR EXTERIOR WALL CONSTRUCTION, REFER TO BUILDING SECTIONS & WALL SECTIONS.	
	2x4 WOOD STUD WALL W/ 1/2" GWS ON ROOM SIDE(S), STUDS AT 16" O.C., TYP.
	2x4 WOOD STUD WALL W/ 1/2" GWS ON ROOM SIDE(S), STUDS AT 16" O.C., FILL CAVITY W/ FACED R15 BATT INSUL, TYP.
	2x6 WOOD STUD WALL W/ 1/2" GWS ON ROOM SIDE(S), STUDS AT 16" O.C., TYP.
	2x6 WOOD STUD WALL W/ 1/2" GWS ON ROOM SIDE(S), STUDS AT 16" O.C., FILL CAVITY W/ FACED R21 BATT INSUL, TYP.

- ### GENERAL NOTES - FOUNDATION
- THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTERS 3 AND 4 OF THE NEW YORK STATE RESIDENTIAL CODE AND THE ACCOMPANYING GEOTECH REPORT #GGEA-22-1225 BY GYLYN GROUP ENGINEERING AND ARCHITECTURE, PLLC.
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING AN ASSUMED MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 POUNDS PER SQUARE FOOT (PSF), AND NOT TO EXCEED 3,500 POUNDS PSF. IN ACCORDANCE WITH THE PROJECT GEOTECH REPORT AND DIRECTIONS, PLACE ALL FOOTINGS AT MINIMUM 4'-0" BELOW FINISHED GRADE, OR AS REQUIRED BY LOCAL CODE.
  - IF BEARING CAPACITY IS LOWER THAN 2,000 POUNDS PER SQ. FT. ARE ENCOUNTERED, THE UNDERLYING UNSATURABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY A GEOTECHNICAL ENGINEER.
  - THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE SUBSURFACE CONDITIONS.
  - ANY OBSTRUCTIONS ENCOUNTERED DURING EXCAVATION WHICH MAY INTERFERE WITH THE CONSTRUCTION OF ANY OF THE FOUNDATIONS OR WALLS MUST BE REMOVED AND REPLACED IN COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
  - GENERAL CONTRACTOR SHALL INSURE COMPLIANCE WITH ALL APPLICABLE STATE, COUNTY, AND LOCAL BUILDING ORDINANCES.
  - NO CONCRETE SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
  - ALL CONCRETE AND FOUNDATIONS SHALL BE PROTECTED AGAINST FROST UNTIL THE PROJECT IS COMPLETED.
  - BACKFILL UNDER ANY PORTION OF THE BUILDING OR FOUNDATION SHALL BE COMPACTED IN 6" LIFTS OF 95% COMPACTED FILL AS APPROVED BY THE GEOTECHNICAL ENGINEER.
  - ALL CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-LATEST EDITION) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301, LATEST EDITION).
  - ALL CONCRETE SLABS PLACED ON GROUND SHALL BE REINFORCED WITH FIBERMESH REINFORCING.
  - MINIMUM CONCRETE COMPRESSIVE STRENGTH IN 28 DAYS:  
 BASEMENT WALLS AND FTG'S (NOT EXPOSED TO WEATHER): 2,500 PSI  
 BASEMENT/CRAWL SPACE SLABS: 2,500 PSI  
 GARAGE/PORCH/PATIO SLABS, EXTERIOR WALKS: 3,500 PSI
  - ALL STEEL SIZES ARE TO BE STANDARD STRUCTURAL STEEL PER AISC.
  - CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AIR ENTRAINMENT OF 4.5%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN ACCORDANCE WITH ALL ACI REQUIREMENTS.
  - STEEL REINFORCEMENT SHALL CONFORM TO ASTM A-615, GRADE 60.
  - ALL REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE WITH THE PROPER RADI ESTABLISHED BY THE ACI UNDER NO CIRCUMSTANCES SHALL HEAT BE APPLIED TO THE BARS TO OBTAIN BENDS.
  - CONCRETE COVER PROTECTION FOR REINFORCING BARS:  
 - BASEMENT WALLS AND FTG'S: 2" CLEAR  
 - BOTTOM OF FOOTINGS AND GRADE BEAMS: 3" CLEAR  
 - BEAMS, COLUMNS, AND STRUCTURAL SLABS: 1 1/2" CLEAR.
  - ALL FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND TAMPING OPERATIONS.
  - THE USE OF CONTROL JOINTS IN THE SLAB IS RECOMMENDED TO CONTROL CRACKING. SAW CUT TO A DEPTH OF 1/5 OF THE DEPTH OF THE SLAB.
  - CONCRETE FOUNDATION WALL REINFORCING:  
 - VERTICAL: #5 REBAR AT 32" O.C.  
 - HORIZONTAL: PROVIDE HORIZONTAL REINFORCEMENT WITH ONE (1) #4 REBAR WITHIN 12" OF THE TOP OF THE WALL, AND ONE (1) #4 REBAR NEAR THE MID-POINT OF THE WALL HEIGHT.  
 - FOOTING: (3) #4 BARS EQ. SPACED W/ MIN. 3" COVER ALL SIDES.
  - ALL FOUNDATION DIMENSIONS ARE FROM OUTSIDE FACE TO OUTSIDE FACE OF CMU WALL, OR FROM OUTSIDE FACE OF CMU WALL TO CENTERLINE OF SUPPORT BEAM OR SUPPORT POST.
  - COORDINATE LOCATION OF ALL UTILITIES, ELECTRIC SERVICE PANEL, AND MECHANICAL AND PLUMBING EQUIPMENT WITH OWNER.
  - PROVIDE ADDITIONAL FLOOR JOISTS UNDER KITCHEN ISLAND. PROVIDE ADDITIONAL FLOOR JOISTS AND OR ALIGH FLOOR JOISTS DIRECTLY BENEATH WALLS THAT RUN PARALLEL TO FLOOR JOISTS.

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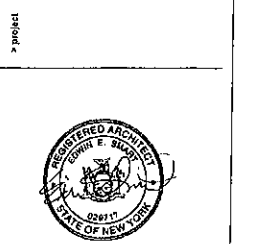
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revision schedule

no.	description	date
1	Revision 1	03-23-24

**> drawing information**

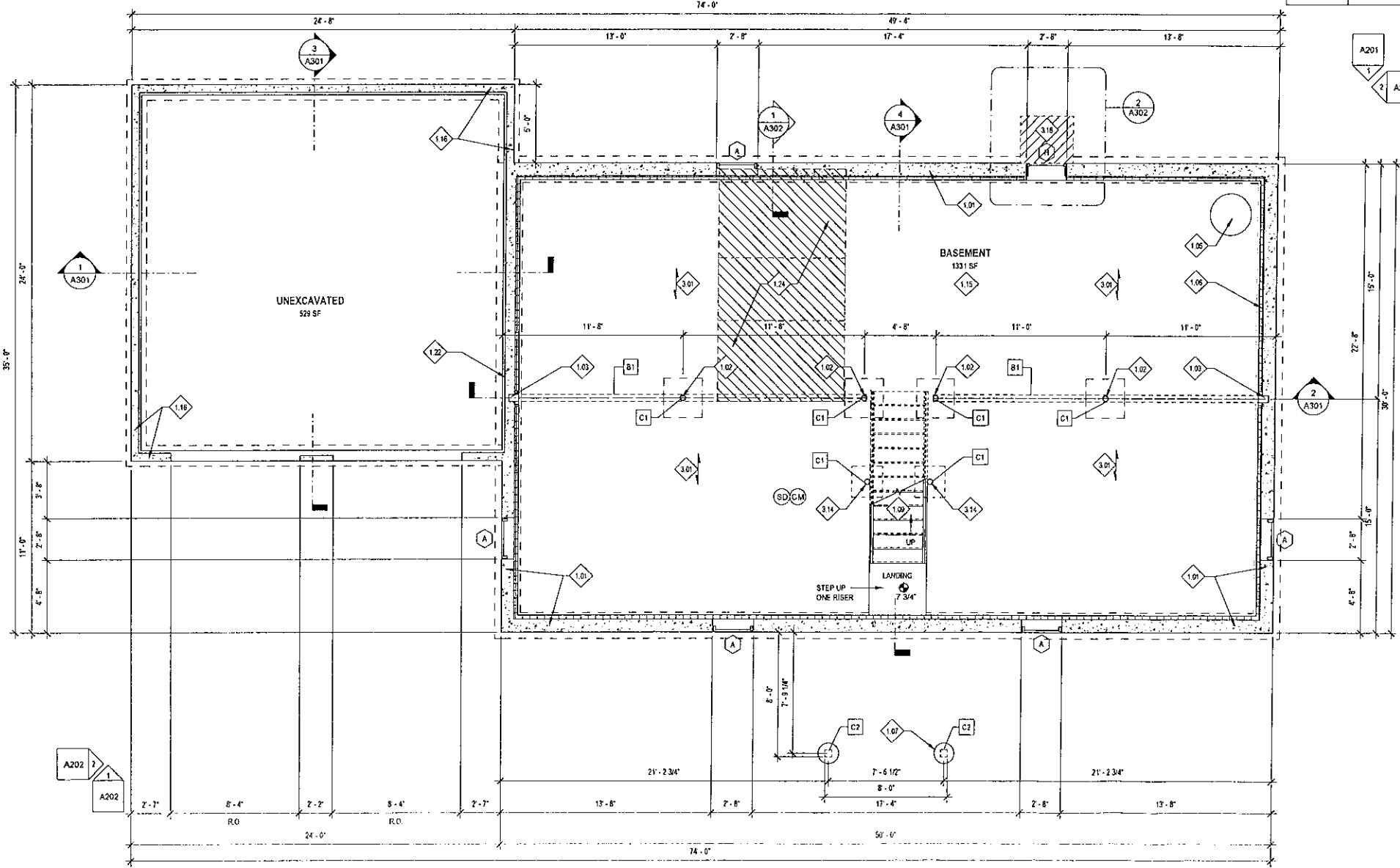
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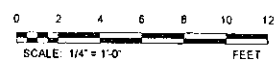
**BASEMENT/  
 FOUNDATION PLAN**



- ### KEYED NOTES
- 10" THICK CONCRETE FOUNDATION WALL ON MINIMUM 20" WIDE X 8" THICK REINFORCED CONTINUOUS STRIP FOOTING. PROVIDE VERTICAL REINFORCEMENT WITH #5 REBAR AT 32" O.C. PROVIDE HORIZONTAL REINFORCEMENT WITH ONE (1) #4 REBAR WITHIN 12" OF THE TOP OF THE WALL, AND ONE (1) #4 REBAR NEAR THE MID-POINT OF THE WALL HEIGHT.
  - 3" DIAMETER ADJUSTABLE STEEL COLUMN ON MINIMUM 30"x30"x12" CONCRETE FOUNDATION.
  - BEAM POCKET (TYPICAL), MINIMUM 12" WIDE, GROUT CORES SOLID. PROVIDE 1/2" MINIMUM AIR GAP AT ENDS AND SIDES OF BEAM LINE WITH METAL SHIELD.
  - SUMP CROCK(S) - FINAL LOCATION(S) TO BE DETERMINED. FINAL DRAINAGE PLAN AND DISCHARGE TO BE DETERMINED BY OWNER.
  - PROVIDE 3" (MIN R-15) RIGID INSULATION CONTINUOUS FROM BASEMENT FLOOR SLAB TO TOP OF FOUNDATION WALL. MATERIALS MUST COMPLY WITH CODE FOR INSULATION, FIRE SPREAD INDEX AND SMOKE DEVELOPED INDEX (DOW BRAND "TUFF R" OR EQUIVALENT). TAPE ALL SEAMS.
  - PORCH COLUMN AND FOUNDATION: COLUMN C2 - P.T. 6x6 WOOD SUPPORT COLUMN ON MINIMUM 16" DIAMETER ISOLATED PIER COLUMN. PROVIDE METAL POST-BASE AND POST-BEAM CONNECTORS, TYP. (SIMPSON OR EQUAL). PROVIDE STAIR HANDRAIL PER CODE (R311.7).
  - WOOD FRAMED STAIRS, PROVIDE MIN. (2) 2X12 STRINGERS, MINIMUM TREAD DEPTH = 5", MAXIMUM RISER HEIGHT = 8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.7).
  - BASEMENT FLOOR: MIN 4" THICK 7,500 PSI CONCRETE W/ FIBER MESH REINFORCEMENT OVER MINIMUM 6" VAPOR BARRIER ON MINIMUM 4" THICK COMPACTED FILL BASE.
  - 3" THICK CONCRETE FOUNDATION WALL ON MINIMUM 16" WIDE X 8" THICK REINFORCED CONTINUOUS STRIP FOOTING. REDUCE WALL THICKNESS TO 2" WITH 2" SLAB LEDGE AT GARAGE FLOOR LEVEL. SEE BUILDING SECTION 301.01 FOR DETAILS PROVIDE VERTICAL AND HORIZONTAL REINFORCEMENT AS TYPICAL FOR HOUSE FOUNDATION WALL.
  - LIME OF HOUSE/GARAGE FRAME WALL.
  - HATCHED AREA: DOUBLE FLOOR JOISTS UNDER KITCHEN ISLAND AT FIRST FLOOR, ABOVE: FIELD ADJUST AS REQUIRED.
  - FLOOR FRAMING: 2X10 FLOOR JOISTS @ 16" O.C. WITH 3/4" PLYWOOD, OSB, OR "ADVANTECH" SUBFLOOR SHEATHING (GLUED AND NAILED).
  - 3/4" ADJUSTABLE HEAVY-DUTY STEEL COLUMN ON MINIMUM 24"x24"x12" CONCRETE FOUNDATION. ALIGN CENTERLINE OF COLUMN WITH WOOD SUPPORT COLUMN FOR BEAM B2 AT SHED DORMER, ABOVE.
  - OPTIONAL EGRESS WINDOW AND WELL - SUBJECT TO RELOCATION BY OWNERS. WINDOW WELL WITH LADDER REQUIRED AT BASEMENT HABITABLE SPACE PER SECTION R310. WINDOW WELL DESIGN, CONSTRUCTION, AND INSTALLATION SHALL COMPLY WITH SECTION R310.2.3. MINIMUM CLEAR HORIZONTAL WIDTH AND PROJECTION = 36". AREA OF WELL SHALL ALLOW FOR THE EMERGENCY ESCAPE AND RESCUE UNIT TO BE FULLY OPENED. FINAL WELL SIZE SHALL BE BASED ON EGRESS UNIT DIMENSIONS. LADDER AND/OR STIFFS REQUIRED BY SECTION R310.2.3.1 LADDER SHALL BE PERMANENTLY AFFIXED AND ALLOW FOR USE OF ESCAPE UNIT IN THE FULLY OPEN POSITION. MINIMUM INSIDE DIMENSION OF LADDERS OR RUNGS = 12". MAXIMUM PROJECTION FROM WALL = 3". MAXIMUM VERTICAL SPACING OF RUNGS = 16" O.C. FOR FULL HEIGHT OF WINDOW WELL.



**1 BASEMENT FLOOR PLAN**  
 1/4" = 1'-0"



STRUCTURAL COLUMN SCHEDULE			
COLUMN	SIZE	DESCRIPTION	LOCATION
C1	PIPE4SCH40	ADJUSTABLE STEEL COLUMN	BASEMENT
C2	6x6	P.T. WOOD	FRONT PORCH

STRUCTURAL FRAMING SCHEDULE			
BEAM	SIZE	DESCRIPTION	LOCATION
B1	WB2X11	STEEL BEAM ON C1 COLUMNS	BASEMENT
B2	(2) 2X10	HEADER/BEAM PROVIDE METAL CONNECTORS AT E2-E3 INTERFACE (SMI/SCH) OR EQUIV.	ROOF/ATTIC
B3	(2) 1-3/4x10	MICROLLAM RAFTER/BEAM NOTE: PROVIDE 2X6 STRAP AT EACH SIDE OF B3 CONTINUOUS ACROSS ATTIC AT ATTIC CEILING HEIGHT	ROOF/ATTIC

TYPICAL HEADER SCHEDULE			
UNLESS OTHERWISE NOTED	OPENING	2X6 WALL	2X4 WALL
	UP TO 4'-0"	(3) 2X6	(2) 2X6
	5'-0"	(3) 2X6	(2) 2X6
	6'-0"	(4) 2X10	(2) 2X10
	7'-0"	(3) 2X10	(2) 2X12
	8'-0"	(3) 2X12	(2) 2X12

NOTE:  
 - PROVIDE (2) 1/2" PLY. WD. GUSSETS 2X6 WALL  
 - PROVIDE (1) 1/2" PLY. WD. GUSSETS 2X4 WALL  
 - GLUE AND NAIL ALL HEADERS

**GENERAL NOTES**

- ALL ROOM/WALL DIMENSIONS ARE EXTERIOR FACE OF FRAMING TO CENTERLINE OF INTERIOR WALLS. ALL FOUNDATION WALL DIMENSIONS ARE FROM OUTSIDE FACE TO OUTSIDE FACE OF CMU/CONCRETE WALL, OR FROM OUTSIDE FACE OF CMU/CONCRETE WALL TO CENTERLINE OF SUPPORT BEAM OR SUPPORT POST.
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INSULATION.
- ALL INTERIOR FRAMED WALLS TO BE 2x4 WOOD STUDS @ 16" O.C.
- KITCHEN LAYOUT IS SCHEMATIC ONLY. FINAL CABINET DESIGN TO BE DETERMINED BY OTHER. INSTALLATION BY CONTRACTOR. KITCHEN APPLIANCES PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING FOR ALL CABINETS, COUNTERS, SHELVING, ETC.
- PROVIDE ACOUSTIC SOUND-ATTENUATING BATT INSULATION IN BATHROOM WALLS.

**POST & BEAM NOTES:**

- BEARING: PROVIDE MINIMUM 12.25 SQUARE INCHES (2) 2X4 BUILT-UP POST) SOLID CONTINUOUS BEARING AT ALL MICROLLAM BEAM ENDS. ALL VERTICAL SUPPORT MUST BE CONTINUOUS TO FOUNDATION BELOW. PROVIDE SOLID BEARING AT FOUNDATION WITH CMU BLOCK CORES FILLED SOLID GROUT FILL. HEIGHT MINIMUM 2'-6" WIDTH (2) CMU UNITS WIDE.
- CONNECTIONS: PROVIDE METAL CONNECTORS AS REQUIRED: POST-TO-BEAM, RAFTER-TO-RIDGE BEAM, RIDGE-TO-RIDGE BEAM, ETC. (SIMPSON STRONG-TIE OR EQUAL).
- SPECIFICATIONS: MICROLLAM LVL BEAMS ARE SPECIFIED. THE CONTRACTOR SHALL VERIFY AND FINALIZE THE BEAM LAYOUT AND SPECIFICATIONS WITH THE MANUFACTURER/SUPPLIER (WEINERBERG) BEFORE CONSTRUCTION. NO SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND WRITTEN CALCULATIONS AND SPECIFICATIONS BY THE ALTERNATE MANUFACTURER.

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revision schedule

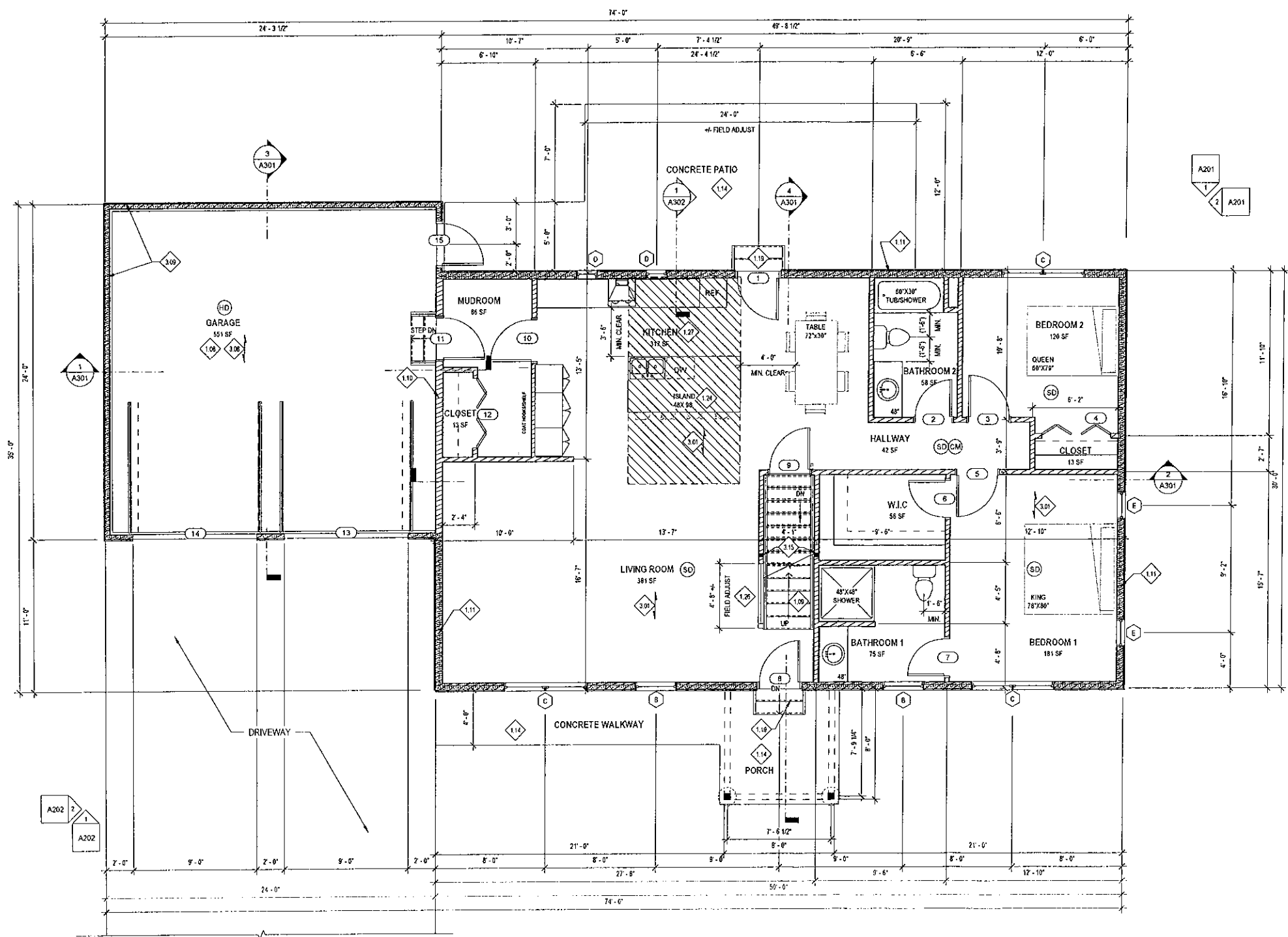
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> drawing information

project # 24-073  
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drawn by TEANIK  
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scale As indicated  
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**FIRST FLOOR PLAN**

A102  
sheet number



**LEGEND**

(SD)	SMOKE DETECTOR (PER R314 RCNYS)
(CM)	CARBON MONOXIDE DETECTOR (PER R315 RCNYS)
(HD)	HEAT DETECTOR (PER R314.2.3 RCNYS)
BT	BEAM TAG
CT	COLUMN TAG
→	DENOTES SPAN DIRECTION OF JOISTS/RAFTERS
■	POST OR BEAM LOAD SUPPORT POST: PROVIDE MIN. SOLID 4x6 OR (3) 2x4x6 BUILT-UP SUPPORT COLUMN (SPIKED AND GLUED) AT BEAM END W/METAL POST-BEAM CONNECTOR (SIMPSON OR EQUAL, TYPICAL) PROVIDE PRESSURE-TREATED WOOD AT EXTERIOR AND BASEMENT LOCATIONS. BEAM: FINAL LVL BEAM SIZING BY MFR/SUPPLIER. PROVIDE METAL POST-BEAM CONNECTOR. PROVIDE METAL ANCHORED FOUNDATION-POST/BEAM CONNECTOR.
●	POST SUPPORT: 3" DIA. ADJUSTABLE STEEL PIPE AT BEAM END W/METAL POST BEAM CONNECTOR (SIMPSON OR EQUAL) ON 30"x30"x12" CONCRETE FOUNDATION, TYPICAL.

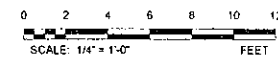
**INTERIOR PARTITION LEGEND**

NOTE: FOR EXTERIOR WALL CONSTRUCTION, REFER TO BUILDING SECTIONS & WALL SECTIONS.

(Pattern)	2x4 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., TYP.
(Pattern)	2x4 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., FILL CAVITY W/ FACED R15 BATT INSUL, TYP.
(Pattern)	2x6 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., TYP.
(Pattern)	2x6 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., FILL CAVITY W/ FACED R21 BATT INSUL, TYP.

**KEYED NOTES**

- GARAGE FLOOR: MIN 4" THICK 3,500 PSI CONCRETE W/ FIBER MESH REINFORCEMENT OVER MIN 5" MIL VAPOR BARRIER ON MON 5" THICK COMPACTED POROUS FILL BASE. OPTIONAL 6X6X10 WWF REINFORCEMENT WITHIN CONCRETE SLAB. SLOPE TO DOORS.
- WOOD FRAMED STAIRS: PROVIDE MIN. (3) 2X12 STRINGERS. MINIMUM TREAD DEPTH=9". MAXIMUM RISER HEIGHT=8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.7).
- PROVIDE FIRE SEPARATION AT ALL SHARED HOUSE GARAGE WALLS WITH ONE (1) LAYER 1/2" GWB APPLIED TO THE GARAGE SIDE. HORIZONTAL SEPARATION AT FLOOR-CEILING ASSEMBLY: ONE (1) LAYER 5/8" TYPE X GWB OVER THE STRUCTURE AT GARAGE SIDE. TAPE AND FINISH ALL SEAMS AND JOINTS PER CODE REQUIREMENTS.
- HOUSE FRAME WALL: 2X6 WOOD STUDS @ 16" O.C., TYP.
- EXTERIOR HARDSCAPE: TYPICAL: MINIMUM 4" THICK FIBER-REINFORCED CONCRETE SLAB-ON-GRADE OVER MINIMUM 4" COMPACTED POROUS FILL. ALTERNATE: CONCRETE UNIT PAVERS OR OTHER CONCRETE, BRICK, TILE, OR STONE UNIT PAVERS OVER APPROVED SUBSTRATE.
- EXTERIOR STAIRS FROM HOUSE MAIN FLOOR DOWN TO GRADE: PROVIDE P.T. 2X12 STRINGERS. MINIMUM TREAD DEPTH=9". MAXIMUM RISER HEIGHT=8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.7).
- HATCHED AREA: DOUBLE FLOOR. JOISTS UNDER KITCHEN ISLAND AT FIRST FLOOR. ABOVE: FIELD ADJUST AS REQUIRED.
- OPEN RAILING: RAILING AND GUARD MATERIALS TBD. ASSEMBLY SHALL COMPLY WITH REQUIREMENTS OF SECTION R312.8.
- KITCHEN LAYOUT IS SCHEMATIC AS SHOWN FOR PLANNING PURPOSES ONLY. FINAL DESIGN AND SPECIFICATION OF CABINETS, COUNTERTOPS, FIXTURES, AND APPLIANCES TBD BY OWNERS.
- FLOOR FRAMING: 2X10 FLOOR JOISTS @ 16" O.C. WITH 3/4" PLYWOOD, OSB OR "NOVALEAF" SUBFLOOR SHEATHING (GLUED AND NAILLED).
- ATTIC TRUSS: A USABLE OPEN AREA IS SCHEMATIC AS SHOWN. FINAL TRUSS DESIGN BY OTHERS. SEE TRUSS DIAGRAM 2/AND FOR DETAILS. PROVIDE 3/4" PLYWOOD SUBFLOOR OVER TRUSS BOTTOM CHORD AT OPEN USABLE AREA.
- GARAGE FRAME WALL: 1/2" PLYWOOD OR OSB SHEATHING OVER 2X4 STUDS @ 16" O.C.
- (3) 2X4 LAMINATED COLUMN. CONTINUOUS SUPPORT FOR BEAM B2 AT SHED DOOR, ABOVE.



**FIRST FLOOR PLAN**  
1/4" = 1'-0"

STRUCTURAL COLUMN SCHEDULE			
COLUMN	SIZE	DESCRIPTION	LOCATION
C1	PIPEASCH40	ADJUSTABLE STEEL COLUMN	BASEMENT
C2	5/5	F.T. WOOD	FRONT PORCH

STRUCTURAL FRAMING SCHEDULE			
BEAM	SIZE	DESCRIPTION	LOCATION
B1	W8X21	STEEL BEAM ON C1 COLUMNS	BASEMENT
B2	(2) 2x10	HEADER/RAIL, PROVIDE METAL CONNECTORS AT B2-B3 INTERFACE (SIMPSON OR EQUAL)	ROOF/ATTIC
B3	(2) 1-3/4x14	MICROLAM RAFTER/BEAM NOTE: PROVIDE 2x6 STRAP AT EACH SIDE OF B3 CONTINUOUS ACROSS ATTIC AT ATTIC CEILING HEIGHT	ROOF/ATTIC

TYPICAL HEADER SCHEDULE			
UNLESS OTHERWISE NOTED			
OPENING	2X6 WALL	2X4 WALL	
UP TO 4'-0"	(2) 2X8	(2) 2X8	
5'-0"	(3) 2X8	(2) 2X8	
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7'-0"	(3) 2X10	(2) 2X12	
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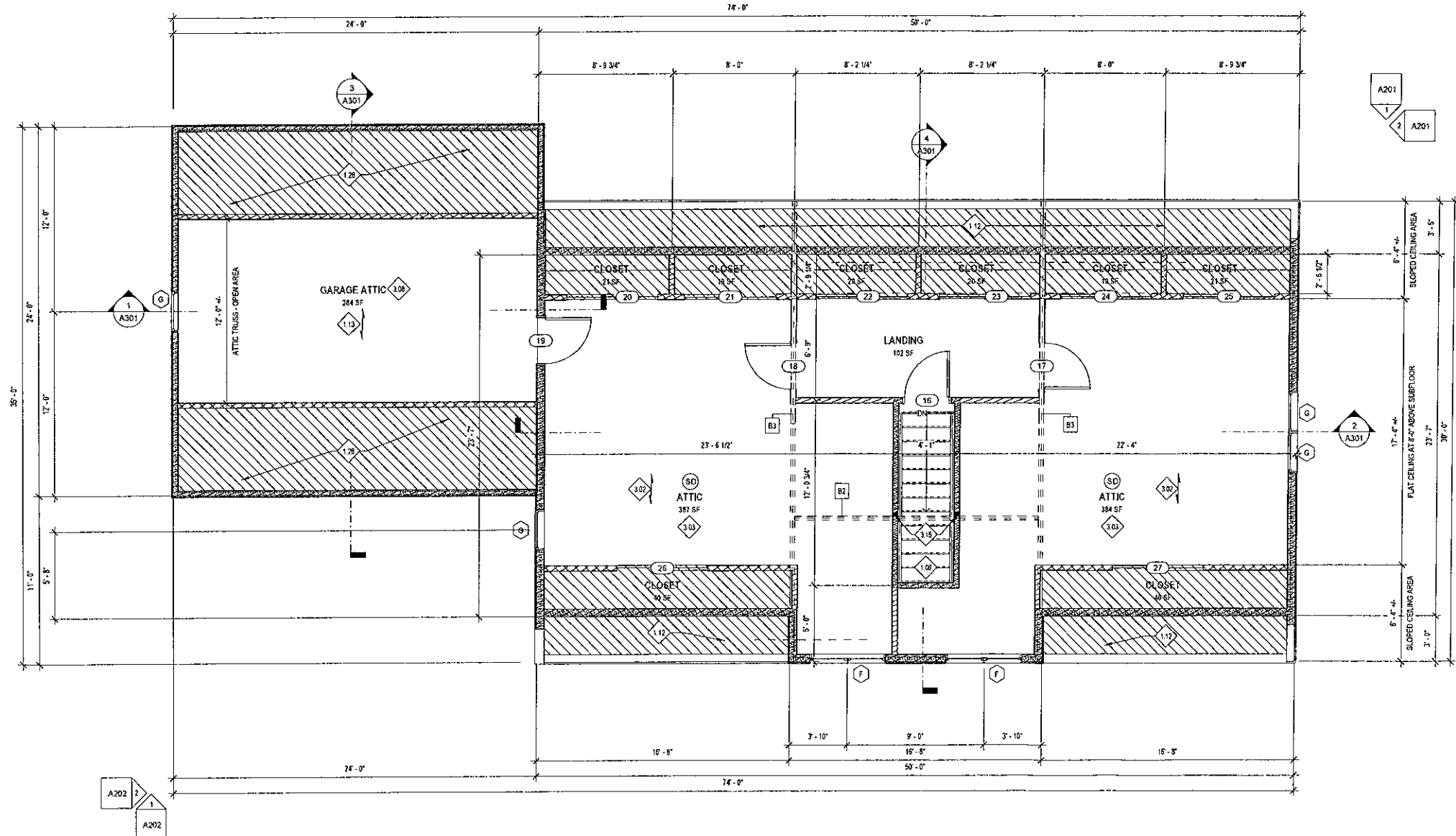
NOTE:  
 - PROVIDE (2) 1/2" PLY. WD. GUSSETS - 2X6 WALL  
 - PROVIDE (1) 1/2" PLY. WD. GUSSETS - 2X4 WALL  
 - GLUE AND NAIL ALL HEADERS

**GENERAL NOTES**

- ALL ROOM/WALL DIMENSIONS ARE EXTERIOR FACE OF FRAMING TO CENTERLINE OF INTERIOR WALLS. ALL FOUNDATION WALL DIMENSIONS ARE FROM OUTSIDE FACE TO OUTSIDE FACE OF CONCRETE WALL OR FROM OUTSIDE FACE OF CONCRETE WALL TO CENTERLINE OF SUPPORT BEAM OR SUPPORT POST.
- ALL EXTERIOR FRAMED WALLS TO BE 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INSULATION.
- ALL INTERIOR FRAMED WALLS TO BE 2x4 WOOD STUDS @ 16" O.C.
- KITCHEN LAYOUT IS SCHEMATIC ONLY. FINAL CABINET DESIGN TO BE DETERMINED BY OTHER. INSTALLATION BY CONTRACTOR. KITCHEN APPLIANCES PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- CONTRACTOR TO PROVIDE SOLID WOOD BLOCKING FOR ALL CABINETS, COUNTERS, SHELVING, ETC.
- PROVIDE ACOUSTIC SOUND-ATTENUATING BATT INSULATION IN BATHROOM WALLS.

**POST & BEAM NOTES:**

- BEARING:** PROVIDE MINIMUM 12 SQUARE INCHES (12) 2x4 BUILT-UP POST. PROVIDE MINIMUM 12" SOLID CONTINUOUS BEARING AT ALL MICROLAM BEAM ENDS. ALL VERTICAL SUPPORT MUST BE CONTINUOUS TO FOUNDATION BELOW. PROVIDE SOLID BEARING AT FOUNDATION WITH CMU BLOCK CORES FILLED WITH SOLID GROUT FULL HEIGHT MINIMUM 2'-8" WIDTH (2) CMU UNITS WIDE.
- CONNECTIONS:** PROVIDE METAL CONNECTORS AS REQUIRED: POST-TO-BEAM; RAFTER-TO-RIDGE BEAM, RIDGE-TO-RIDGE BEAM, ETC. (SIMPSON STRONG-TIE OR EQUAL).
- SPECIFICATIONS:** MICROLAM LVL BEAMS ARE SPECIFIED. THE CONTRACTOR SHALL VERIFY AND FINALIZE THE BEAM LAYOUT AND SPECIFICATIONS WITH THE MANUFACTURER/SUPPLIER (WEYERHAEUSER) BEFORE CONSTRUCTION. NO SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND WRITTEN CALCULATIONS AND SPECIFICATIONS BY THE ALTERNATE MANUFACTURER.



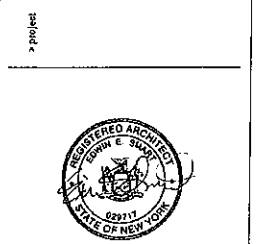
LEGEND	
(SD)	SMOKE DETECTOR (PER R314 RCNYS)
(CM)	CARBON MONOXIDE DETECTOR (PER R315 RCNYS)
(HD)	HEAT DETECTOR (PER R314.2.3 RCNYS)
BP	BEAM TAG
CM	COLUMN TAG
→	DENOTES SPAN DIRECTION OF JOISTS/RAFTERS
■	POST OR BEAM LOAD SUPPORT: POST: PROVIDE MIN. SOLID 6x6 OR (3) 2x6x6 BUILT-UP SUPPORT COLUMN (SPRINK AND GROUT) AT BEAM END W/ METAL POST-BEAM CONNECTOR (SIMPSON OR EQUAL, TYPICAL). - PROVIDE PRESSURE-TREATED WOOD AT EXTERIOR AND BASEMENT LOCATIONS. BEAM: FINAL LVL BEAM SIZING BY MFR/SUPPLIER. PROVIDE METAL POST-BEAM CONNECTOR. PROVIDE METAL ANCHORED FOUNDATION-POST/BEAM CONNECTOR.
●	POST SUPPORT: 3" DIA. ADJUSTABLE STEEL PIPE AT BEAM END W/ METAL POST BEAM CONNECTOR (SIMPSON OR EQUAL) ON 30"x30"x12" CONCRETE FOUNDATION, TYPICAL.
INTERIOR PARTITION LEGEND	
NOTE: FOR EXTERIOR WALL CONSTRUCTION, REFER TO BUILDING SECTIONS & WALL SECTIONS.	
[Pattern]	2x4 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., TYP.
[Pattern]	2x4 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., TYP. FILL CAVITY W/ FACED R15 BATT INSUL. TYP.
[Pattern]	2x6 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., TYP.
[Pattern]	2x6 WOOD STUD WALL W/ 1/2" GWB ON ROOM SIDE(S), STUDS AT 16" O.C., TYP. FILL CAVITY W/ FACED R21 BATT INSUL. TYP.

KEYED NOTES	
1.09	WOOD FRAMED STAIRS. PROVIDE MIN. (1) 2x12 STRINGERS. MINIMUM TREAD DEPTH = 9". MAXIMUM RISE HEIGHT = 8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.7).
1.12	UNUSED FLOOR AREA - LOW HEAD HEIGHT < 5'-0". TYPICAL.
1.13	GARAGE ATTIC/ATTIC TRUSS. FINAL TRUSS AND USABLE FLOOR AREA DIMENSIONS TBD BY TRUSS ENGINEERS.
1.28	UNUSED AREA - TRUSS WEBBING.
3.02	2X8 CEILING JOISTS @ 16" O.C. W/ R-49 ATTIC INSULATION.
3.03	ATTIC AREA SHALL BE UNFINISHED. STAIRWELL WALLS AND DOOR, EXTERIOR GABLE WALLS, AND ATTIC DOOR SHALL BE INSULATED. ALL OTHER INTERIOR WALLS ARE OPTIONAL FOR FUTURE FINISH.
3.05	ATTIC TRUSS - A, USABLE OPEN AREA IS SCHEMATIC AS SHOWN. FINAL TRUSS DESIGN BY OTHERS. SEE TRUSS DIAGRAM 2A197 FOR DETAILS. PROVIDE 3/4" PLYWOOD SUBFLOOR OVER TRUSS BOTTOM CHORD AT OPEN USABLE AREA.
3.15	(2) 2X4 LAMINATED COLUMN, CONTINUOUS SUPPORT FOR BEAM B2 AT SHED DORMER ABOVE.

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 > structural consultant:  
 > MEP consultant:

> project information  
 > owner agency:  
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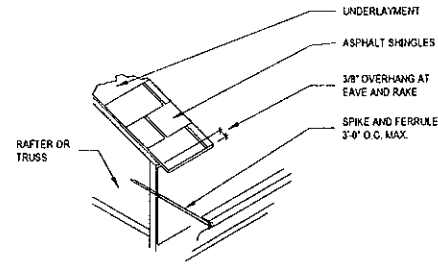
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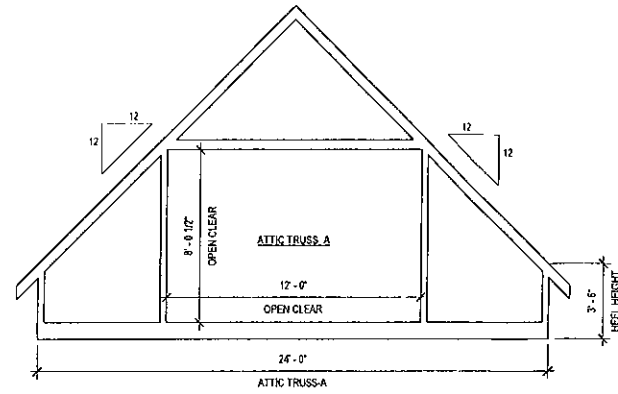
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SECOND FLOOR PLAN



3 GUTTER INSTALLATION (SCHEMATIC)  
3/4" = 1'-0"

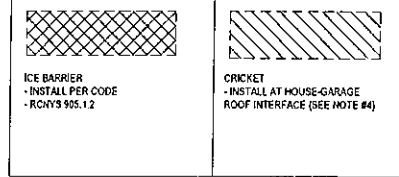


NOTES:  
1. TRUSS DIAGRAMS ARE SCHEMATIC FOR PLANNING PURPOSES ONLY.  
2. OPEN AVAILABLE CLEAR AREA DIMENSIONS FOR ATTIC TRUSS SHALL BE DETERMINED BY THE TRUSS ENGINEER.  
3. TRUSS ENGINEER/MANUFACTURER SHALL SUBMIT FINAL DRAWINGS/SPECIFICATIONS TO THE CONTRACTOR FOR REVIEW AND COORDINATION WITH BUILDING FRAME DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.

2 TRUSS DIAGRAM  
1/4" = 1'-0"

ROOF LEGEND

12' / 12' R1	ROOF SLOPE 2x10 RAFTERS @ 15" O.C.
4' / 12' R2	ROOF SLOPE 2x8 RAFTERS @ 15" O.C.
4.38" / 12" R3	ROOF SLOPE 2x8 RAFTERS @ 15" O.C. ADJUST PORCH ROOF SLOPE AS REQUIRED TO INTERSECT WITH MAIN ROOF SLOPE AT DORMER WALL.
12' / 12' T-A	ROOF SLOPE ATTIC TRUSS TYPE 'A' - SEE TRUSS DIAGRAM - DETAIL 2/A104
(R)	2x12
(TR)	TRUSS RIDGE



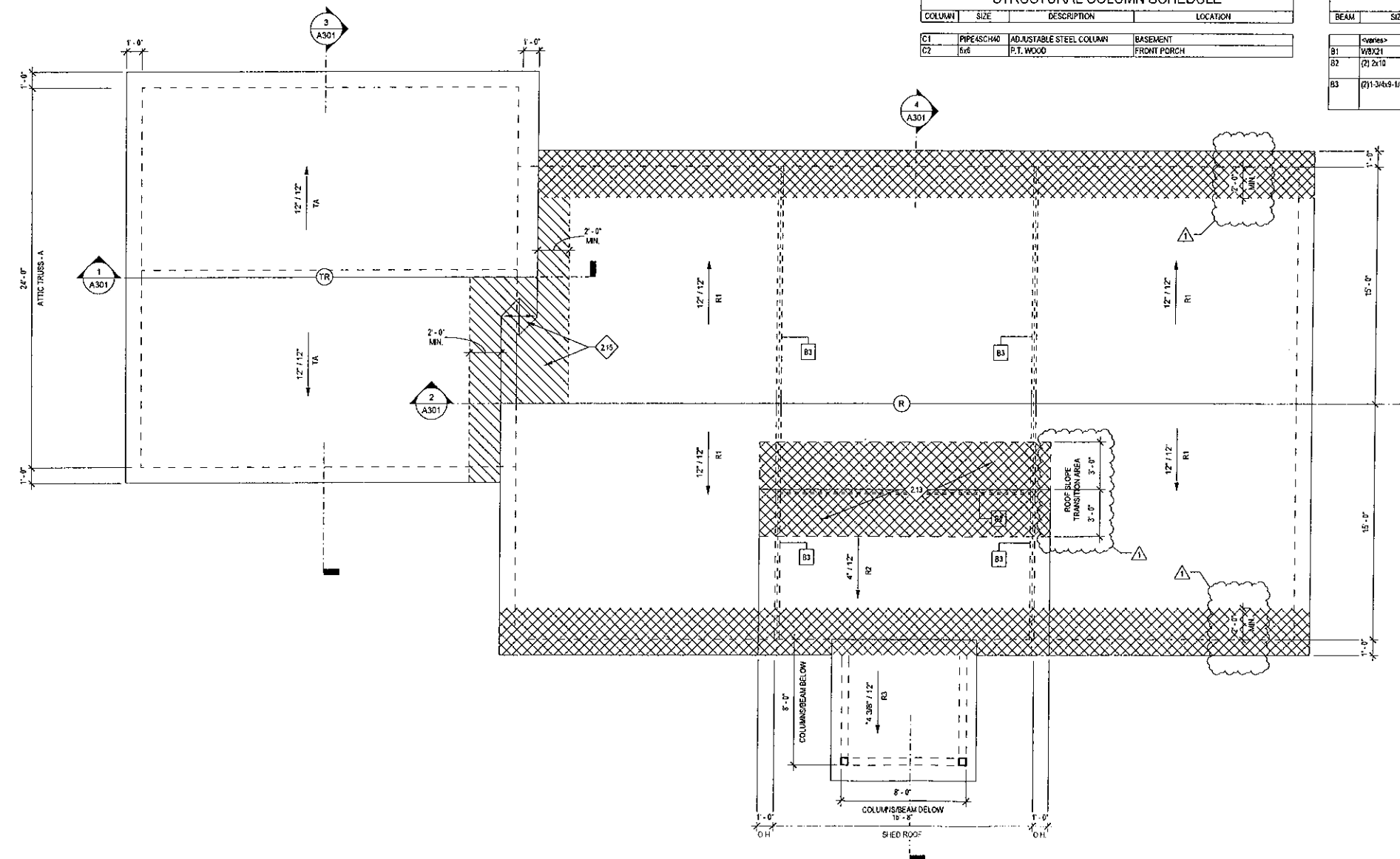
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING ROOF MATERIALS. NOTIFY ARCHITECT OF ANY CHANGES OR DISCREPANCIES BETWEEN WRITTEN DIMENSIONS AND ACTUAL CONDITIONS.
- ROOF VENTING SHALL COMPLY WITH REQUIREMENTS OF SECTION R905.6 OF NYC RESIDENTIAL CODE - MINIMUM FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE OF THE VENTED SPACE IF: 1) A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING; AND 2) NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.  
- WHERE EAVE (SOFFIT) VENTS ARE INSTALLED, NOT LESS THAN 1 INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.  
- PROVIDE VENTED METAL RIDGE CAP AS PART OF THE METAL ROOF PANEL MANUFACTURER'S INTEGRATED ROOF ASSEMBLY SYSTEM.
- ICE BARRIER: PROVIDE SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT AT LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING (PER RCNY'S 905.1.2).
- CRICKET: INSTALL ROOF CRICKET AT HOUSE-GARAGE ROOF INTERFACE. PROVIDE SELF-ADHERING MEMBRANE UNDERLAYMENT UNDER CRICKET AREA TO EXTEND A MINIMUM OF 2'-0" HORIZONTALLY FROM THE ADJACENT RAKE EDGE AND CONTINUOUS DOWN THE ROOF SLOPE TO THE AREA OF EAVE ICE PROTECTION.
- ROOF SLOPE TRANSITION: PROVIDE SELF-ADHERING MEMBRANE UNDERLAYMENT AT HOUSE MAIN ROOF-TO-SHED ROOF TRANSITION AS SHOWN.
- ROOF TRUSSES ARE SHOWN AS SCHEMATIC FOR PLANNING PURPOSES ONLY. FINAL DESIGN AND SPECIFICATIONS BY TRUSS ENGINEER/RAFR. SUBMIT FINAL TRUSS DESIGN TO THE CONTRACTOR TO COORDINATE WITH BUILDING FRAME DIMENSIONS BEFORE ORDERING TRUSSES FOR DELIVERY AND INSTALLATION.
- ROOF FINISH: STANDING SEAM CONCEALED FASTENER METAL PANEL: "COLONIAL SEAM", 24 BY ATAS, INC., IN COLOR AS SELECTED, OR EQUAL AS SELECTED BY OWNERS. METAL ROOF PANEL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R905.10.
- ADHERE TO ALL MICROCLAM MFR'S INSTRUCTIONS FOR INSTALLATION OF ENGINEERED WOOD COMPONENTS AND ATTACHMENT TO ALL DIMENSION LUMBER AND FRAMING.

STRUCTURAL COLUMN SCHEDULE

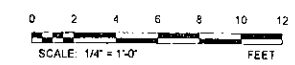
COLUMN	SIZE	DESCRIPTION	LOCATION
C1	PIPE/SC40	ADJUSTABLE STEEL COLUMN	BASEMENT
C2	6x6	P.T. WOOD	FRONT PORCH

STRUCTURAL FRAMING SCHEDULE

BEAM	SIZE	DESCRIPTION	LOCATION
B1	<varies>	STEEL BEAM ON C1 COLUMNS	BASEMENT
B2	(2) 2x10	HEADER/BEAM. PROVIDE METAL CONNECTORS AT B2-B3 INTERFACE (SIMPSON OR EQUAL).	ROOF/ATTIC
B3	(2) 1-3/4x9-1/4	MICROCLAM RAFTER/BEAM NOTE: PROVIDE 2X6 STRIP AT EACH SIDE OF B3 CONTINUOUS ACROSS ATTIC AT ATTIC CEILING HEIGHT!	ROOF/ATTIC



1 ROOF PLAN  
1/4" = 1'-0"



> design team  
> e/v/d consultant:

> structural consultant:

> MEP consultant:

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P: FINISH



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checked by: EES  
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ROOF PLAN



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WARNING  
Any reference to the International Building Code (IBC) and the International Residential Code (IRC) shall be to the 2021 editions unless otherwise specified.

revision schedule		
no.	description	date

> drawing information

project # 24-073  
date 08.06.2024  
drawn by TEAMAK  
checked by EES  
scale 1/4" = 1'-0"

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> sheet name

ELEVATIONS

A201  
sheet number

### NOTES: TRIM, FINISHES, DETAILS

UNLESS OTHERWISE NOTED

FASCIA	6"
CORNER BOARDS	4"
EAVE OVERHANGS	1'-0"
RAKE OVERHANGS	1'-0"
SIDING	VINYL SIDING IN COLOR/STYLE AS SELECTED BY OWNERS.
ROOFING	ROOF FINISH: STANDING SEAM CONCEALED FASTENER METAL PANEL IN COLOR AS SELECTED "COLONIAL SEAM", 24 BY ATAS, INC. OR EQUAL. METAL ROOF PANEL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R905.10.
GUTTERS/DOWNSPOUTS	5" SEAMLESS ALUMINUM GUTTER WITH LEADERS AND DOWNSPOUTS (SITE DRAINAGE TBD BY OWNER)
MIN. FTG. DEPTH	3'-6" BELOW FINISH GRADE LEVEL, OR AS OTHERWISE DIRECTED BY LOCAL CODE.
TOP PLATE:	
FIRST FLOOR	8'-1 1/8" ABOVE SUBFLOOR
SECOND FLOOR	8'-1 1/8" ABOVE SUBFLOOR
WINDOW HEAD HEIGHT:	
FIRST FLOOR	6'-4" ABOVE SUBFLOOR
SECOND FLOOR	6'-4" ABOVE SUBFLOOR
WINDOW MANUFACTURER	TBD BY OWNER
ROOF VENTING	INTAKE: VENTED VINYL SOFFIT PANEL EXHAUST: CONTINUOUS RIDGE VENT ROOF VENTING SHALL COMPLY WITH REQUIREMENTS OF SECTION R905 OF NYC RESIDENTIAL CODE. SEE ROOF PLAN NOTES SHEET A104 FOR DETAILS.

### KEYED NOTES

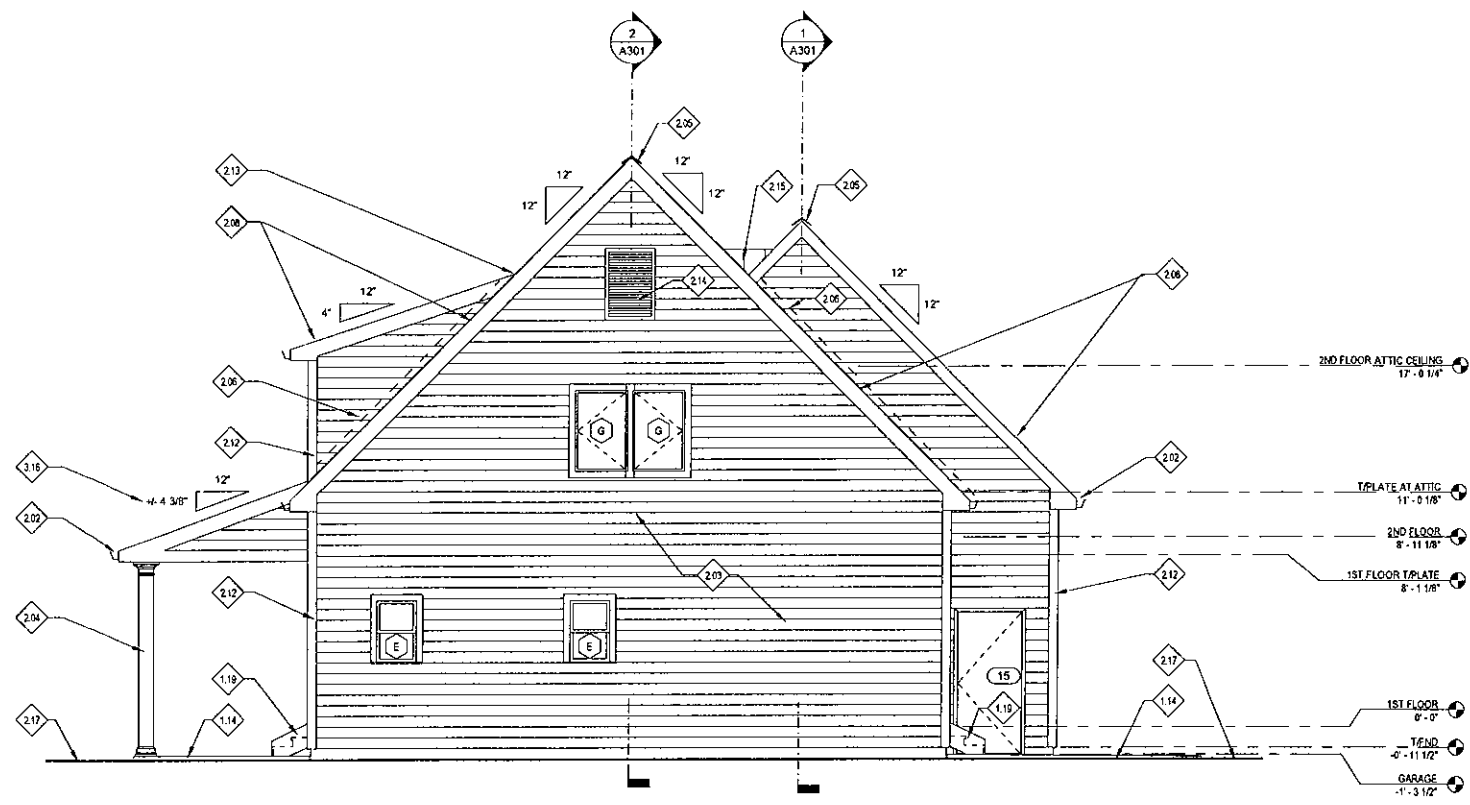
1.14	EXTERIOR HARDSCAPE: TYPICAL MINIMUM 4" THICK FIBER REINFORCED CONCRETE SLAB-ON-GRADE OVER MINIMUM 4" COMPACTED POROUS FILL. ALTERNATE: CONCRETE UNIT PAVERS OR OTHER CONCRETE, BRICK, TILE, OR STONE UNIT PAVERS OVER APPROVED SUBSTRATE.
1.19	EXTERIOR STAIRS FROM HOUSE MAIN FLOOR DOWN TO GRADE: PROVIDE P.T. 2X12 STRINGERS, MINIMUM TREAD DEPTH 9"; LAVIUM RASER HEIGHT 8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.1).
2.02	5" SEAMLESS ALUMINUM GUTTER WITH LEADERS AND DOWNSPOUTS, TYPICAL (SITE DRAINAGE TBD BY OWNER)
2.03	HORIZONTAL SIDING AS SELECTED BY OWNER OR TYVEK HOUSE WRAP OF 1/2" CDX APA-RATED PLYWOOD OR OSB SHEATHING ON 2X6 WOOD STUDS AT 16" OC (W/R-2) BATT INSULATION AT WALL CAVITY AND VAPOR RETARDER ON WARMER (INTERIOR) SIDE OF INSULATION.
2.04	SUPPORT COLLAR FINISH: MATERIALS COORDINATED WITH VINYL SIDING & TRIM MANUFACTURER'S SYSTEM COMPONENTS. ALTERNATE AZEK BOARDS AND MOLDING COMPONENTS, OR EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2.05	ROOF RIDGE VENT: METAL RIDGE CAP AS PART OF THE METAL PANEL MANUFACTURER'S INTEGRATED ROOF SYSTEM. SEE ROOF VENTING NOTES AT ROOF LEGEND SHEET A104.
2.06	CONCEALED FLASHING, TYPICAL
2.08	ROOF: METAL ROOF PANELS IN STYLE AND COLOR AS SELECTED. INSTALLATION OF METAL PANEL SYSTEM AND UNDERLAYMENT TO COMPLY WITH SECTION R905.10.
2.12	4" CORNER TRIM, AZEK OR EQUAL
2.13	ROOF: SLOPE TRANSITION: PROVIDE SELF-ADHERING MEMBRANE UNDERLAYMENT AT HOUSE MAIN ROOF TO-SHED ROOF TRANSITION AS SHOWN AT ROOF PLAN, SHEET A104.
2.14	DECORATIVE ATTIC VENT TO BE SELECTED BY OWNER
2.15	CRICKET: INSTALL ROOF CRICKET AT HOUSE-GARAGE ROOF INTERFACE. PROVIDE SELF-ADHERING MEMBRANE UNDERLAYMENT UNDER CRICKET AREA TO EXTEND A MINIMUM OF 2'-0" HORIZONTALLY FROM THE ADJACENT FRAME EDGE AND CONTINUOUS DOWN THE ROOF SLOPE TO THE AREA OF EAVE ICE PROTECTION.
2.17	ASSUMED GRADE
3.18	ADJUST PORCH ROOF SLOPE AS REQUIRED TO INTERSECT WITH MAIN ROOF SLOPE AT DORMER WALL.

### DOOR SCHEDULE

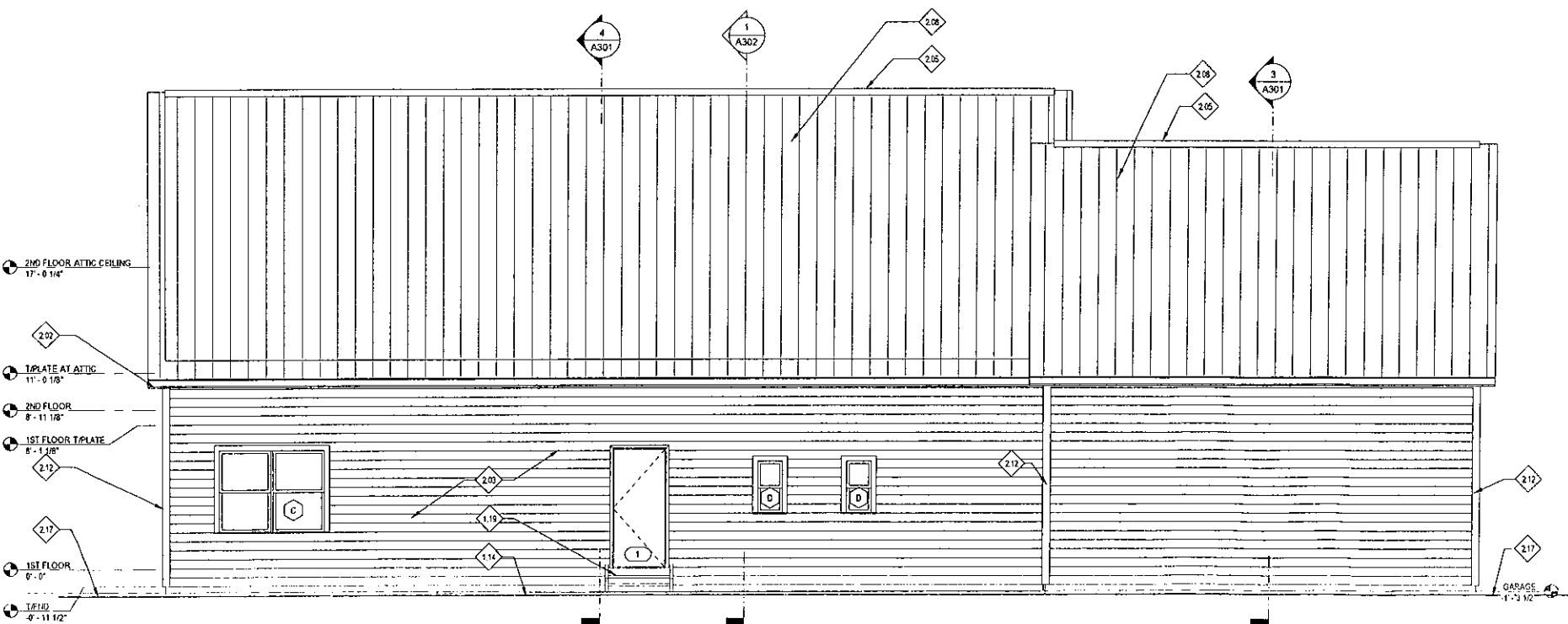
DOOR #	CONFIGURATION	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
GARAGE					
13	OH	7'-0"	7'-0"	Garage Door	
14	OH	7'-0"	7'-0"	Garage Door	
15	SS	3'-0"	6'-8"	Steel or Fiberglass Door with Wood Frame	
1ST FLOOR					
1	SS	3'-0"	6'-8"	Steel or Fiberglass Door with Wood Frame	Insulated. Optional: half-lite or full glass. Security dead-bolt lockset.
2	SS	2'-8"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite. Privacy lockset.
3	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
4	BP	5'-0"	6'-8"	Bi-Parting Door with Wood Frame	Four or six panel. Wood or composite.
5	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
6	SS	2'-8"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
7	SS	2'-8"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite. Privacy lockset.
8	SS	3'-0"	6'-8"	Steel or Fiberglass Door with Wood Frame	Insulated. Optional: half-lite or full glass. Security dead-bolt lockset.
9	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
10	SS	2'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
11	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Insulated. Optional: half-lite or full glass. Security dead-bolt lockset.
12	BP	5'-0"	6'-8"	Bi-Parting Door with Wood Frame	Four or six panel. Wood or composite.
2ND FLOOR					
16	SS	3'-0"	6'-8"	Insulated Wood with Wood Frame	Four or six panel. Wood or composite.
17	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
18	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel. Wood or composite.
19	SS	3'-0"	6'-8"	Insulated Wood with Wood Frame	Insulated. Security dead-bolt lockset.
20	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
21	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
22	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
23	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
24	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
25	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
26	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
27	SL	6'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel. Wood or composite.
Grand total 27					

### WINDOW SCHEDULE

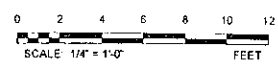
TAG	WIDTH	HEIGHT	SELL HEIGHT	COMMENTS
BASEMENT				
A	2'-8"	11'-3"	5'-9"	BASEMENT AWNING UNIT WITH SCREEN
A.5	H	7'-8"	3'-6"	BASEMENT CASEMENT UNIT WITH SCREEN. EGRESS OPENING WITH WINDOW WELL AS REQUIRED BY CODE SECTION R310.2
1ST FLOOR				
B	3'-0"	4'-8"	2'-0"	DOUBLE HUNG W/ SCREEN
B.2	C	6'-0"	4'-8"	DOUBLE HUNG UNIT (FACTORY MULL) DOUBLE HUNG. EGRESS OPENING AT BEDROOMS 1 AND 2
C.3	D	1'-6"	3'-0"	DOUBLE HUNG W/ SCREEN
D.2	E	2'-0"	3'-0"	DOUBLE HUNG W/ SCREEN
2ND FLOOR				
F.2	F	5'-0"	4'-0"	DOUBLE HUNG UNIT (FACTORY MULL) DOUBLE HUNG
G.4	G	12'-8"	4'-0"	CASEMENT UNIT. EGRESS OPENING
Grand total 21				



2 EAST ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"



> design team

> civil consultant:

> structural consultant:

> MEP consultant:

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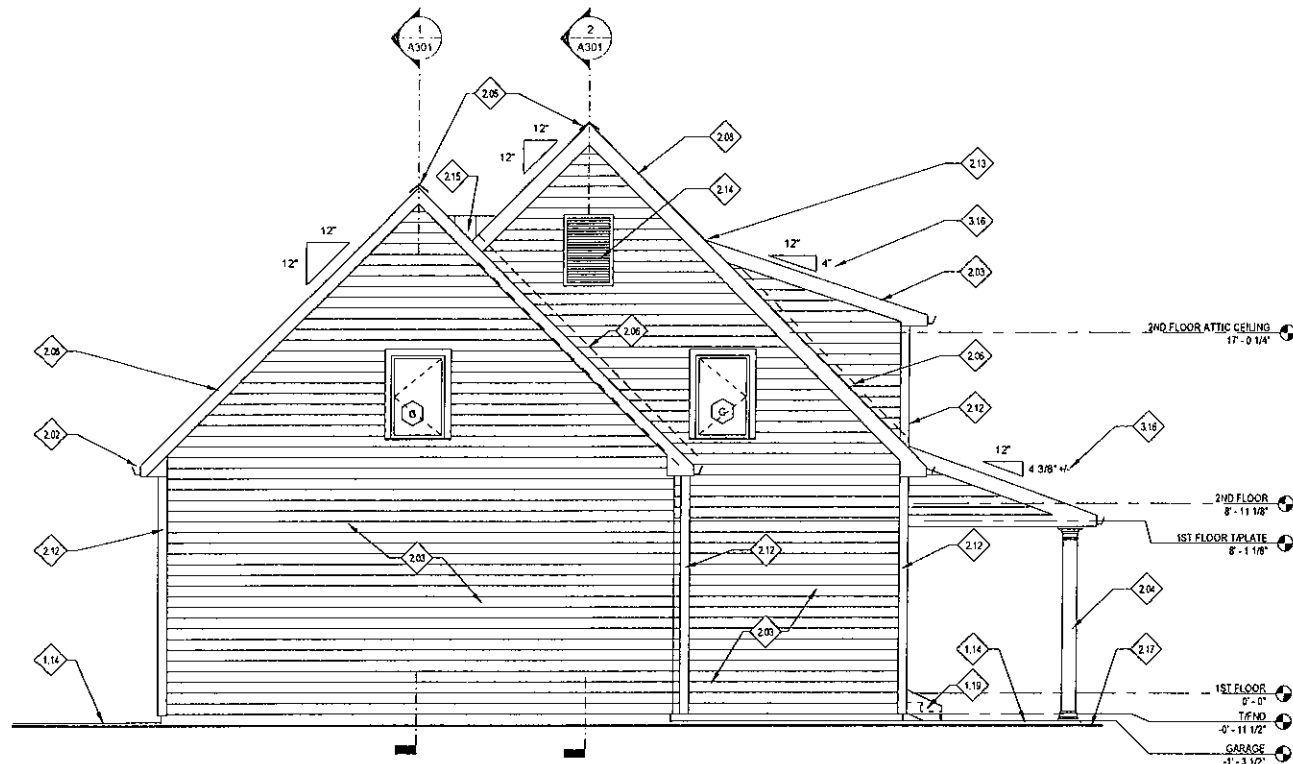
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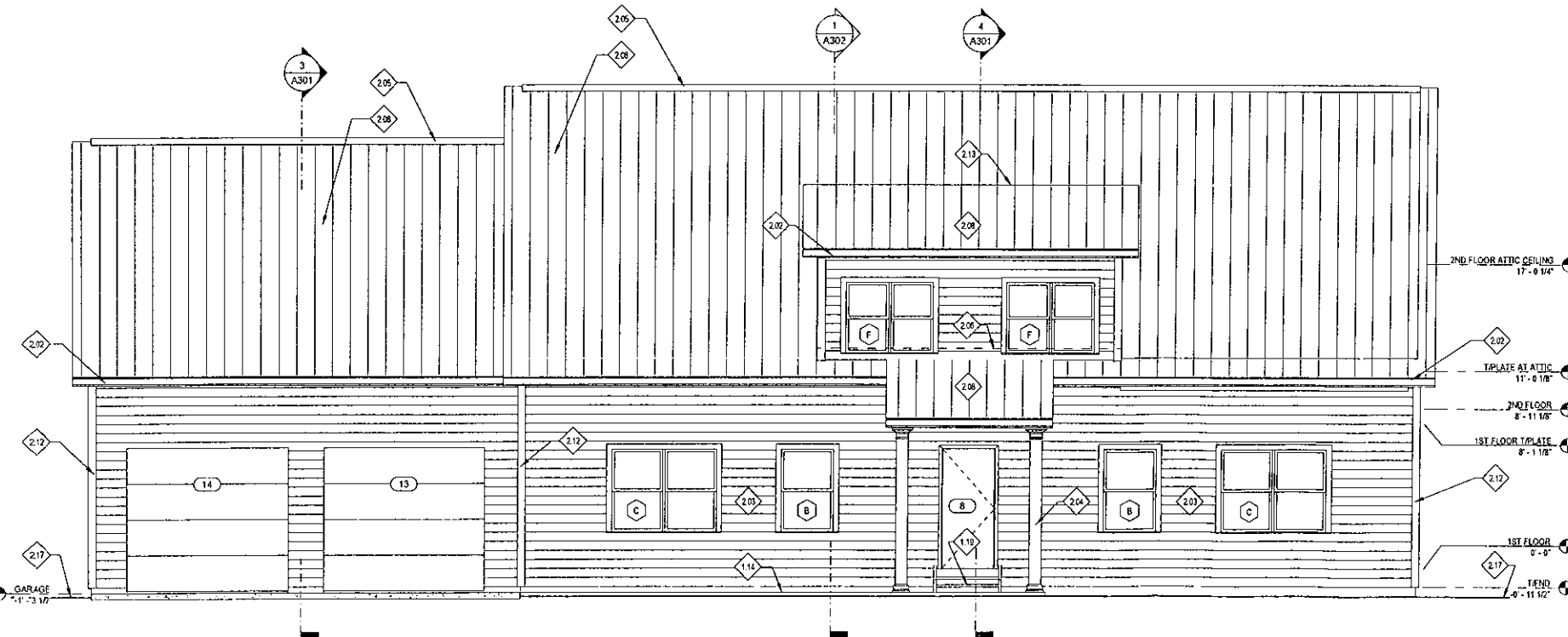
UNLESS OTHERWISE NOTED	
FASCIA	6"
CORNER BOARDS	4"
EAVE OVERHANGS	1'-0"
RAKE OVERHANGS	1'-0"
SIDING	VINYL SIDING IN COLOR/STYLE AS SELECTED BY OWNER.
ROOFING	ROOF FINISH: STANDING SEAM CONCEALED FASTENER METAL PANEL IN COLOR AS SELECTED "COLONIAL SEAM", 24 BY ATAS, INC. OR EQUAL. METAL ROOF PANEL INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R905.10.
GUTTERS/DOWNSPOUTS	5" SEAMLESS ALUMINUM GUTTER WITH LEADERS AND DOWNSPOUTS (SITE DRAINAGE TBD BY OWNER)
MIN. FTG. DEPTH	3'-6" BELOW FINISH GRADE LEVEL, OR AS OTHERWISE DIRECTED BY LOCAL CODE.
TOP PLATE	
FIRST FLOOR	#1-1 1/8" ABOVE SUBFLOOR
SECOND FLOOR	#1-1 1/8" ABOVE SUBFLOOR
WINDOW HEAD HEIGHT:	
FIRST FLOOR	6'-8" ABOVE SUBFLOOR
SECOND FLOOR	6'-8" ABOVE SUBFLOOR
WINDOW MANUFACTURER	TBD BY OWNER
ROOF VENTING	INTAKE: VENTED VINYL SOFFIT PANEL EXHAUST: CONTINUOUS RIDGE VENT ROOF VENTING SHALL COMPLY WITH REQUIREMENTS OF SECTION R905 OF NYS RESIDENTIAL CODE. SEE ROOF PLAN NOTES SHEET A104 FOR DETAILS.

KEYED NOTES

1.14	EXTERIOR HARDSCAPE, TYPICAL. MINIMUM 4" THICK FIBER-REINFORCED CONCRETE SLAB-ON-GRADE OVER MINIMUM 4" COMPACTED POROUS FILL. ALTERNATE: CONCRETE UNIT PAVERS OR OTHER CONCRETE, BRICK, TILE, OR STONE UNIT PAVERS OVER APPROVED SUBSTRATE.
1.19	EXTERIOR STAIRS FROM HOUSE MAIN FLOOR DOWN TO GRADE. PROVIDE P.T. 2X12 STRINGERS, MINIMUM TREAD DEPTHS: MAXIMUM RISER HEIGHT=8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.7).
2.02	5" SEAMLESS ALUMINUM GUTTER WITH LEADERS AND DOWNSPOUTS, TYPICAL (SITE DRAINAGE TBD BY OWNER)
2.03	HORIZONTAL SIDING AS SELECTED BY OWNER OR TVEX HOUSE WRAP OR 1/2" CDX APA-RATED PLYWOOD OR OSB SHEATHING ON 2X6 WOOD STUDS AT 16" OC WITH 2" BATT INSULATION AT WALL CAVITY AND VAPOR RETARDER ON WARMER WINTER SIDE OF INSULATION
2.04	SUPPORT COLUMN FINISH MATERIALS COORDINATED WITH VINYL SIDING & TRIM MANUFACTURER'S SYSTEM COMPONENTS. ALTERNATE: AZEK BOARDS AND MOLDING COMPONENTS, OR EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2.05	ROOF RIDGE VENT: METAL RIDGE CAP AS PART OF THE METAL PANEL MANUFACTURER'S INTEGRATED ROOF SYSTEM. SEE ROOF VENTING NOTES AT ROOF LEGEND-SHEET A104.
2.06	CONCEALED FLASHING, TYPICAL
2.08	ROOF: METAL ROOF PANELS IN STYLE AND COLOR AS SELECTED. INSTALLATION OF METAL PANEL SYSTEM AND UNDERLAYMENT TO COMPLY WITH SECTION R905.10.
2.12	4" CORNER TRIM, AZEK OR EQUAL
2.13	ROOF SLOPE TRANSITION: PROVIDE SELF-ADHERING MEMBRANE UNDERLAYMENT AT HOUSE MAIN ROOF-TO-SHED ROOF TRANSITION AS SHOWN AT ROOF PLAN, SHEET A104.
2.14	DECORATIVE ATTIC VENT TO BE SELECTED BY OWNER
2.15	CRICKET: INSTALL ROOF CRICKET AT HOUSE-GARAGE ROOF INTERFACE. PROVIDE SELF-ADHERING MEMBRANE UNDERLAYMENT UNDER CRICKET AREA TO EXTEND A MINIMUM OF 2'-0" HORIZONTALLY FROM THE ROOF EAVE EDGE AND CONTINUOUS DOWN THE ROOF SLOPE TO THE AREA OF ICE PROTECTION.
2.17	ASSUMED GRADE
2.18	ADJUST PORCH ROOF SLOPE AS REQUIRED TO INTERSECT WITH MAIN ROOF SLOPE AT DORMER WALL.



2 WEST ELEVATION  
1/4" = 1'-0"



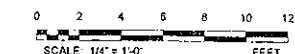
1 SOUTH ELEVATION  
1/4" = 1'-0"

DOOR SCHEDULE

DOOR R#	CONFIGURATION	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
GARAGE					
13	OH	8'-0"	8'-0"	Garage Door	
14	OH	8'-0"	8'-0"	Garage Door	
15	SS	3'-0"	8'-8"	Steel or Fiberglass Door with Wood Frame	
1ST FLOOR					
1	SS	3'-0"	6'-8"	Steel or Fiberglass Door with Wood Frame	Insulated, Optional: half-life or full glass. Security dead-bolt lockset
2	SS	7'-8"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite, Privacy lockset
3	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite, Privacy lockset
4	BP	5'-0"	6'-8"	Bi-Parting Door with Wood Frame	Four or six panel, Wood or composite
5	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite
6	SS	7'-8"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite
7	SS	2'-8"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite, Privacy lockset
8	SS	3'-0"	6'-8"	Steel or Fiberglass Door with Wood Frame	Insulated, Optional: half-life or full glass. Security dead-bolt lockset
9	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite
10	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite
11	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Insulated, Optional: half-life or full glass. Security dead-bolt lockset
12	BP	5'-0"	6'-8"	Bi-Parting Door with Wood Frame	
2ND FLOOR					
16	SS	3'-0"	6'-8"	Insulated Wood with Wood Frame	Four or six panel, Wood or composite
17	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite
18	SS	3'-0"	6'-8"	Wood Door with Wood Frame	Four or six panel, Wood or composite
19	SS	3'-0"	6'-8"	Insulated Wood with Wood Frame	Insulated, Security dead-bolt lockset
20	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
21	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
22	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
23	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
24	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
25	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
26	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite
27	SL	5'-0"	6'-8"	Sliding Door with Wood Frame	Four or six panel, Wood or composite

WINDOW SCHEDULE

TAG	WIDTH	HEIGHT	SILL HEIGHT	COMMENTS
BASEMENT				
A	2'-8"	1'-3"	3'-3"	BASEMENT WINDOW UNIT WITH SCREEN
A.5	7'-8"	3'-5"	3'-2"	BASEMENT CASEMENT UNIT WITH SCREEN, EGRESS OPENING WITH WINDOW WELL AS REQUIRED BY CODE SECTION R310.2
1ST FLOOR				
B	3'-0"	4'-8"	2'-0"	DOUBLE HUNG W/ SCREEN
B.2	6'-0"	4'-8"	2'-0"	DOUBLE UNIT (FACTORY MULL) DOUBLE HUNG EGRESS OPENING AT BEDROOMS 1 AND 2
C.3	11'-6"	3'-0"	3'-0"	DOUBLE HUNG W/ SCREEN
D.2	2'-0"	3'-0"	3'-0"	DOUBLE HUNG W/ SCREEN
2ND FLOOR				
F	15'-0"	4'-0"	3'-0"	DOUBLE UNIT (FACTORY MULL) DOUBLE HUNG
F.2	2'-8"	4'-0"	3'-0"	CASEMENT UNIT, EGRESS OPENING
G.4	2'-8"	4'-0"	3'-0"	CASEMENT UNIT, EGRESS OPENING
Grand total 21				





> design team

> civil consultant:

> structural consultant:

> MEP consultant:

> project information

> owner agency  
SCOTT DICEY AND MICHELE BUCCINNA  
8910 SOUTH LAKE STREET ROAD  
CORFU, NEW YORK 14038  
565.402.8077

DICEY-BUCCINNA RESIDENCE  
6455 SALT ROAD  
CLARENCE, NEW YORK 14031

> project



WARNING  
Any alteration to this document not conforming to section 1703  
& 1707 New York State Education Law is void and prohibited.

revision schedule		
no.	description	date

> drawing information

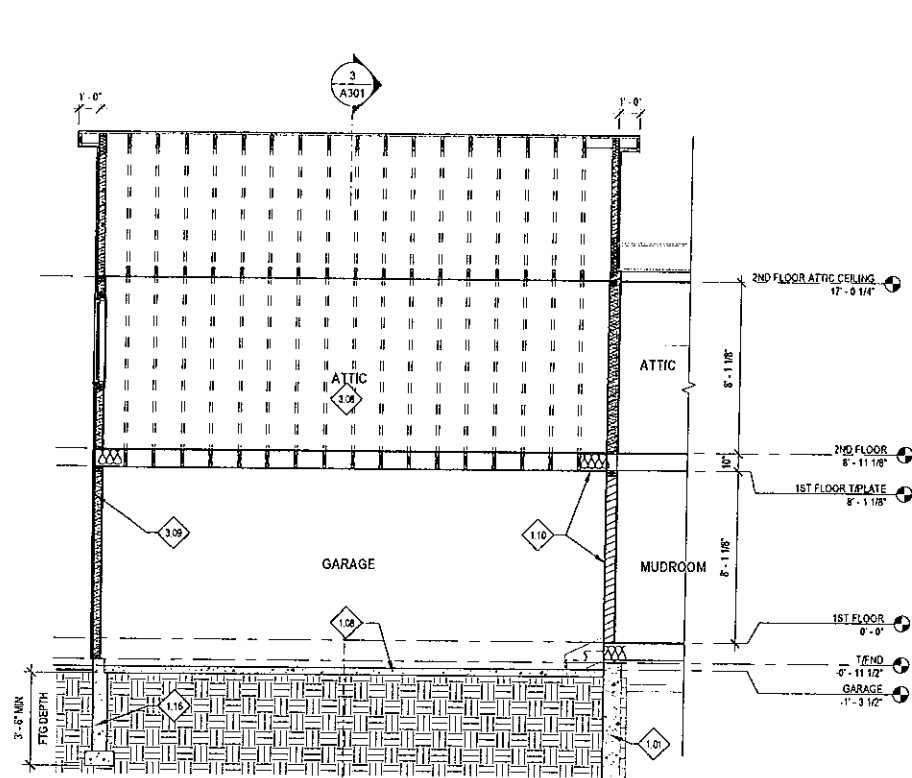
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date 08.05.2024  
drawn by TEAMK  
checked by EES  
scale 1/4" = 1'-0"  
copyright smartDESIGN architecture, p.l.c. © 2024

> sheet name

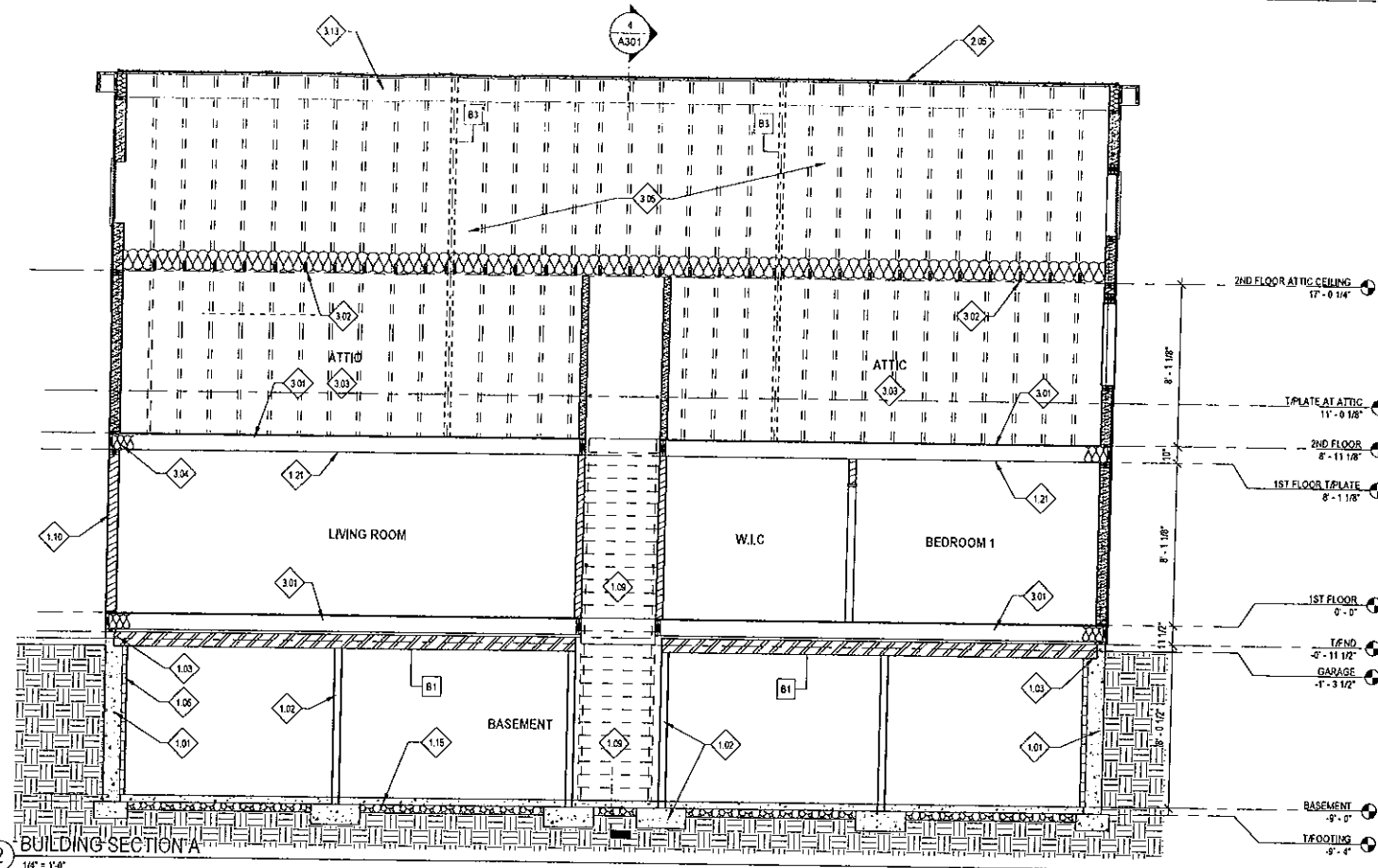
BUILDING SECTIONS

A301

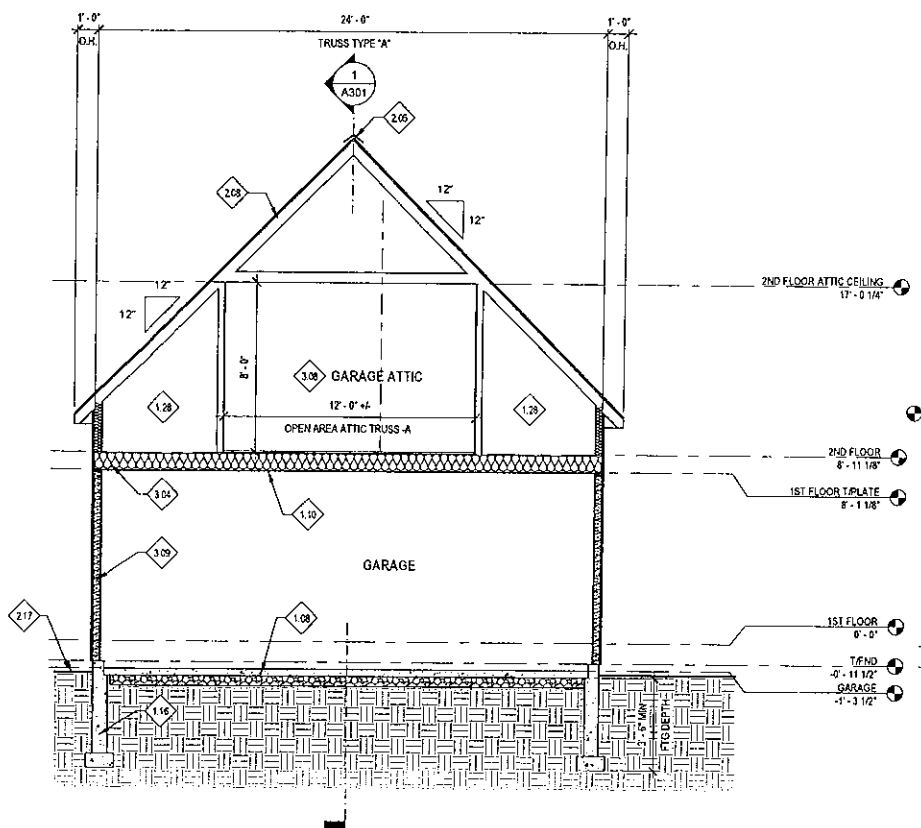
sheet number



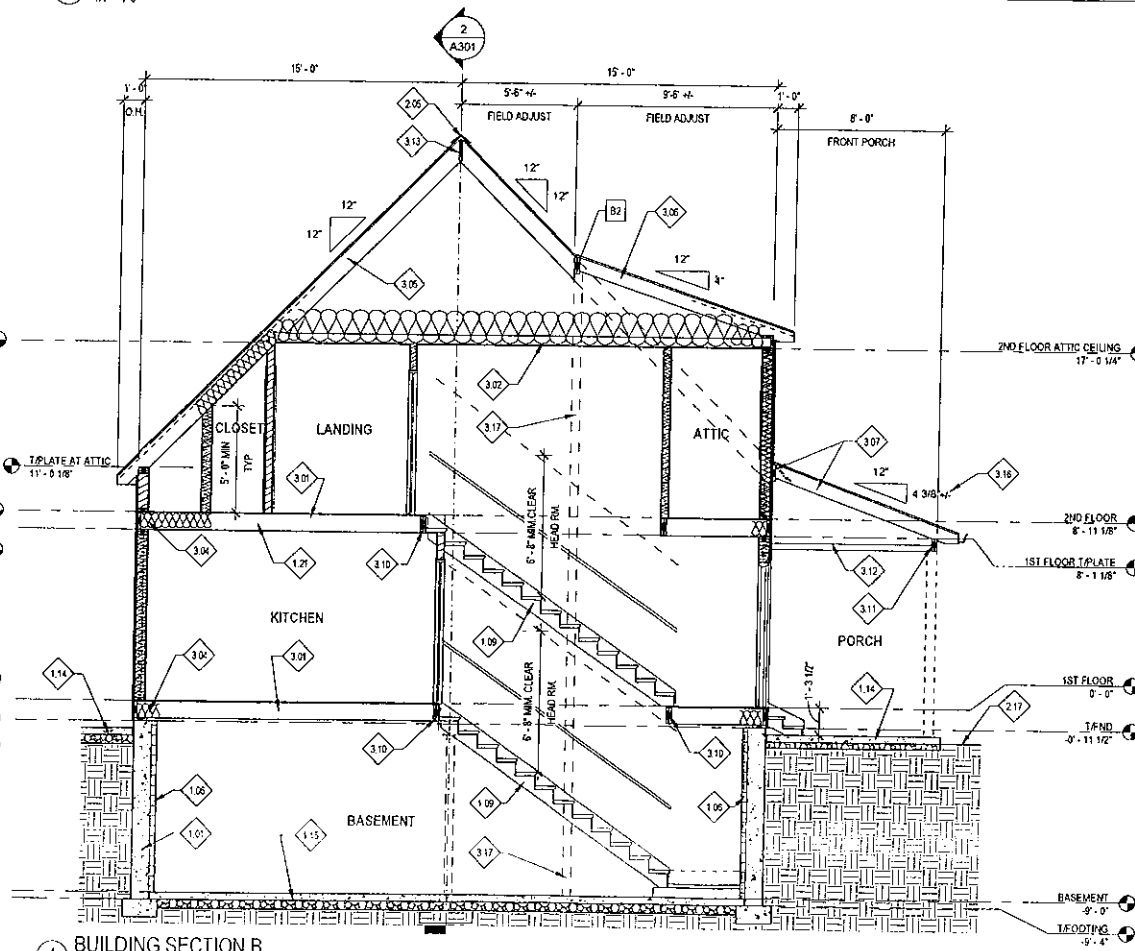
1 GARAGE SECTION A  
1/4" = 1'-0"



2 BUILDING SECTION A  
1/4" = 1'-0"



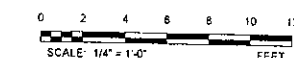
3 GARAGE SECTION B  
1/4" = 1'-0"



4 BUILDING SECTION B  
1/4" = 1'-0"

KEYED NOTES

- 1.01 12" THICK CONCRETE FOUNDATION WALL ON MINIMUM 20" WIDE X 8" THICK REINFORCED CONTINUOUS STRIP FOOTING. PROVIDE VERTICAL REINFORCEMENT WITH #5 REBAR AT 32" O.C. PROVIDE HORIZONTAL REINFORCEMENT WITH ONE (1) #4 REBAR WITHIN 12" OF THE TOP OF THE WALL, AND ONE (1) #4 REBAR NEAR THE END POINT OF THE WALL HEIGHT.
- 1.02 3" DIAMETER ADJUSTABLE STEEL COLUMN ON MINIMUM 30"x30"x12" CONCRETE ISOLATED FOOTING
- 1.03 BEAM POCKET (TYPICAL) MINIMUM 12" WIDE, GROUT CORES SOUND. PROVIDE 1/2" MINIMUM AIR GAP AT ENDS AND SIDES OF BEAM. LINE WITH METAL SHEILD.
- 1.04 PROVIDE 2" MIN R-15 RIGID INSULATION CONTINUOUS FROM BASEMENT FLOOR SLAB TO TOP OF FOUNDATION WALL. MATERIALS MUST COMPLY WITH CODE FOR INSULATION, FIRE SPREAD INDEX AND SMOKE DEVELOPED INDEX (DOW BRAND "TUFF R" OR EQUIVALENT). TAPE ALL SEAMS.
- 1.05 GARAGE FLOOR: MIN 4" THICK 3,500 PSI CONCRETE W/ FIBER MESH REINFORCEMENT OVER MIN 6" IRL VAPOR BARRIER ON MIN 6" THICK COMPACTED POROUS FILL BASE. OPTIONAL 6X6X10 WWF REINFORCEMENT WITHIN CONCRETE SLAB. SLOPE TO DOORS.
- 1.06 WOOD FRAMED STAIRS, PROVIDE MIN. (3) 2X12 STRINGERS. MINIMUM TREAD DEPTH - 9", MAXIMUM RISER HEIGHT - 8 1/4". PROVIDE STAIR HANDRAIL PER CODE (R311.7).
- 1.10 PROVIDE FIRE SEPARATION AT ALL SHARED HOUSE-GARAGE WALLS WITH ONE (1) LAYER 1/2" GWB APPLIED TO THE GARAGE SIDE, HORIZONTAL SEPARATION AT FLOOR-CEILING ASSEMBLY ONE (1) LAYER 5/8" TYPE X GWB OVER THE STRUCTURE AT GARAGE SIDE. TAPE AND FINISH ALL SEAMS AND JOINTS PER CODE REQUIREMENTS.
- 1.14 EXTERIOR HARDSCAPE: TYPICAL MINIMUM 4" THICK FIBER-REINFORCED CONCRETE SLAB-ON-GRADE OVER MINIMUM 4" COMPACTED POROUS FILL. ALTERNATELY CONCRETE UNIT PAVERS OR OTHER CONCRETE, BRICK, TILE, OR STONE UNIT PAVERS OVER APPROVED SUBSTRATE.
- 1.15 BASEMENT FLOOR: MIN 4" THICK 2,500 PSI CONCRETE W/ FIBER MESH REINFORCEMENT OVER MINIMUM 2" IRL VAPOR BARRIER ON MINIMUM 4" THICK COMPACTED POROUS FILL BASE.
- 1.16 8" THICK CONCRETE FOUNDATION WALL ON MINIMUM 16" WIDE X 8" THICK REINFORCED CONTINUOUS STRIP FOOTING. REDUCE WALL THICKNESS TO 6" WITH 2" SLAB LEDGE AT GARAGE FLOOR LEVEL. SEE BUILDING SECTION 3A301 FOR DETAILS. PROVIDE VERTICAL AND HORIZONTAL REINFORCEMENT AS TYPICAL FOR HOUSE FOUNDATION WALL.
- 1.21 CEILING: 1/2" GWB ON FLOOR/CEILING JOISTS, TYPICAL.
- 1.28 UNFINISHED AREA - TRUSS WEBBING.
- 2.05 ROOF RIDGE VENT: METAL RIDGE CAP AS PART OF THE METAL PANEL MANUFACTURER'S INTEGRATED ROOF SYSTEM. SEE ROOF VENTING NOTES AT ROOF LEGEND SHEET A104.
- 2.08 TRUSS METAL ROOF PANELS IN STYLE AND COLOR AS SELECTED. INSTALLATION OF METAL PANEL SYSTEM AND UNDERLAYMENT TO COMPLY WITH SECTION R905.10.
- 2.17 ASSUMED GRADE.
- 3.01 FLOOR FRAMING: 2X10 FLOOR JOISTS @ 16" O.C. WITH 3/4" PLYWOOD, OSB, OR "ADVANTECH" SUBFLOOR SHEATHING (GLUED AND NAILED).
- 3.02 2X8 CEILING JOISTS @ 16" O.C. W/ R-49 ATTIC INSULATION.
- 3.03 ATTIC AREA SHALL BE UNFINISHED. STAIRWELL WALLS AND DOOR, EXTERIOR GABLE WALLS, AND ATTIC DOOR SHALL BE INSULATED. ALL OTHER INTERIOR WALLS ARE OPTIONAL FOR FUTURE FINISH.
- 3.04 PROVIDE MINIMUM R-38 INSULATION AT RIM JOIST AND OPTIONAL AT ATTIC TRUSS FLOOR CAVITY, TYPICAL.
- 3.05 2X10 RAFTERS @ 16" O.C.
- 3.06 2X8 RAFTERS @ 16" O.C.
- 3.07 2X6 RAFTERS @ 16" O.C. PROVIDE MINIMUM 2X3 LEDGER ATTACHED DIRECTLY TO HOUSE WALL STUDS WITH MINIMUM 4" STRUCTURAL SCREWS - TWO ROWS.
- 3.08 ATTIC TRUSS: A USABLE OPEN AREA IS SCHEMATIC AS SHOWN. FINAL TRUSS DESIGN BY OTHERS. SEE TRUSS DIAGRAM 2A101 FOR DETAILS. PROVIDE 3/4" PLYWOOD SUBFLOOR OVER TRUSS BOTTOM CHORD AT OPEN USABLE AREA.
- 3.09 GARAGE FRAME WALL: 1/2" PLYWOOD OR OSB SHEATHING OVER 2X4 STUDS @ 16" O.C.
- 3.10 (1) 2X10 STAIR HEADER, TYPICAL.
- 3.11 (2) 2X8 HEADER AT PORCH, TYPICAL.
- 3.12 2X4 CEILING JOISTS @ 16" O.C. WITH WYLL CEILING PANEL IN STYLE AND COLOR AS SELECTED.
- 3.13 2X12 RIDGE.
- 3.16 ADJUST PORCH ROOF SLOPE AS REQUIRED TO INTERSECT WITH MAIN ROOF SLOPE AT DORMER WALL.
- 3.17 OUTLINE OF SUPPORT COLUMN. CONTINUOUS FROM BEAM B2 AT SHED ROOF TO FOUNDATION AT BASEMENT BELOW.









\*\*\*note the parcel lines displayed are approximate\*\*\*

## 5715 Salt Road

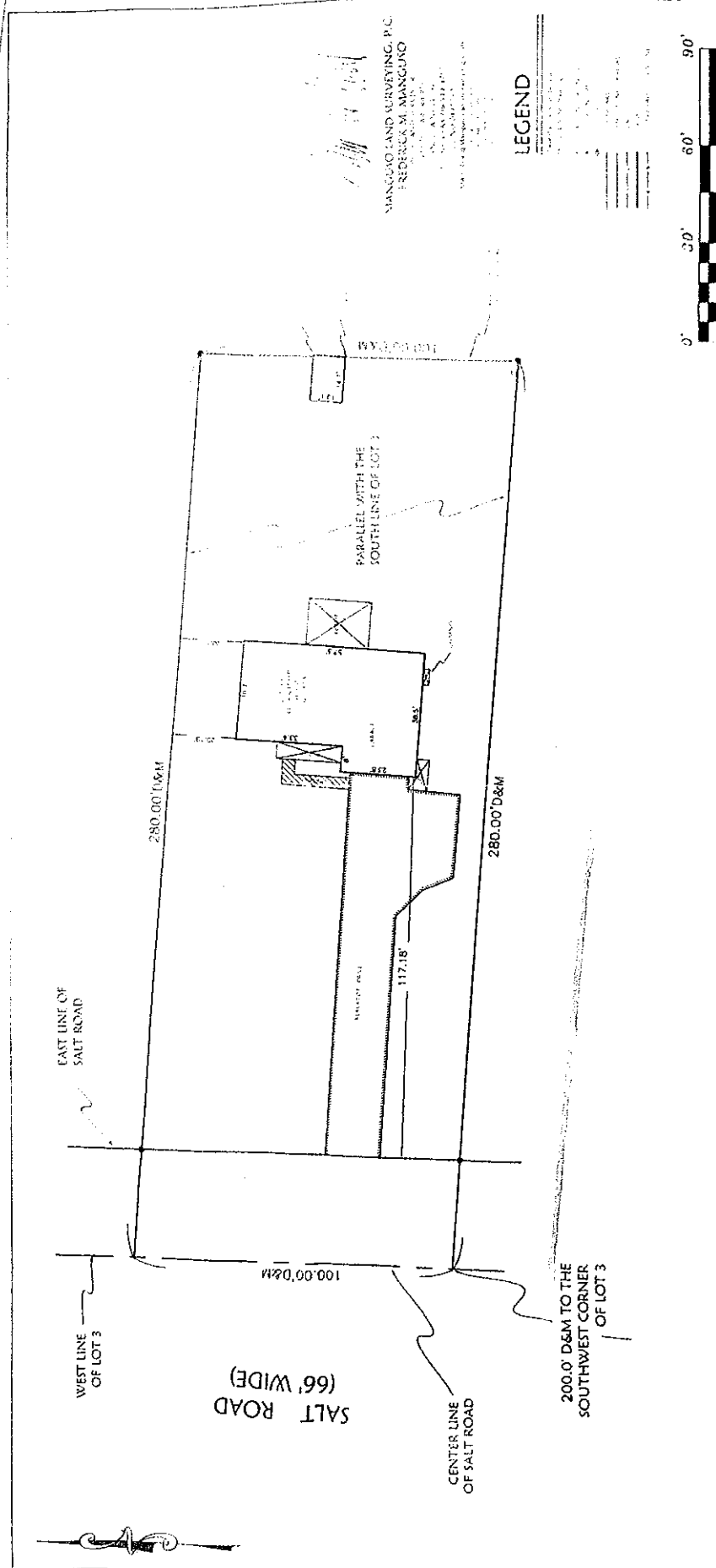


Proposed detached accessory structure (gazebo) setback 5' from the principal structure.

The minimum accessory structure setback from the principal structure is 6'.

A 1' variance is requested.





MANUVO LAND SURVEYING, P.C.  
 FREDERICA M. MANUVO  
 1000 W. 10th St.  
 Erie, PA 16590  
 TEL: 814-863-1111  
 FAX: 814-863-1112  
 WWW.MANUVO.COM

**LEGEND**

---	Property Line
---	Survey Line
---	Right of Way Line
---	Center Line
---	Other

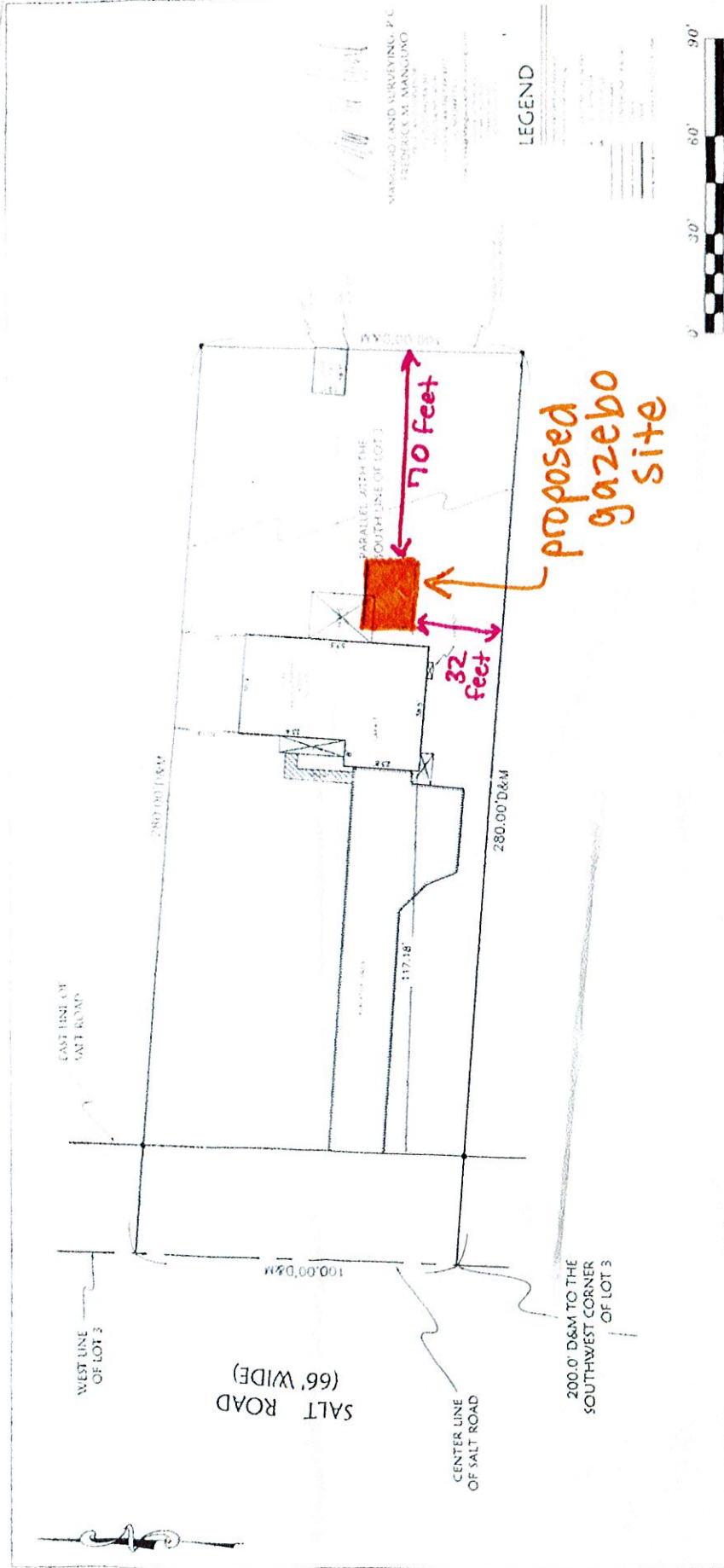


**SURVEY NOTES**

1. UNMUTATED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7108, SUB-CHAPTER 1 OF THE PENNSYLVANIA EDUCATION CODE OF THE PENNSYLVANIA STATUTES.
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4. IN ADDITION TO THE INFORMATION CONTAINED HEREIN, THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OTHER INFORMATION THAT WOULD AFFECT THE RESULTS OF THIS SURVEY.
5. ONLY TITLE SURVEYS BEARING THE UNITED STATES SEAL SHOULD BE REPRODUCED UNLESS OTHERWISE SPECIFIED BY THE SURVEYOR. OTHER THAN REPRODUCED MAPS, THESE MAPS CONTAIN UNAUTHORIZED AND ILLEGAL REPRODUCTIONS OF THE ORIGINAL SURVEY MAPS.
6. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO OTHER INFORMATION THAT WOULD AFFECT THE RESULTS OF THIS SURVEY.

**5715 SALT ROAD**

<b>DRAWN BY</b>	<b>DATE</b>	<b>PART OF LOT 3, SEC. 3, T12, R6</b>
<b>FILED</b>	<b>10/07/11</b>	<b>TOWN OF CLARENCE</b>
<b>APPROVED</b>	<b>DATE</b>	<b>COUNTY OF ERIE</b>
<b>FMM</b>	<b>10/07/11</b>	<b>STATE OF NEW YORK</b>
<b>SCALE</b>	<b>SHEET</b>	<b>PROJECT NO.</b>
<b>1" = 30'</b>		<b>2011534</b>



### 5715 SALT ROAD

DRAWN	DATE	PART OF LOT 3, SEC 3, T12, R10
TMS	10/07/11	TOWN OF CLARENCE
APPROVED	DATE	COUNTY OF ERIE
FMM	10/07/11	STATE OF NEW YORK
SCALE	SHEET	PROJECT NO.
1" = 30'		2011534

### SURVEY NOTES

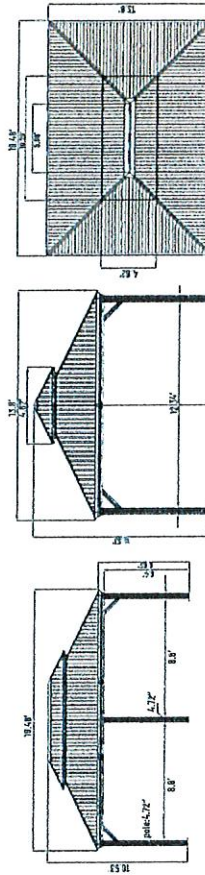
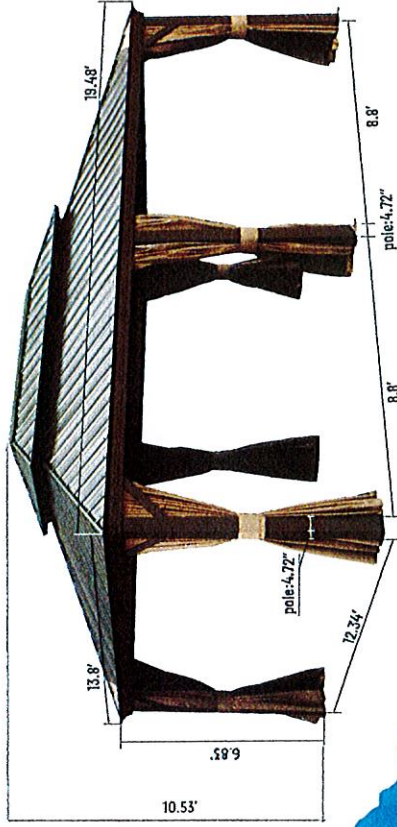
1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISIONS OF THE NEW YORK STATE EDUCATION LAW.
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4. THE LOCATION OF ANY STRUCTURE OR IMPROVEMENTS SHOWN ON THIS AND ALL PREVIOUS EDITIONS OF THIS MAP MUST BE MAINTAINED.
5. ONLY THE SURVEY BEARING THE SURVEYOR'S SEAL SHOULD BE REPLIED UPON SINCE OTHER MAPS MAY BE SUBJECT TO DISCREPANCY UNLESS THEY ARE SPECIFICALLY REFERENCED BY THIS DOCUMENT.
6. THE LOCATION OF ANY STRUCTURE OR IMPROVEMENTS SHOWN ON THIS AND ALL PREVIOUS EDITIONS OF THIS MAP MUST BE MAINTAINED.



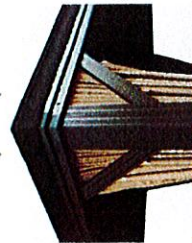
## 14\*20 FT

### Hardtop Gazebo

Create a comfortable and safe outdoor retreat in the yard for your family and friends.

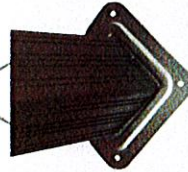


More Sturdy



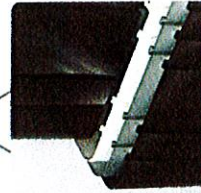
Triangular Structure

More Durable



Anchored Design

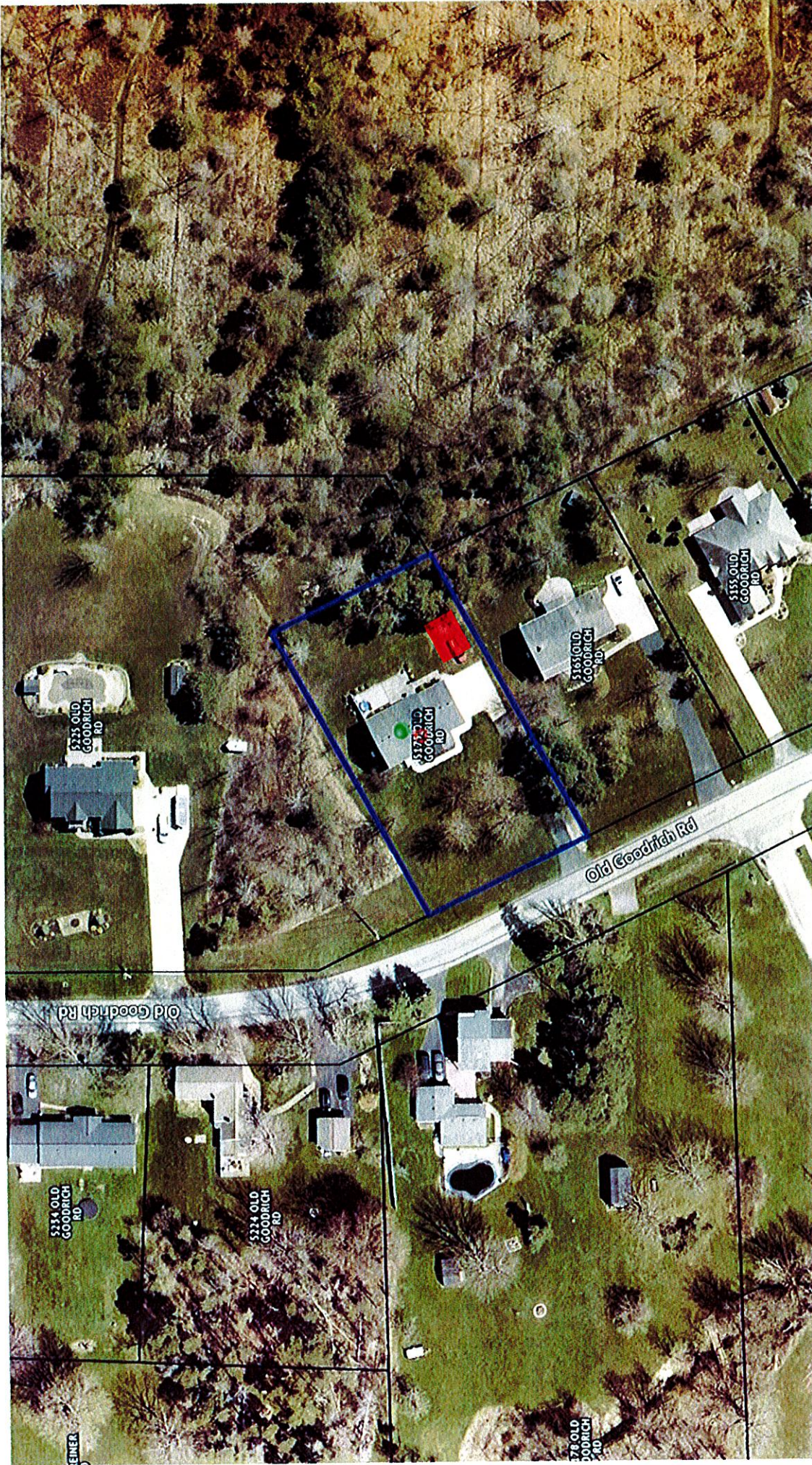
More Stable



Aluminum Frame







\*\*\*note the parcel lines displayed are approximate\*\*\*

Proposed 612 sq.ft. detached accessory structure (pole barn). The maximum allowable square footage for a detached accessory structure when an attached garage exists is 200 sq.ft. A 412 sq.ft. variance is requested.

Proposed 10' tall overhead garage door. The maximum allowable height of an overhead door is 9' tall. A 1' variance is requested.

Proposed detached accessory structure with metal siding. Accessory structures with a total area exceeding 400 sq.ft. shall be constructed using materials and features similar to the principal structure.



## 5175 Old Goodrich Road



# Request for Action

Town of Clarence | Office of Planning & Zoning  
(716)741-8933 | 1 Town Place, Clarence, NY 14031

## Town Use Only

Date: 8/19/2024

Received By: Andrew Schaefer

APPLICANT REQUEST:

Project Address: 5175 Old Goodrich Rd. Clarence NY 14031

SBL #: 58.18-4-16.2

**Action Desired:**

Area variance for an accessory building greater than 400 sq. feet.

**Reason:**

For purpose of constructing a detached garage.

CONTACT INFO:

### APPLICANT INFO

Name / Business: Matthew Reid  
E-Mail: \_\_\_\_\_  
Phone #: \_\_\_\_\_  
Address: \_\_\_\_\_  
Town: \_\_\_\_\_

### SIGNATURE

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

Signed: \_\_\_\_\_

### PROJECT SPONSOR INFO (If Different Than Applicant)

Name / Business: Parco Building Systems  
E-Mail: \_\_\_\_\_  
Phone #: \_\_\_\_\_  
Address: \_\_\_\_\_  
Town: \_\_\_\_\_

### CORRESPONDENCE

Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.

<input checked="" type="checkbox"/>	Applicant
<input type="checkbox"/>	Project Sponsor

Town Use Only:

Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
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Action:	By:	On:	Fee:	Paid:
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Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____

OLD GOODRICH

66.0 WIDE

RD.

125.0

98.58 TO THE WEST LINE OF LOT 1.

125.0

86°38'

93°22'

No. 5175

102.86

38.12

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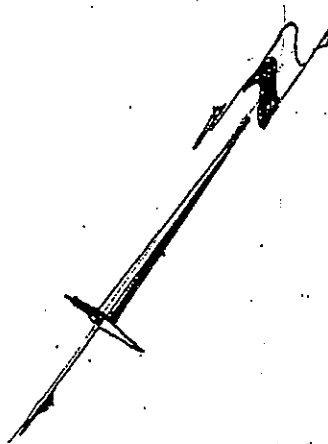
2.59

228.79

228.79

261.85

261.85



125.0

PARALLEL WITH OLD GOODRICH RD.

LOT 1, SEC. 10, T. 12, R. 6  
TOWN OF CLARENCE  
ERIE CO. NEW YORK

JOHN E. COVEY

265 BERNHARDT DRIVE • SNYDER, NEW YORK 14226

SCALE: 1 INCH = 30 FEET

DATE: AUG 1, 2003

PAGE: 13492

NUMBER: 03-57

RE-SURVEY

DATE: DEC 1, 2003

NUMBER: 03-100

X:\life by Design\2024\201-250\24-217 Parco Reid Post Frame\Final\Parco cover.dwg, 7/17/2024 12:51:09 PM, Xerox CB045

2" HIGH LETTER INDICATING CONSTRUCTION CLASSIFICATION

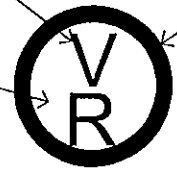
BACKGROUND SHALL BE REFLECTIVE WHITE

6"Ø CIRCLE W/ 1/2" STROKE WIDTH

2" HIGH LETTER INDICATING TYPE OF TRUSS OR ENGINEERED WOOD CONSTRUCTION: "F" FOR FLOOR FRAMING, "R" FOR ROOF FRAMING, "FR" FOR FLOOR & ROOF FRAMING

LETTERS & CIRCLE SHALL BE REFLECTIVE RED, CONFORMING TO PMS #187

NOTES:  
1. TRUSS IDENTIFICATION SIGNAGE SHALL BE AFFIXED TO THE ELECTRICAL BOX ATTACHED TO THE EXTERIOR OF THE RESIDENCE OR IN A LOCATION READILY VISIBLE TO FIRE FIGHTERS AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION



## SIGNAGE DETAIL

SCALE: N.T.S

1

## DRAWING INDEX

- A-1 ELEVATIONS
- A-2 FLOOR / POST PLAN
- A-3 TRUSS BRACING PLAN
- A-4 BUILDING & WALL SECTIONS

# PARCO BUILDING SYSTEMS, INC

6140 FIRST STREET, NEWFANE, NY 14108  
716-778-8552, FAX 716-778-8961

## MATTHEW REID

# 5175 OLD GOODRICH ROAD CLARENCE, NEW YORK

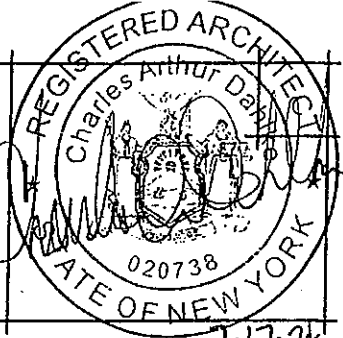

### GENERAL & STRUCTURAL NOTES

1. TOTAL BUILDING AREA: 432 S.F. W/ 192 S.F. OPEN LEAN-TO
2. FOOTING DESIGN ASSUMES A MINIMUM SOIL BEARING CAPACITY OF 2,000 PSF. SOIL PENETROMETER TEST SHALL BE CONDUCTED PRIOR TO CONSTRUCTION TO VERIFY ACTUAL SOIL BEARING CAPACITY. NOTIFY ARCHITECT IMMEDIATELY IF TEST INDICATES LESS THAN 2,000 PSF SOIL BEARING CAPACITY FOR RE-EVALUATION OF POST FOOTINGS
3. ALL FOOTINGS SHALL BEAR UPON UNDISTURBED OR COMPACTED SUB-GRADE
4. FOOTING BEARING POINTS SHALL MAINTAIN A MINIMUM DEPTH OF 42" TO 48" BELOW FINISH GRADE, AS DETERMINED BY THE BUILDING DEPARTMENT, FOR FROST PROTECTION FOR ENTIRE PERIMETER OF BUILDING
5. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE DESIGN STRENGTH OF 3,500 PSI
6. ROOF TRUSSES SHALL BE DESIGNED TO SUPPORT:
 

SNOW LOAD	32 PSF	(50 PSF GROUND SNOW LOAD)
DEAD LOAD	5 PSF	
WIND LOAD	115 MPH, EXPOSURE C	

charles a. dahlke, registered architect • 6324 robinson road, lockport, new york 14094 • 716 - 727 - 3191 • cadahlke@lifebydesign.com

7-17-24

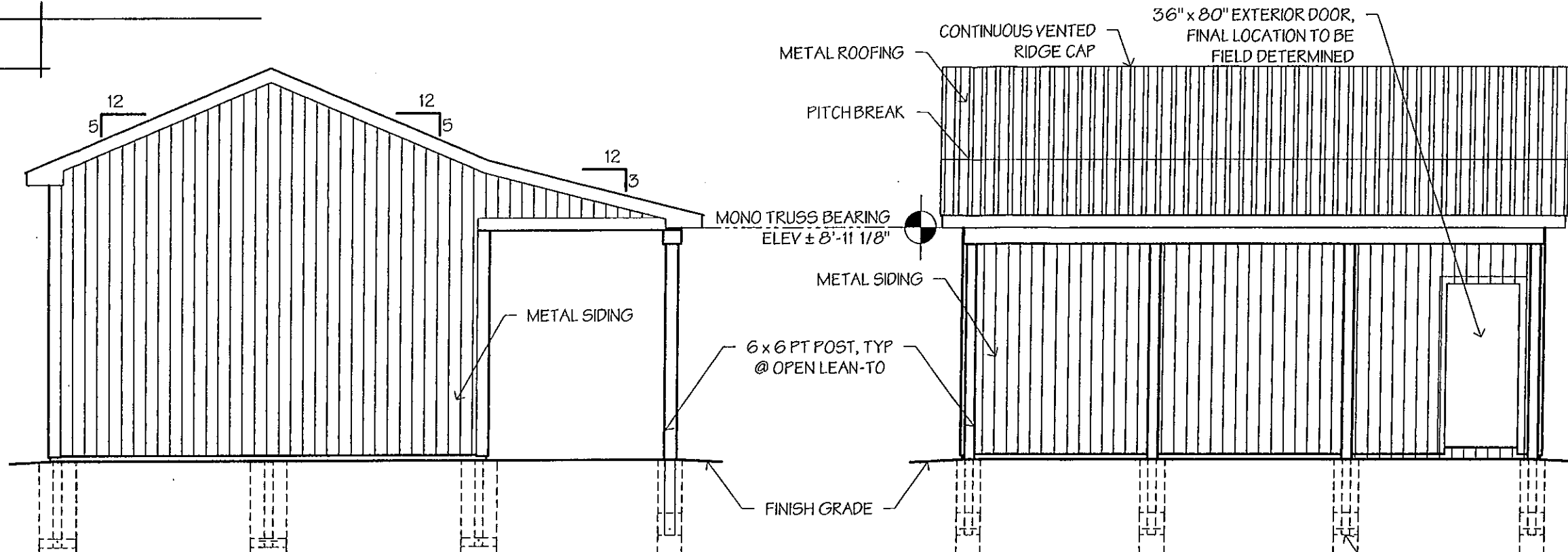
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PROJECT TITLE / LOCATION: REID POST FRAME CLARENCE, NEW YORK		CONTENTS ON SHEET: COVER SHEET	
DRAWING NO: <b>G-1</b>		CONTENTS ON SHEET: SHEET 1 OF 5	

24-217

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EAST ELEVATION

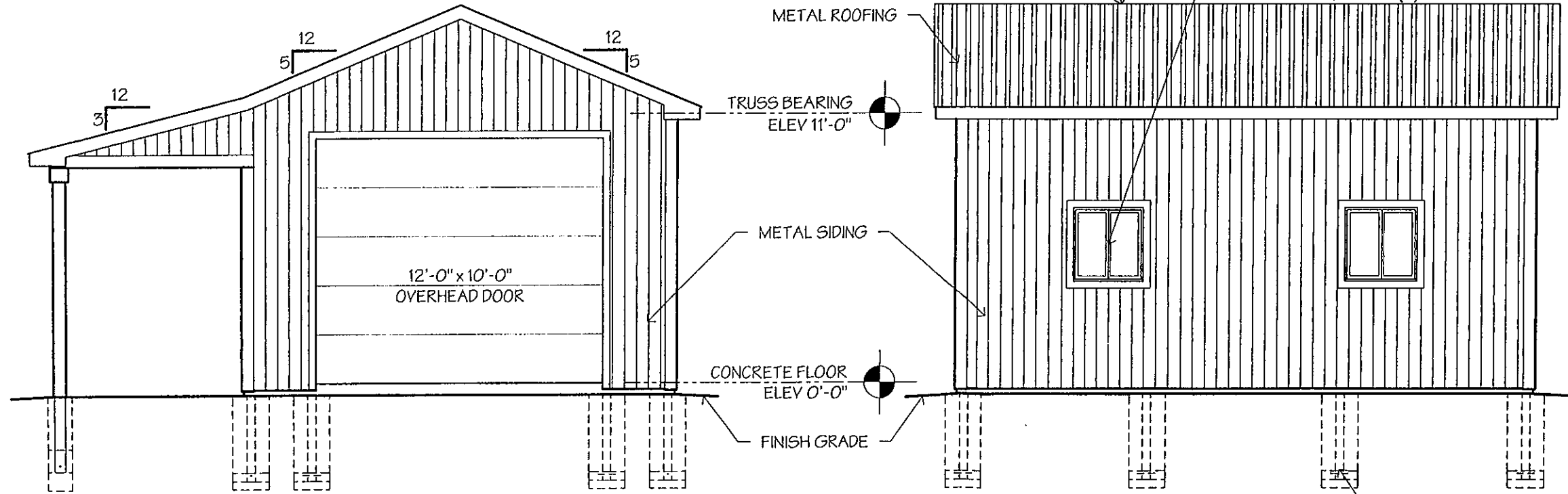
SCALE: 3/16" = 1'-0"

1

NORTH ELEVATION

SCALE: 3/16" = 1'-0"

2



WEST ELEVATION

SCALE: 3/16" = 1'-0"

3

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

4

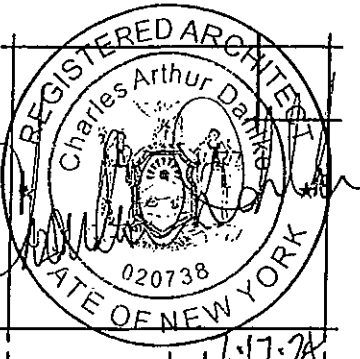
PARCO BUILDING SYSTEMS, INC

6140 FIRST STREET, NEWFANE, NY 14108  
716-778-8552, FAX 716-778-8961

cadahlke@bdarchitecture.com

registered architect

charles a. dahlke



PROJECT TITLE / LOCATION:  
REID POST FRAME  
CLARENCE, NEW YORK

SCALE:  
AS SHOWN

DATE:  
7-16-24

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147-24

SHEET 2 OF 5

CONTENTS ON SHEET:  
ELEVATIONS

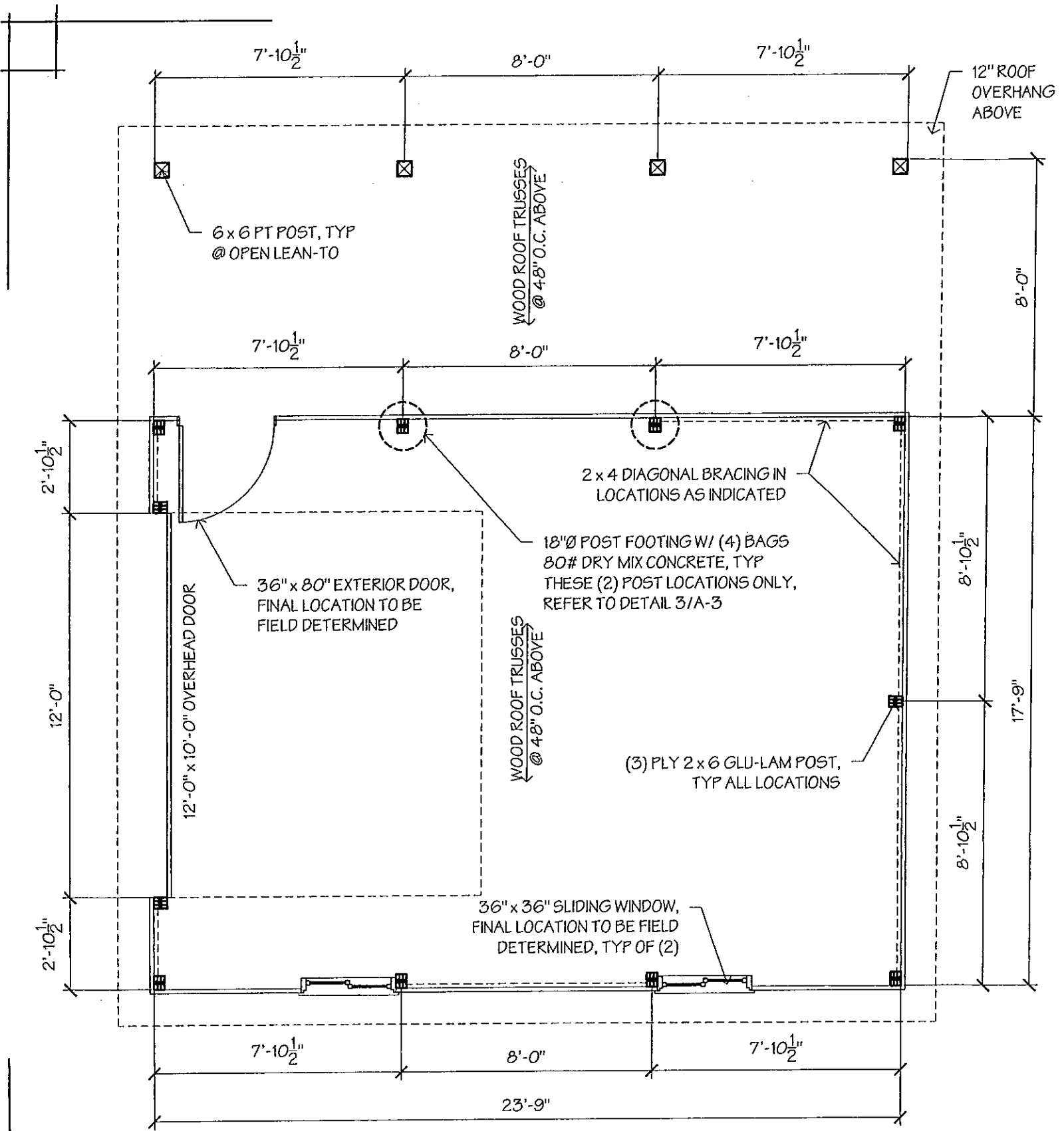
DRAWING NO:  
A-1

24-217

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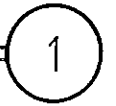
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**FLOOR / POST PLAN**

SCALE: 1/4" = 1'-0"



**LEAN-TO ROOF**

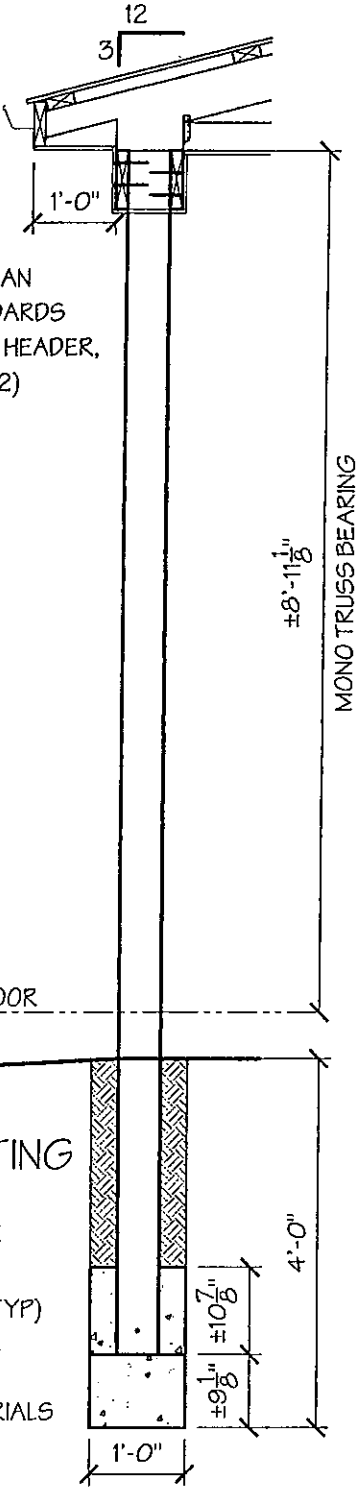
- METAL ROOFING
- 2 x 4 SPF #2 PURLINS @ 24" OC.
- PRE-ENGINEERED TRUSSES (BY OTHERS) W/ SPACING AS PER PLAN TO BE INSTALLED PER TPI STANDARDS
- (2) PLY 2 x 8 SPF #2 OR BETTER HEADER, WRAPPED, SECURE TO POST W/ (2) TIMBERLOK FASTENERS EA SIDE
- 2 x 6 FASCIA
- 1'-0" VENTED VINYL SOFFIT
- GUTTER W/ DOWNSPOUT
- METAL LINER PANEL ON CEILING

**LEAN-TO POST**

- 6 x 6 PRESSURE TREATED POST, SPACING AS PER PLANS

**LEAN-TO POST FOOTING**

- 12"Ø x 48" EXCAVATION
- (1) BAG 80# DRY MIX CONCRETE @ BOTTOM OF EXCAVATION
- 10" x 1/2"Ø STEEL PIN THRU POST (TYP)
- (1) BAG 80# DRY MIX CONCRETE AROUND PIN @ BASE ON POST
- BACKFILL W/ EXCAVATED MATERIALS



**LEAN-TO SECTION**

SCALE: 1/2" = 1'-0"

**PARCO** BUILDING SYSTEMS, INC

6140 FIRST STREET, NEWFANE, NY 14108  
716-778-8552, FAX 716-778-8961

registered architect • 6324 robinson road, lockport, new york 14094 • 716 - 727 - 3191 • cadahlue@tdarchitects.com

DRAWING NO:

**A-2**

24-217

PROJECT TITLE / LOCATION:  
**REID POST FRAME  
CLARENCE, NEW YORK**

CONTENTS ON SHEET:

**FLOOR / POST PLAN**

SCALE:

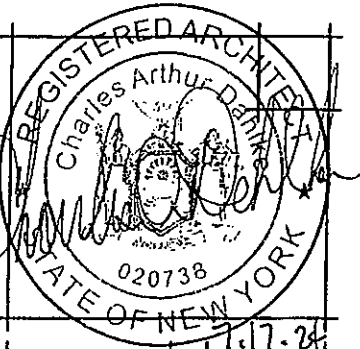
AS SHOWN

DATE:

7-16-24

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**SHEET 3 OF 5**

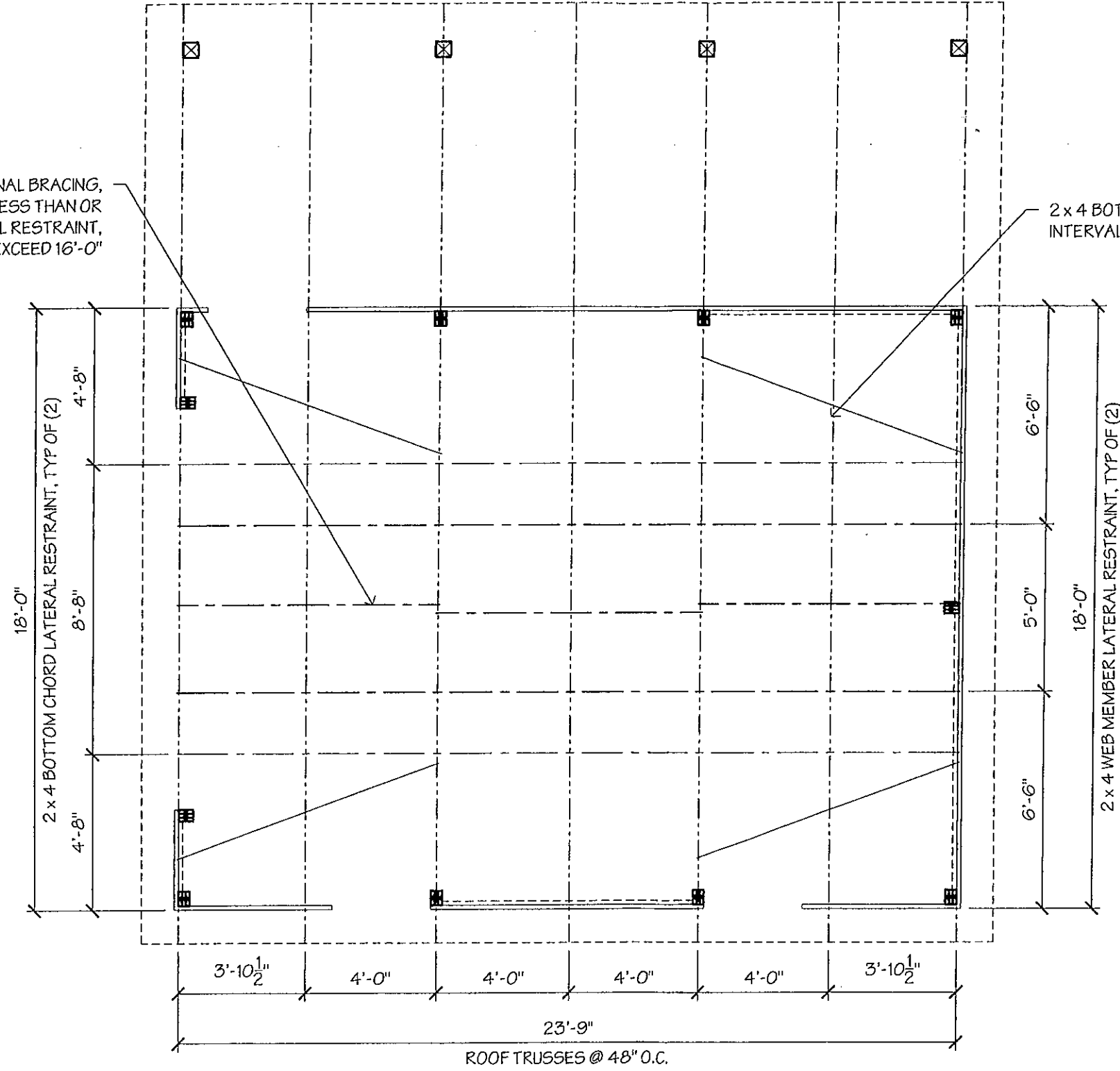


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2 x 4 VERTICAL WEB MEMBER DIAGONAL BRACING,  
ATTACH DIAGONAL @ AN ANGLE LESS THAN OR  
EQUAL TO 45° TO THE LATERAL RESTRAINT,  
INTERVALS NOT TO EXCEED 16'-0"

2 x 4 BOTTOM CHORD DIAGONAL BRACING,  
INTERVALS NOT TO EXCEED 20'-0"



# TRUSS BRACING PLAN

SCALE: 1/4" = 1'-0"

1

**NOTE :**

ALL BRACING MATERIALS PER TABLE 2 IN SECTION B10 OF THE  
2011 EDITION OF BUILDING COMPONENT SAFETY INFORMATION

# PARCO

charles a. dahlike,  
registered architect

## BUILDING SYSTEMS, INC

6324 robinson road, lockport, new york 14094

6140 FIRST STREET, NEWFANE, NY 14108  
716-778-8552, FAX 716-778-8961

716 - 727 - 3191

cadahlike@parcoarchitects.com

PROJECT TITLE / LOCATION:

REID POST FRAME  
CLARENCE, NEW YORK

SCALE:

AS SHOWN

DATE:

7-16-24

CONTENTS ON SHEET:  
TRUSS BRACING PLAN

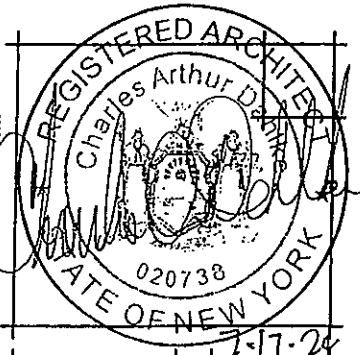
DRAWING NO:

# A-3

24-217

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SHEET 4 OF 5

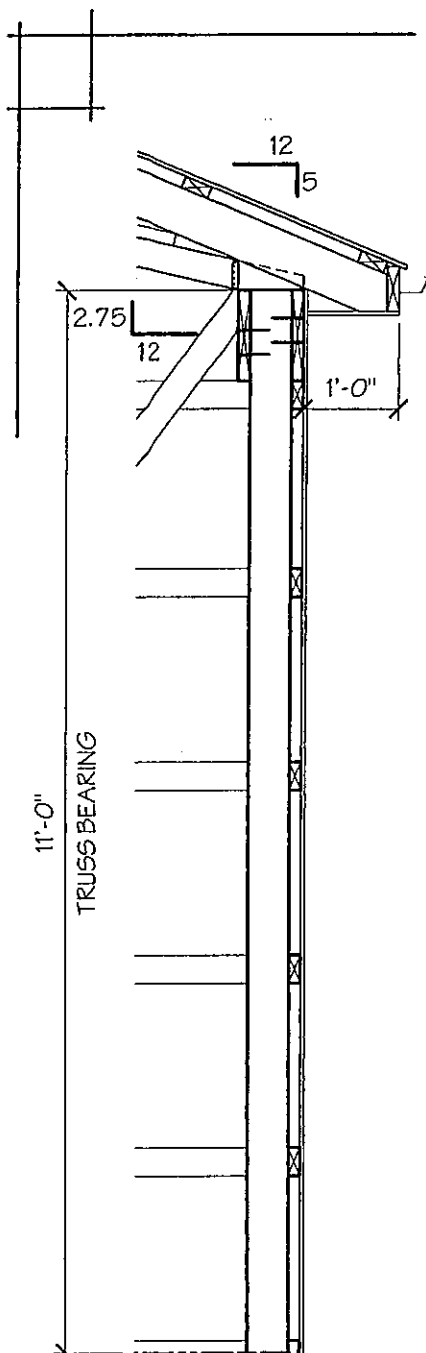


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TRUSS BRACING SHOWN: (REFER TO PLAN FOR LOCATION & SIZES)

- WEB MEMBER: 2x LATERAL & DIAGONAL BRACING
- BOTTOM CHORD: 2x LATERAL & DIAGONAL BRACING



**TYPICAL ROOF**

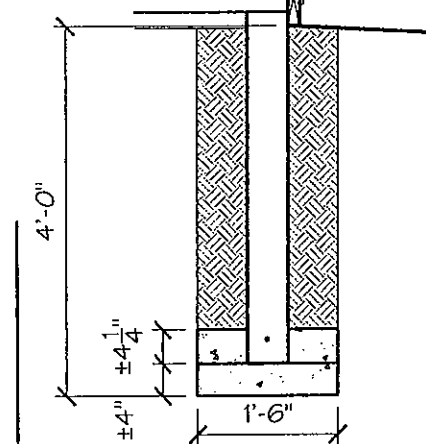
- METAL ROOFING
- 2x4 SPF #2 PURLINS @ 24" O.C.
- PRE-ENGINEERED TRUSSES (BY OTHERS) W/ SPACING AS PER PLAN TO BE INSTALLED PER TPI STANDARDS
- (2) PLY 2x12 SPF #2 OR BETTER HEADER, SECURE TO POST W/ (2) TIMBERLOK FASTENERS EA SIDE
- 2x6 FASCIA
- 1'-0" VENTED VINYL SOFFIT

**TYPICAL EXT WALL**

- METAL SIDING
- 2x4 GIRTS @ 24" O.C.
- 2x8 PRESSURE TREATED SPLASH BOARD @ GRADE (TYPICAL)
- (3) PLY 2x6 GLU-LAM POSTS, SPACING NOTED ON PLANS

**TYPICAL FLOOR (N.I.C)**

- 4" POURED CONCRETE FLOOR 4,000 PSI
- 4" COMPACTED GRAVEL, CRUSHED STONE OR UNDISTURBED SUB-GRADE

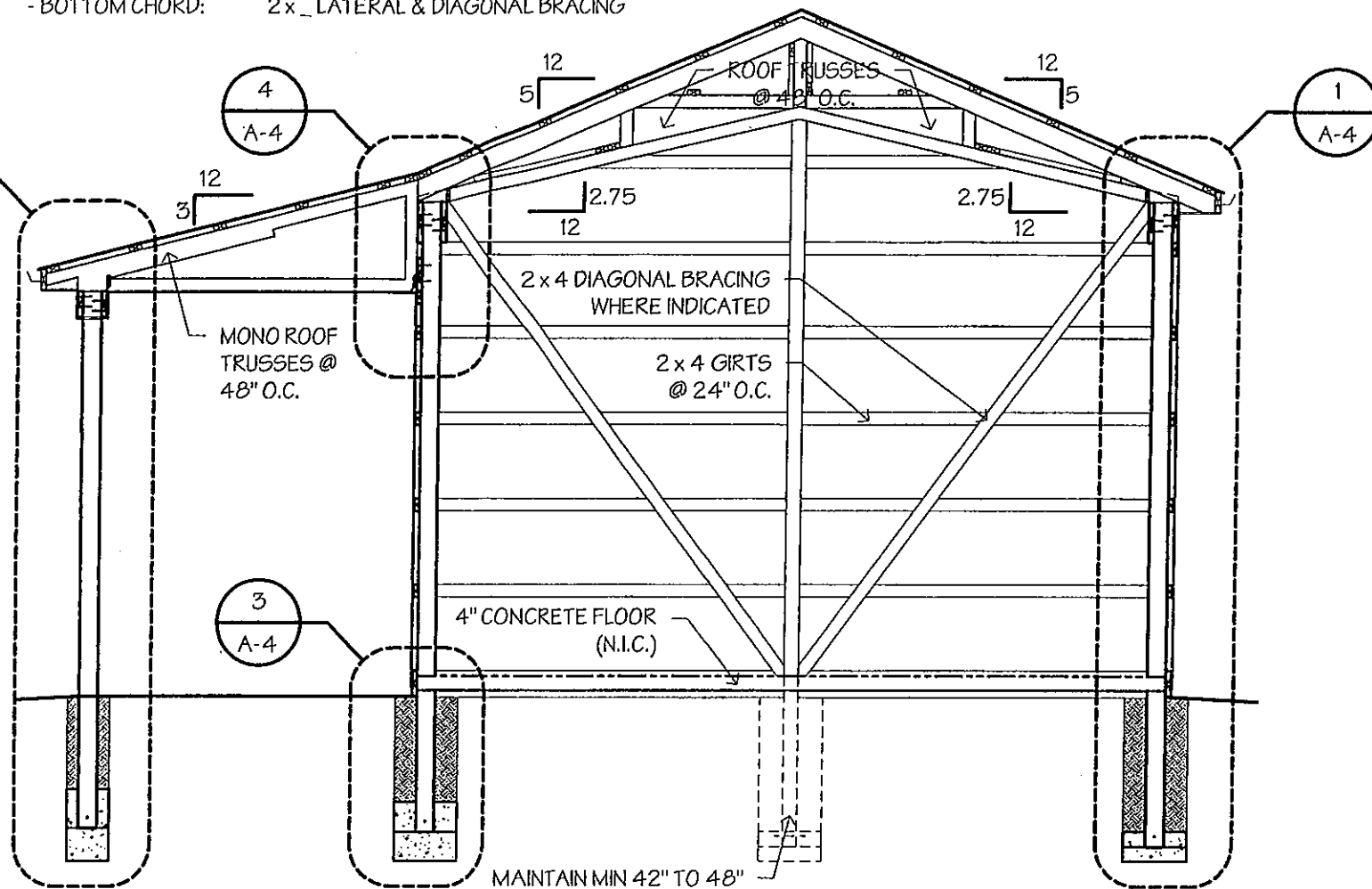


**TYPICAL POST FOOTING**

- 18"Ø x 48" EXCAVATION
- (1) BAG 80# DRY MIX CONCRETE @ BOTTOM OF EXCAVATION
- UPLIFT ANCHOR: 10" x 1/2" Ø STEEL PIN THRU POST (TYP)
- (1) BAG 80# DRY MIX CONCRETE AROUND PIN @ BASE ON POST
- BACKFILL W/ EXCAVATED MATERIALS

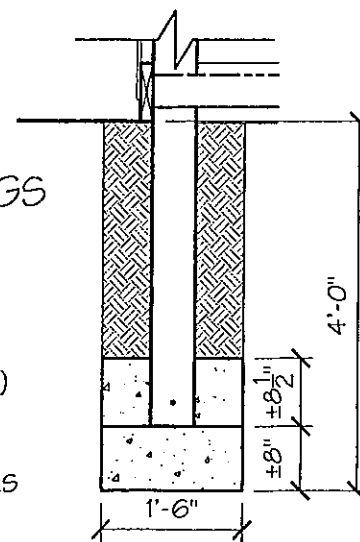
**WALL SECTION**

SCALE: 1/2" = 1'-0"



**BUILDING SECTION**

SCALE: 1/4" = 1'-0"

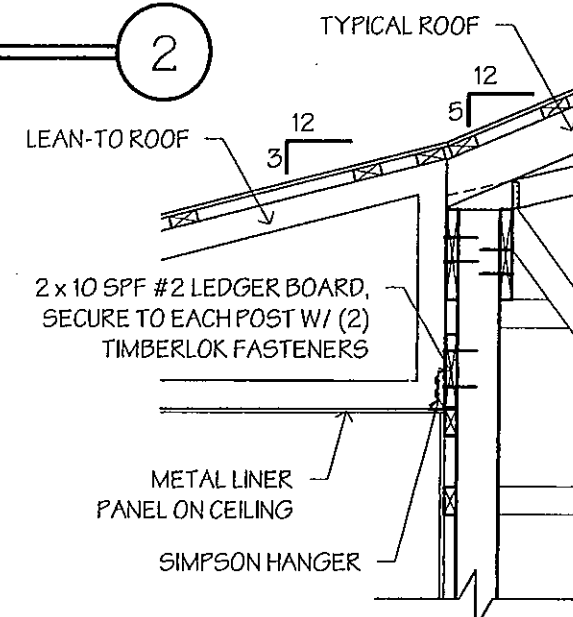


**(2) 18"Ø POST FOOTINGS**

- 18"Ø x 48" EXCAVATION
- (2) BAGS 80# DRY MIX CONCRETE @ BOTTOM OF EXCAVATION
- UPLIFT ANCHOR: 10" x 1/2" Ø STEEL PIN THRU POST (TYP)
- (2) BAGS 80# DRY MIX CONCRETE AROUND PIN @ BASE ON POST
- BACKFILL W/ EXCAVATED MATERIALS

**FOOTING DETAIL**

SCALE: 1/2" = 1'-0"



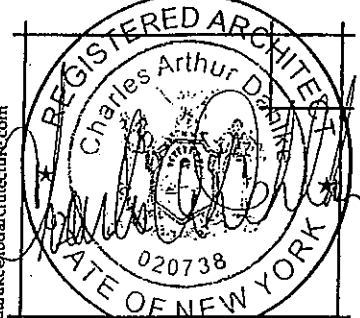
**LEDGER DETAIL**

SCALE: 1/2" = 1'-0"

**PARCO BUILDING SYSTEMS, INC**

6140 FIRST STREET, NEWFANE, NY 14108  
716-778-8552, FAX 716-778-8961

registered architect • 6324 robinson road, lockport, new york 14094 • 716 - 727 - 3191 • cadahk@lbdarchitecture.com



PROJECT TITLE / LOCATION: <b>REID POST FRAME CLARENCE, NEW YORK</b>	SCALE: AS SHOWN	DATE: 7-16-24	SHEET 5 OF 5
CONTENTS ON SHEET: <b>BUILDING &amp; WALL SECTIONS</b>			

DRAWING NO: <b>A-4</b>	24-217
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\*\*\*note the parcel lines displayed are approximate\*\*\*



## 9330 Tonawanda Creek Road

Proposed 61' front yard setback fronting Tonawanda Creek Rad.

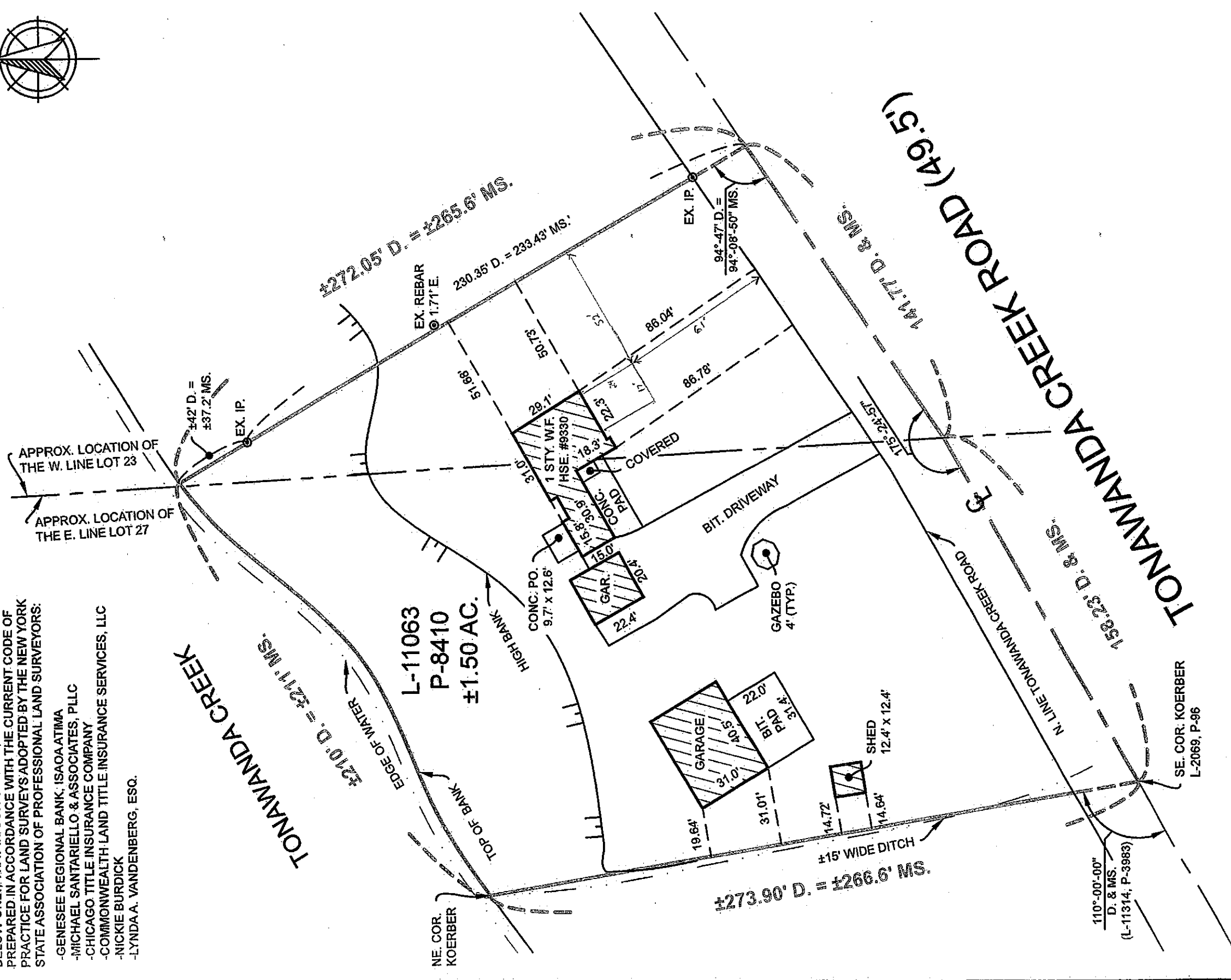
Established front yard setback is 86'.

A 25' variance is requested.



WE DO HEREBY STATE TO THE PARTIES OF INTEREST LISTED BELOW ONLY, THAT IN OUR OPINION, THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE CURRENT CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS:

- GENESEE REGIONAL BANK; ISAOA ATIMA
- MICHAEL SANTARELLO & ASSOCIATES, PLLC
- CHICAGO TITLE INSURANCE COMPANY
- COMMONWEALTH LAND TITLE INSURANCE SERVICES, LLC
- NICKIE BURDICK
- LYNDA A. VANDENBERG, ESQ.

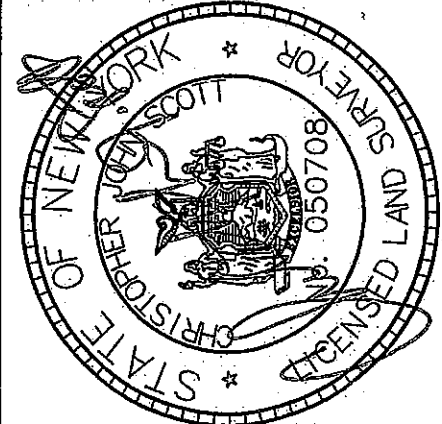


REVISED 1/5/2021; CERTIFICATION

PART OF LOT	23 & 27	SEC.	-	TWP.	13	RNG.	6
TOWN	CLARENCE						
TAX IDENTIFICATION No.:	6:00-3-6						
CREW	JCR	DWN:	DTH	CHK.	CJS	SCALE	1"=50'
DATE	12/15/2020						
LEGEND:	<p>D. = DEED          DIA. = DIAMETER          DIST. = DISTANCE          E. = EAST          ENC. = ENCROACHMENT          EX. = EXISTING          FNC. = FENCE          GAR. = GARAGE          HSE. = HOUSE</p> <p>AC. = ACRES          APPROX. = APPROXIMATE          BIT. = BITUMINOUS          CB. = CATCH BASIN          CH. = CHAIN          CONC. = CONCRETE          COR. = CORNER          C. = CENTERLINE</p> <p>D. = DEED          DIA. = DIAMETER          DIST. = DISTANCE          E. = EAST          ENC. = ENCROACHMENT          EX. = EXISTING          FNC. = FENCE          GAR. = GARAGE          HSE. = HOUSE</p> <p>IP. = IRON PIPE          JB. = JUNCTION BOX          L. = LIBER          MH. = MANHOLE          MP. = MAP          MS. = MEASURED          N. = NORTH          O/H. = OVERHEAD          OIL. = ON LINE          P. = PAGE          S. = SOUTH          STY. = STORY          TYP. = TYPICAL          W. = WEST          W. = WITH          WD. = WOOD          W.F. = WOODFRAME</p>						

NOTES:  
 -ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY  
 -UNAUTHORIZED ALTERATION OR ADDITION TO  
 MAP MARKED WITH THE SIGNATURE AND AN ORIGINAL  
 OF THE LAND SURVEYOR'S SEAL SHALL BE  
 CONSIDERED TO BE VALID TRUE COPIES.  
 7206, PROVISION 2 OF THE NEW YORK STATE  
 EDUCATION LAW.

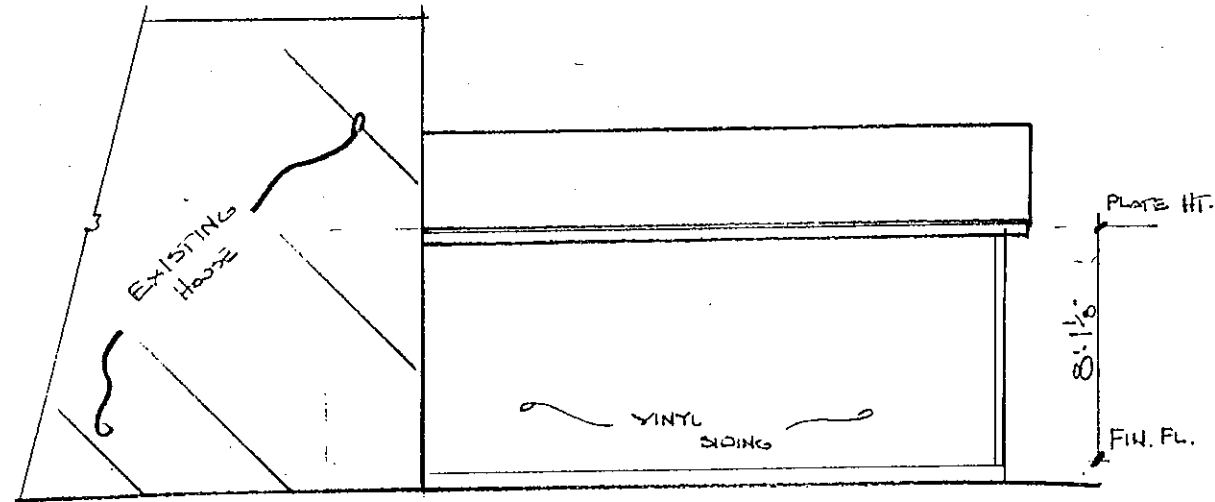
MAP REFERENCE:



**360° LAND SURVEY**  
 BOUNDARY TOPOGRAPHIC  
 3-D MODELING CONSTRUCTION

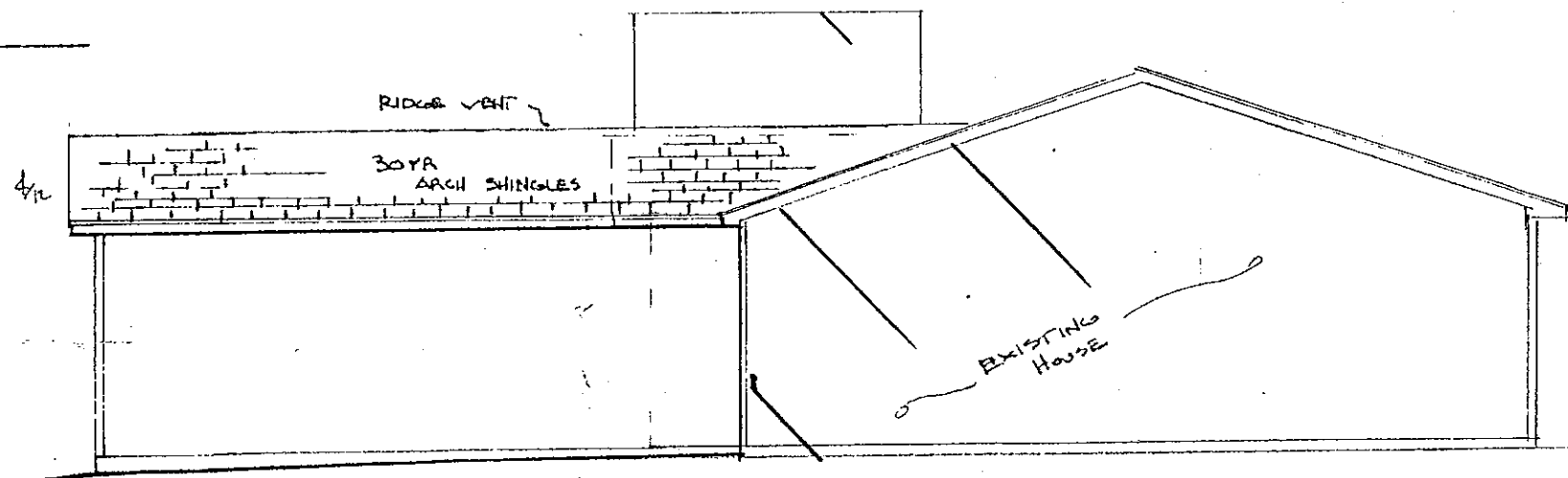
PO Box 474  
 Lockport, New York 14095  
 PHONE: (716) 587-8380  
 FAX: 716.587.8379  
 WEBSITE: www.360landsurvey.com

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY CHANGES THAT AN EXAMINATION OF SUCH MAY REVEAL



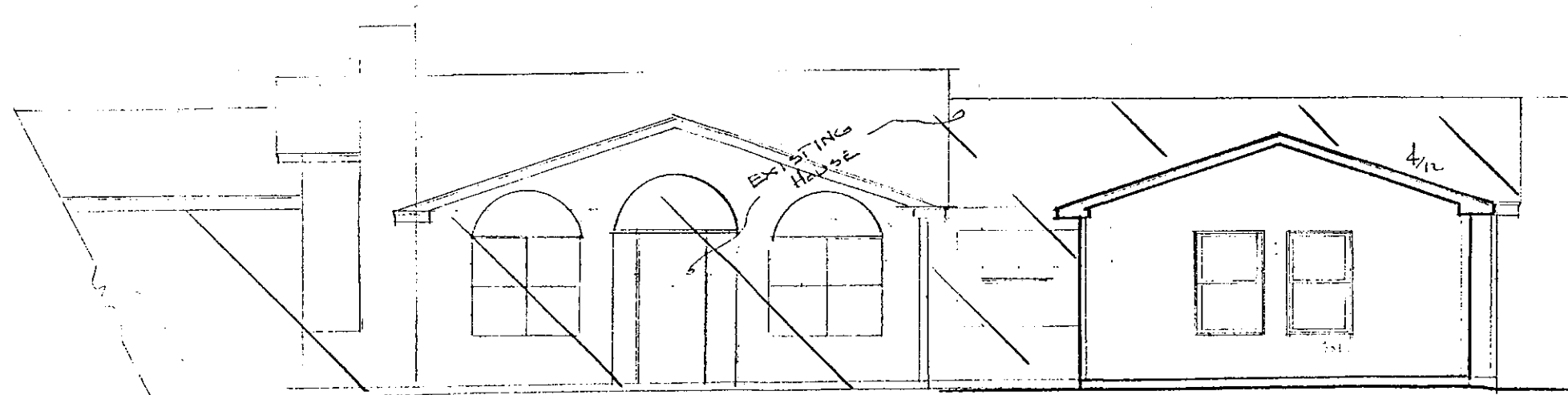
**LEFT SIDE**

SCALE 1/4"=1'-0"



**RIGHT SIDE**

SCALE 1/4"=1'-0"



**FRONT**

SCALE 1/4"=1'-0"

REVISIONS	BY

9330  
TONAWANDA  
CREEK RD

Date 11.24

Scale AS NOTED

Drawn ANDRE

Job M. DEORCH

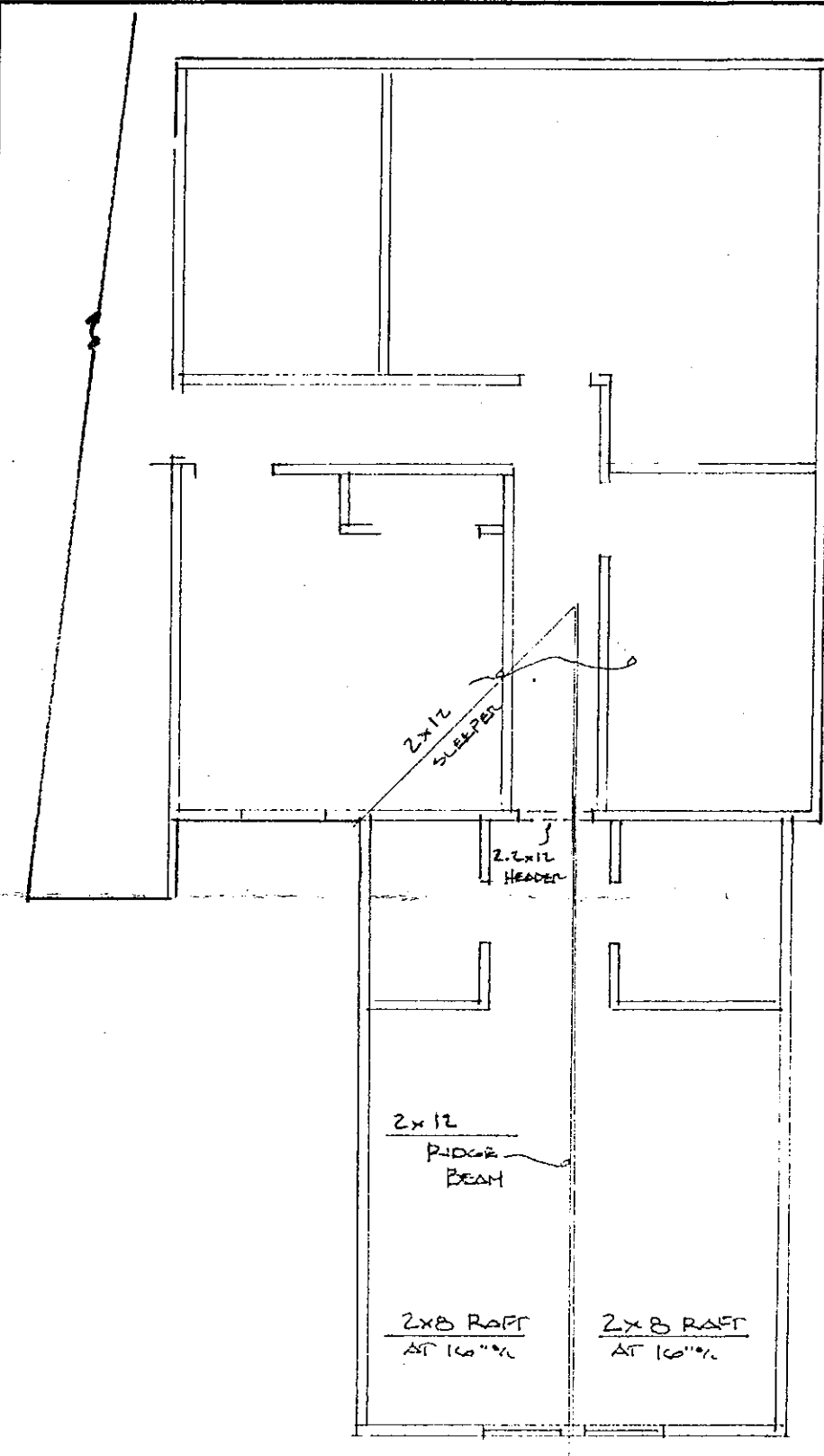
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**A-1**

Of Sheets

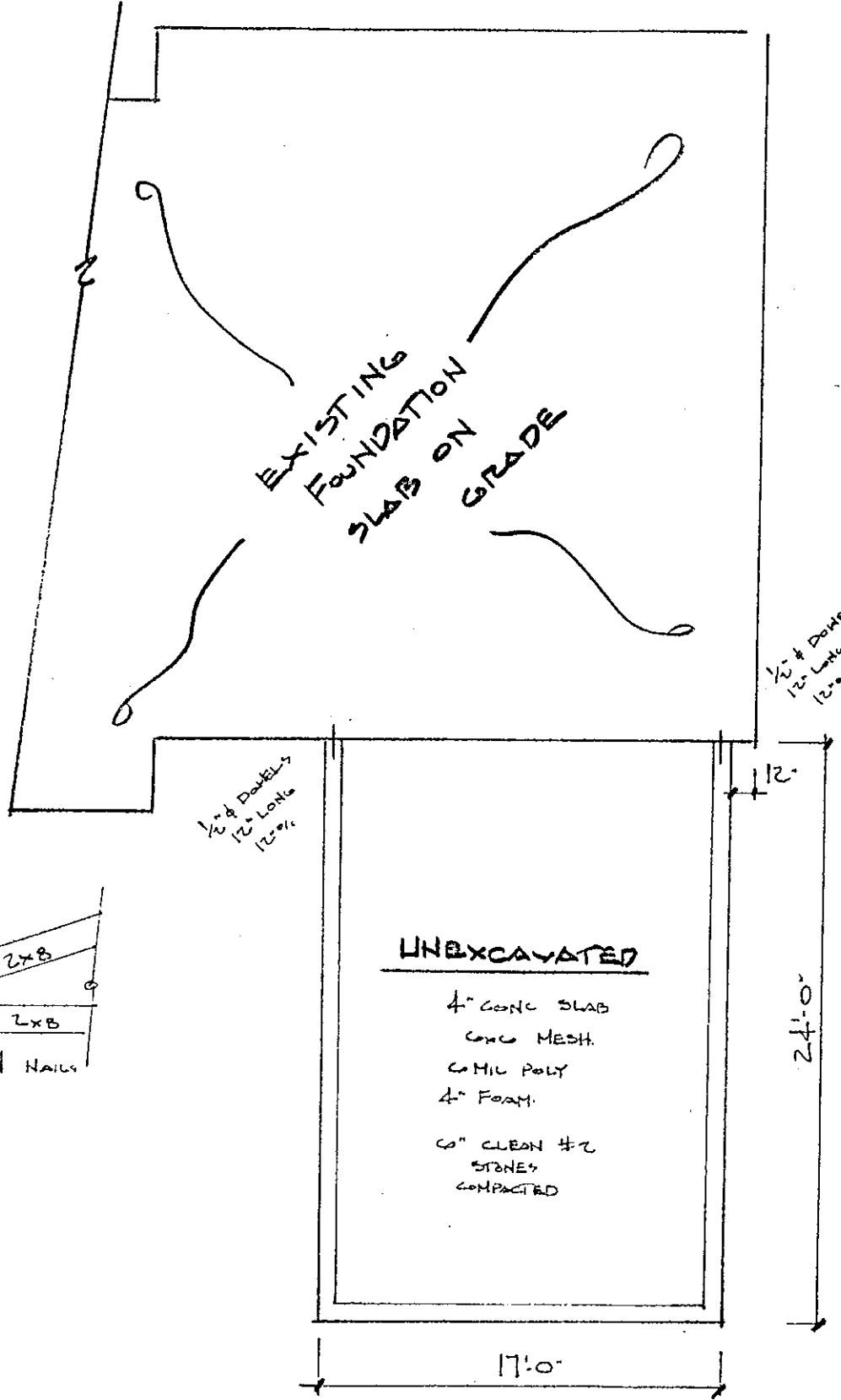


540-9451  
 2024  
 TONAWANDA CREEK RD  
 1/4" = 1'-0" SECTION



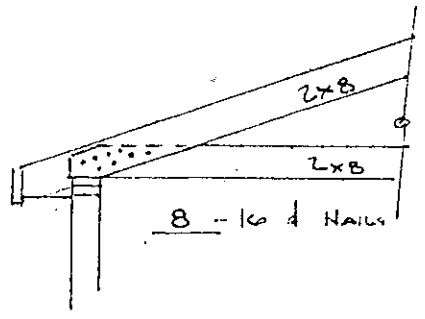
**ROOF FRAMING PLAN**

SCALE 1/4" = 1'-0"



**FOUNDATION PLAN**

SCALE 1/4" = 1'-0"



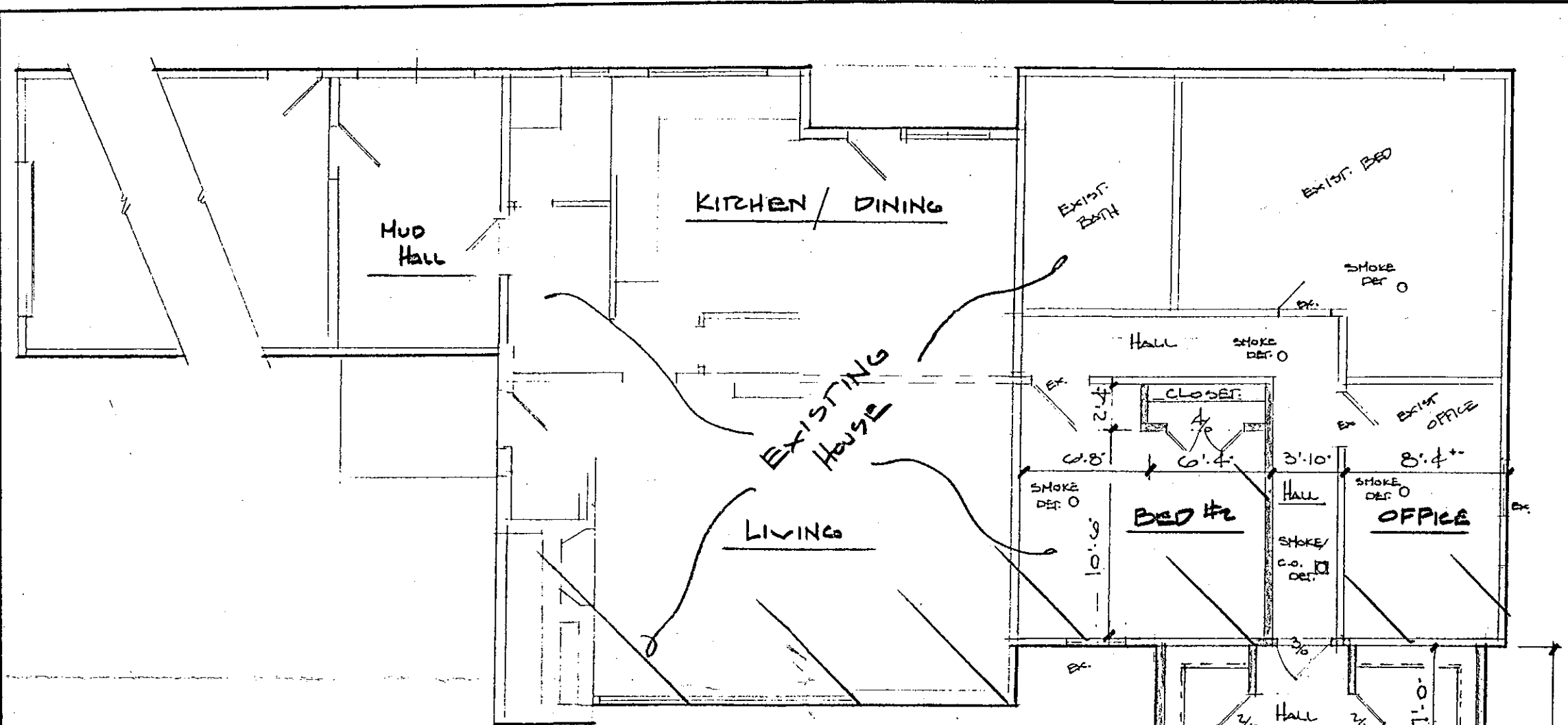
REVISIONS	BY

Date 11.24  
Scale 1/4" = 1'-0"  
Drawn ANDRE  
Job H. BEDROCK  
Sheet  
**A-2**  
Of Sheets



2024

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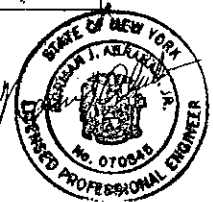


WINDOW SCHEDULE				
	TYPE	ROUGH OPENING	GLASS	VENT.
①	3446	3:6 1/8 x 4:8 1/8	11.64	6.42
②				

LIGHT & VENT SCHEDULE				
ROOM	GLASS		VENT	
BED #1	GL. REQ	20.68	VENT REQ	10.34
	258.56	GL. PROPOSED	23.28	VENT. PROPOSED
				12.84

EXISTING WALLS =  
 NEW WALLS =

**FIRST FLOOR PLAN** SCALE 1/4" = 1'-0"  
 ANDERSEN WINDOWS  
 LOW E GLASS  
 400 SERIES OR EQ.  
 2x6 EXT. STUDS  
 8:1 1/2" PLATE HC.



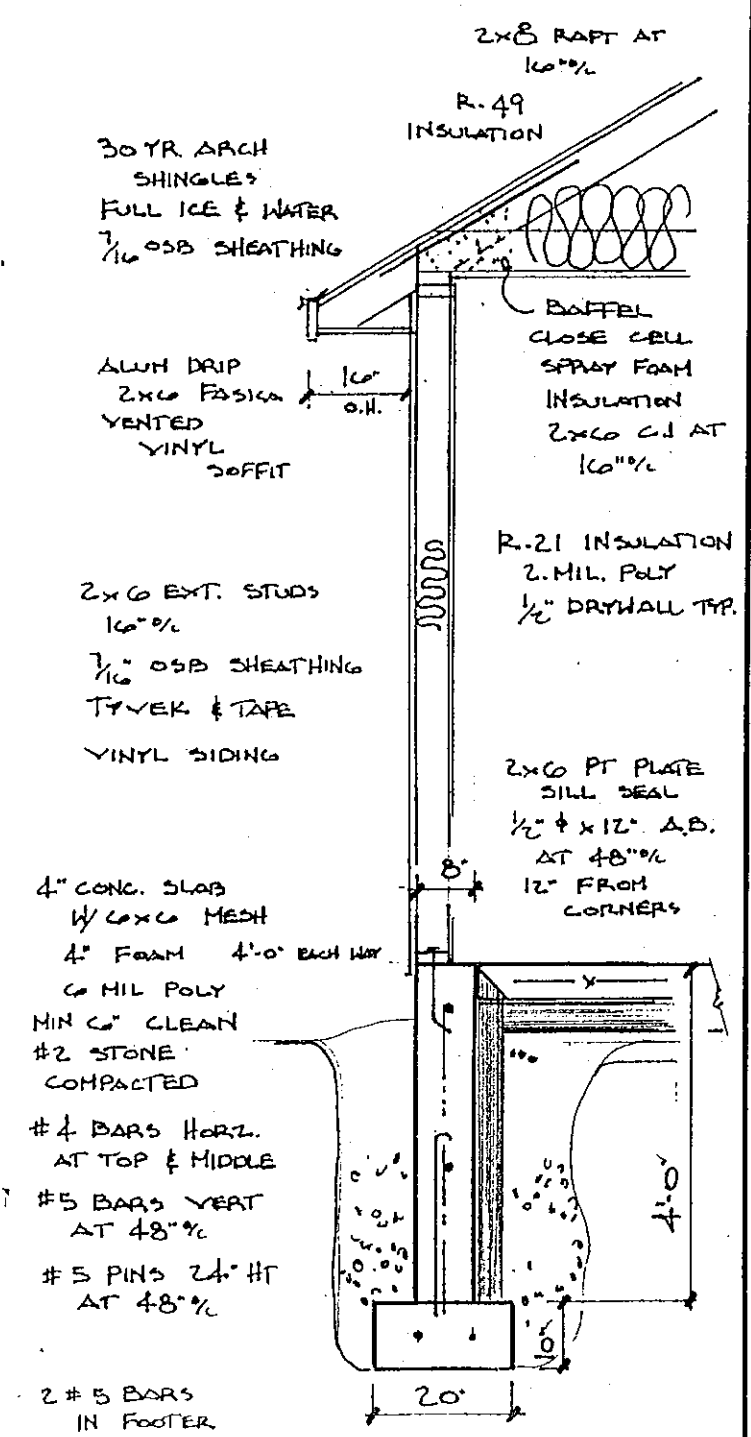
Date 6-11-24  
 Scale 1/4" = 1'-0"  
 Drawn ANORE  
 Job H. BED  
 Sheet A.3  
 Of Sheets

540-9451

2024



REVISIONS	BY



**DETAIL**  
SCALE 3/4" = 1'-0"



Date 3-24-24  
 Scale AS NOTED  
 Drawn ANDRAE  
 Job  
 Sheet **A-4**  
 DETAIL  
 Of Sheets

ANDRAE  
 A-4 DETAIL  
 2024

# TYPICAL (NO GARAGE STORAGE)

## DESIGN LOADS:

TABLE OF LOADS FOR HOUSE STRUCTURES.  
BUILDING CODES: 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS)

- FLOOR LIVING AREAS - 40# P.S.F. (LIVE)  
10# P.S.F. (DEAD) unless noted otherwise by calculations.
- FLOOR SLEEPING AREAS - 40# P.S.F. (LIVE)  
10# P.S.F. (DEAD) unless noted otherwise by calculations, then use 30#
- GARAGE FLOORS - 50# P.S.F. (LIVE)  
50# P.S.F. (DEAD)
- ROOF AREAS - TOP CHORD - 50# P.S.F. (LIVE)  
10# P.S.F. (DEAD)
- BOTTOM CHORD - 10# P.S.F. (LIVE)  
10# P.S.F. (DEAD)
- GROUND SNOW LOAD - 50# P.S.F. (PER 2020 RCNYS FIG. R301.2(6))  
BUILDING SITES AT ELEVATIONS ABOVE 1,000 FT., THE GROUND SNOW LOAD SHALL BE INCREASED BY 2 P.S.F. FOR EVERY 100 FEET ABOVE 1,000 FEET PER 2020 RCNYS TABLE R301.2(1) FOOTNOTE "a"

SEISMIC DESIGN CATEGORY = B  
WEATHERING INDEX = SEVERE  
WIND LOAD = 90 MPH

## DESIGN CRITERIA

### DESIGN CODES

- NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- SPECIFICATION FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, BY AMERICAN INST. OF STEEL CONSTRUCTION.

### DESIGN CODES

- HEADERS\* SPRUCE PINE FIR (KD-19) No. 2 GRADE  
STUDS SPRUCE - PINE - FIR, STUD, GRADE  
JACKS HEM-FIR STUD GRADE  
BEAMS\* SPRUCE PINE FIR (KD-19) No. 2 GRADE
- 2X8 SPRUCE PINE FIR (KD-19) No. 2 GRADE OR BETTER  
2X10 SPRUCE PINE FIR (KD-19) No. 2 GRADE OR BETTER (NLGA)

\* WHERE REQUIRED, LAMINATED VENEER LUMBER MAY BE USED PER ENGINEERING  
STRUCTURAL STEEL - A.S.T.M. A36

# TYPICAL (GARAGE STORAGE)

## DESIGN LOADS:

TABLE OF LOADS FOR HOUSE STRUCTURES  
BUILDING CODES: 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS)

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10# P.S.F. (DEAD) unless noted otherwise by calculations.
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10# P.S.F. (DEAD)
- BOTTOM CHORD - 10# P.S.F. (LIVE)  
10# P.S.F. (DEAD)
- GROUND SNOW LOAD - 50# P.S.F. (PER 2020 RCNYS FIG. R301.2(6))  
BUILDING SITES AT ELEVATIONS ABOVE 1,000 FT., THE GROUND SNOW LOAD SHALL BE INCREASED BY 2 P.S.F. FOR EVERY 100 FEET ABOVE 1,000 FEET PER 2020 RCNYS TABLE R301.2(1) FOOTNOTE "a"

SEISMIC DESIGN CATEGORY = B  
WEATHERING INDEX = SEVERE  
WIND LOAD = 90 MPH NOMINAL OR  
115 MPH 3-SECOND GUST.

## DESIGN CRITERIA

### DESIGN CODES

- NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- SPECIFICATION FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, BY AMERICAN INST. OF STEEL CONSTRUCTION.

### DESIGN CODES

- HEADERS\* SPRUCE PINE FIR (KD-19) No. 2 GRADE  
STUDS SPRUCE - PINE - FIR, STUD, GRADE  
JACKS HEM-FIR STUD GRADE  
BEAMS\* SPRUCE PINE FIR (KD-19) No. 2 GRADE
- 2X8 SPRUCE PINE FIR (KD-19) No. 2 GRADE OR BETTER  
2X10 SPRUCE PINE FIR (KD-19) No. 2 GRADE OR BETTER (NLGA)

\* WHERE REQUIRED, LAMINATED VENEER LUMBER MAY BE USED PER ENGINEERING  
STRUCTURAL STEEL - A.S.T.M. A36

CONCRETE QUALITY DESIGN AND CONTROL  
A) DESIGN OF MIXTURES - CONCRETE DESIGNED IN ACCORDANCE WITH ACI 308 (LATEST EDITION) TO ATTAIN FOLLOWING PROPERTIES OF STRENGTH, SLUMP, AND ENTRAINED AIR CONTENT, WATERPROOFING, AND SUBMITTED TO ARCHITECT FOR APPROVAL. ALL CONCRETE TO BE A MINIMUM 5 BAG MIX.

USE	CLASS	28 DAY PSI	AGAR SIZE AIR	SLUMP	W/C RATIO
FOOTINGS, WALLS & PIERS	NO. 1	3000#	67.5%-7%	4"	0.50
SLABS ON GRADE	NO. 2	3000#	67.5%-7%	3"	0.45
EXTERIOR CONCRETE	NO. 3	4000#	67.5%-7%	1"	0.45

ALL CONCRETE NOT DEFINITELY SPECIFIED TO BE OF CLASS 2, REINFORCEMENT INSTALLED WHERE AND AS SHOWN.

B) IF, AT ANY TIME, TESTS FOR JOB CONCRETE INDICATE FAILURE TO MEET STRENGTH, SLUMP, WATERPROOFING OR AIR CONTENT, THE CONTRACTOR IS REQUIRED TO CHANGE PROPORTIONS TO MEET REQUIREMENTS.

C) BATCHING OF MATERIALS - IN CONFORMANCE TO REQUIREMENTS OF ASTM SPECIFICATIONS C94 WEIGHT-BATCH APPARATUS FOR CONVENTIONAL TYPE MIXERS TO ALSO MEET SAME REQUIREMENTS.

## MIXING OF CONCRETES

- UNLESS OTHERWISE AUTHORIZED, MIXING OF CONCRETE READY-MIX EQUIPMENT CONFORMING TO ASTM SPECIFICATIONS C94, VOLUME OF MIXED MATERIAL FOR EACH BATCH NOT TO EXCEED THE MANUFACTURER'S RATED MIXER CAPACITY.
- CONCRETE MIXED UNTIL THERE IS A UNIFORM DISTRIBUTION OF MATERIALS AND DISCHARGED COMPLETELY BEFORE MIXER IS RECHARGED. CONCRETE DELIVERED TO SITE OF WORK AND DISCHARGE COMPLETED WITHIN ONE (1) HOUR FROM THE TIME WATER IS ADDED TO THE MIX, OR BEFORE DRUM HAS REVOLVED 300 REVOLUTIONS, WHICHEVER COMES FIRST. CONCRETE BEYOND THESE LIMITS SHALL BE REJECTED.

## STAIR NOTES:

- ALL CONSTRUCTION OF STAIRWAY REQUIREMENTS SHALL MEET THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE) AS PER R311.7
- ALL CONSTRUCTION OF STAIR LANDING REQUIREMENTS SHALL MEET THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE) AS PER R311.7.6
- ALL CONSTRUCTION OF STAIR RISER AND TREAD REQUIREMENTS SHALL MEET THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE) AS PER R311.7.5
- HANDRAIL LOCATION AND GRIP REQUIREMENTS SHALL MEET THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE) AS PER R311.7.8
- REQUIREMENTS FOR GUARDS OPENING LIMITATIONS SHALL MEET THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE) AS PER R311.7.1

## PROJECT NOTES:

- ALL CONSTRUCTION MEETS OR EXCEEDS THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE)
- WINDOWS ARE TO BE ANDERSEN WINDOWS W/ LOW E ARGON FILLED GLASS (OR APPROVED EQUAL)
- ALL SMOKE ALARMS & C.O. DETECTOR MUST BE INTER-CONNECTED AND BATTERY BACK-UP AS PER R314 OF THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE); INCLUDING ALL EXISTING BEDROOMS
- PROVIDE HEAT DETECTOR (RATED FOR AMBIENT OUTDOOR TEMPERATURES) CENTRALLY LOCATED IN GARAGE PER R314.2.3
- GARAGE FLOOR SLOPE REQUIREMENTS SHALL COMPLY AS PER R309.1 OF THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE)
- ALL COLUMNS TO BE LOAD-BEARING COLUMNS
- ALL EXHAUST FANS TO VENT TO EXTERIOR
- ATTIC ACCESS IN CEILING SHALL COMPLY AS PER R807 OF THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE)
- PROVIDE ARTIFICIAL LIGHT IN ALL HALLWAYS AND STAIRS; BOTH INTERIOR AND EXTERIOR
- THE CEILING JOISTS ARE DESIGNED WITH NO INTENDED STORAGE
- PROVIDE SAFETY GLAZING IN APPROPRIATE LOCATIONS AS PER R308.4 OF THE 2020 RCNYS (RESIDENTIAL CODE OF NY STATE)

## GENERAL NOTES:

- ALL COMPOSITE WOOD BEAMS AND HEADERS TO BE CONSTRUCTED WITH CONTINUOUS MEMBERS WITH NO SPLICES. GLUE ALL CONTACT SURFACES.
- ALL FOOTINGS POURED ON DRY, FROST FREE, UNDISTURBED VIRGIN SOIL WITH 1500 LB/SP MIN. BEARING CAPACITY.
- ALL POURED CONCRETE TO BE MIN. 5-1/2 BAG MIX WITH MIN. Fc = 3000 PSI @ 28 DAYS
- ALL STRUCTURAL STEEL TO BE A-36 WITH MIN. Fb = 24000 PSI. ALL CONNECTIONS AND JOINTS TO DEVELOP 100% CAPACITY OF EACH MEMBER. PROVIDE MIN. 6" BEARING FOR ALL MEMBERS.
- ALL REINFORCING RODS TO BE DEFORMED TYPE "INTERMEDIATE GRADE" WITH MIN. ALLOWABLE TENSILE STRESS OF 20,000 PSI LAP ENDS 24" MIN. INSTALL 2-6" BENT RODS @ CORNERS.
- ANCHOR BOLTS TO BE 1/2" DIA. X 16" LG. 6-0" O.C. MAX 12" FROM CORNERS AND ENDS OF PLATES W/ MIN. 7" EMBEDMENT. MINIMUM (2) BOLTS PER SILL PLATE

## HEADER SCHEDULE

Load-Bearing Headers Over Wall Openings Shall be as Follows Unless Noted

OPENING WIDTH	HEADER	END SUPPORTS
UP TO 3'-0"	(2) 2 x 6	(1) JACK STUD + KING STUD(S) PER SCHEDULE
3'-0" TO 6'-0"	(2) 2 x 8	(2) JACK STUDS + KING STUD(S) PER SCHEDULE
6'-0" TO 8'-0"	(2) 2 x 10	(2) JACK STUDS + KING STUD(S) PER SCHEDULE
8'-0" TO 10'-0"	(2) 2 x 12	(2) JACK STUDS + KING STUD(S) PER SCHEDULE
10'-0" TO 12'-0"	PER PLANS	(3) JACK STUDS + KING STUD(S) PER SCHEDULE
12'-0" TO 16'-0"	PER PLANS	NUMBER OF JACK STUDS AS PER PLANS + KING STUD(S) PER SCHEDULE

\* FOR 2 x 4 WALL CONSTRUCTION

## HEADER SCHEDULE

Load-Bearing Headers Over Wall Openings Shall be as Follows Unless Noted

OPENING WIDTH	HEADER	END SUPPORTS
UP TO 3'-0"	(3) 2 x 6	(1) JACK STUD + KING STUD(S) PER SCHEDULE
3'-0" TO 6'-0"	(3) 2 x 8	(2) JACK STUDS + KING STUD(S) PER SCHEDULE
6'-0" TO 8'-0"	(3) 2 x 10	(2) JACK STUDS + KING STUD(S) PER SCHEDULE
8'-0" TO 10'-0"	(3) 2 x 12	(2) JACK STUDS + KING STUD(S) PER SCHEDULE
10'-0" TO 12'-0"	PER PLANS	(3) JACK STUDS + KING STUD(S) PER SCHEDULE
12'-0" TO 16'-0"	PER PLANS	NUMBER OF JACK STUDS AS PER PLANS + KING STUD(S) PER SCHEDULE

\* FOR 2 x 6 WALL CONSTRUCTION

MINIMUM NUMBER OF FULL HEIGHT (KING) Studs at Each End of Headers in Exterior Walls

HEADER SPAN	NUMBER OF STUDS
UP TO 8'-0"	ONE (1)
8'-1" TO 16'-0"	TWO (2)

TABLE R311.7.1 OF THE 2020 RCNYS (RESIDENTIAL CODE OF NEW YORK STATE) NUMBER OF STUDS BASED UPON SPAN & END CONDITIONS



SCALE: APPROVED BY: DRAWN BY:  
DATE: 2020 REVISED:

"TYPICAL NOTES"

DRAWING NUMBER  
S-100



# Request for Action

Town of Clarence | Office of Planning & Zoning  
(716)741-8933 | 1 Town Place, Clarence, NY 14031

## Town Use Only

Date: August 23, 2024

Received By: Planning & Zoning Office

APPLICANT REQUEST:

Project Address: 5544 Herons Glen

SBL #: 58.15-6-11.11

**Action Desired:**

Applicant requests a variance of 19' to allow a 26' front yard setback for the construction of a single-family home located at 5544 Herons Glen in the Residential Single-Family Zone.

**Reason:**

Town Code Reference:  
Map Cover 3858

CONTACT INFO:

### APPLICANT INFO

Name / Business: Allie & Tac LLC.  
E-Mail: \_\_\_\_\_  
Phone #: \_\_\_\_\_  
Address: \_\_\_\_\_  
Town: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ON FILE

### CORRESPONDENCE

Please indicate the preferred entity that shall receive the appropriate correspondence and billing associated with this Request for Action. Please select only one.

<input checked="" type="checkbox"/>	Applicant
<input type="checkbox"/>	Project Sponsor

### PROJECT SPONSOR INFO (If Different Than Applicant)

Name / Business: \_\_\_\_\_  
E-Mail: \_\_\_\_\_  
Phone #: \_\_\_\_\_  
Address: \_\_\_\_\_  
Town: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

ON FILE

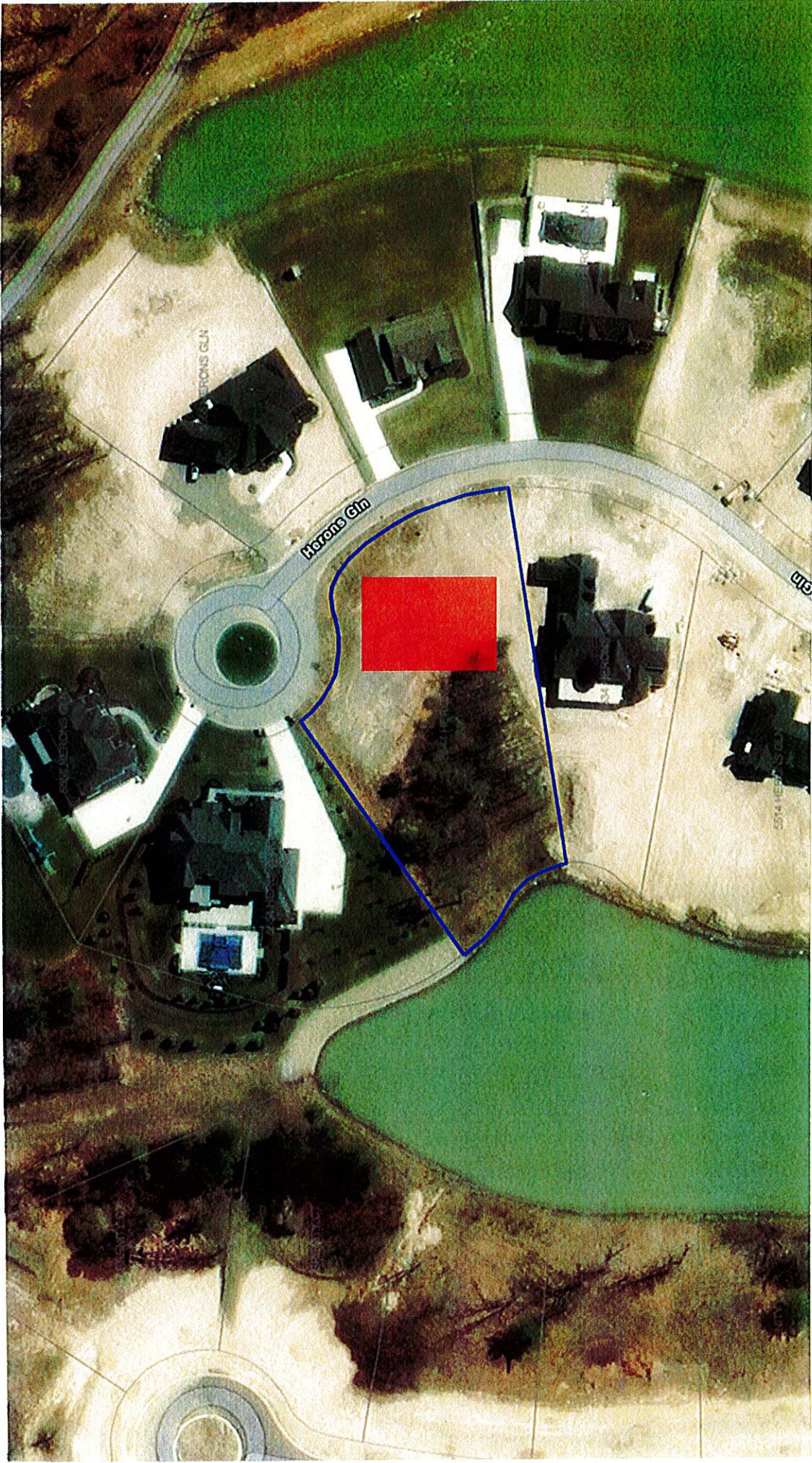
### SIGNATURE

Request for Action shall be filled out completely in the spaces provided. The complete Request for Action shall be submitted to the Office of Planning and Zoning along with all necessary plans, maps, and supporting documentation. By signing below I certify that I have the authority to submit this Request for Action, and further certify its contents to be true and correct.

Signed: Signature On File

Town Use Only:

Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____
Action:	By:	On:	Fee:	Paid:
_____	_____	_____	_____	_____



\*\*\*note the parcel lines displayed are approximate\*\*\*

Proposed single-family home with a 26' front yard setback.

Map Cover 3858 requires a minimum 45' principal structure front yard setback.



A 19' variance is requested.

## 5544 Herons Glen

Steve & Aleah Warzala  
Allie & Tac LLC.

Date: 08/23/24

com

**Town of Clarence Zoning Board**  
One Town Place  
Clarence, NY 14031

Dear Members of the Zoning Board,

I am writing to request a variance for the property we own located at 5544 Herons Glen, Clarence, NY. [SL 195A]. Due to the unique configuration of the lot, we are seeking a 19-foot variance to adjust the front yard setback from the required 45 feet to 26 feet.

**Justification for the Variance:**

- **Lot Configuration:** The lot has an unusual cut in along the cul-de-sac that creates what we consider a side portion of the lot, which significantly affects the layout. We propose resetting the setbacks, recognizing the purple line on the site plan as the side yard boundary, rather than the front.
- **Design Consideration:** The house design aligns with the orange portion of the lot as the front, and we consider the purple aspect as the side. We do not intend to move the house closer to the front lot line but request the setback adjustment based on the side configuration.
- **Comparison with Adjacent Properties:** When compared to neighboring lots, such as the Tuch's [SL 194A], our proposed setback is actually further back. Additionally, our lot's geometry differs from others like the Skomra's [SL 196] which opens to the back rather than the front.

**Zoning Code Interpretation:**

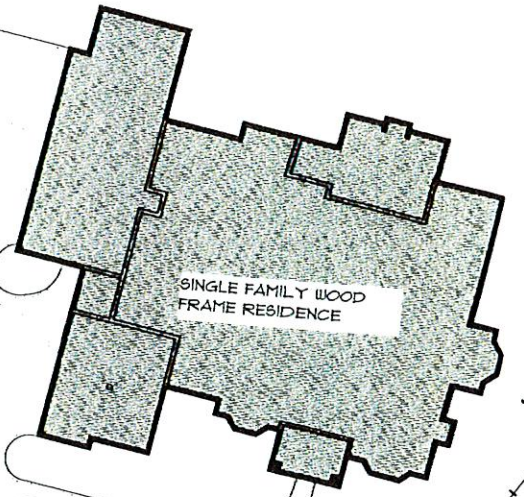
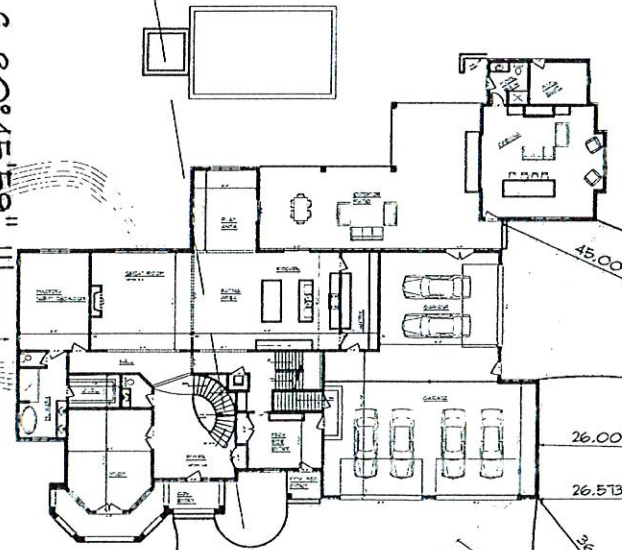
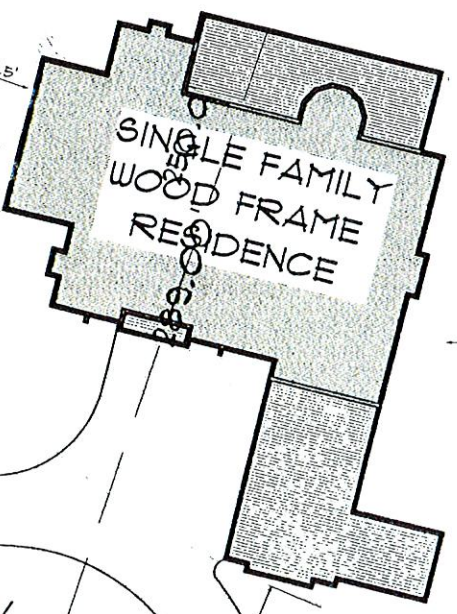
Upon reviewing the Town of Clarence's zoning code, specifically the definition provided under Section 229-41(A), the rear yard is defined as extending from the primary rear wall facade to the back lot line. However, our lot presents a unique scenario with a single street right of way and dual sides. We believe this situation is not explicitly covered under current definitions, and therefore, a variance is appropriate. We kindly request that the board agrees with this interpretation and allows us to proceed.

We appreciate your consideration of this request and look forward to working with the town to achieve a solution that respects both the zoning regulations and the unique characteristics of our property.

PRIVATE DRAINAGE EASEMENT

PRIVATE DRAINAGE EASEMENT

15' SEWER EASEMENT  
8" x 20' WIDE SANITARY



HERONS

GLEN

(60' WIDE)

193

194A

195A

196

197

CON

L=144.31'  
L=123.91'

43.952=L  
85.691=L  
1.591=R

63.001=L  
09.65=R

67.26=L  
L=27.78'

N 18°19'27" E  
137.14'

N 58°59'56" W  
L=20.39'  
L=42.19'  
L=49.74'  
N 80°16'38" W

L=30.39'

S 54°09'09" W  
180.0'

N 60°38'09" W  
182.19'

L=17.08'

12.5'

S 80°45'59" W  
306.36'

231.43'

L=86.50'

10.0'  
10.0'

200.00'

R=76.00'

L=373.61'

L=86.50'

N 04°34'33" E

75.33=L  
00.54=R

L=12.51'

8" WATERLINE

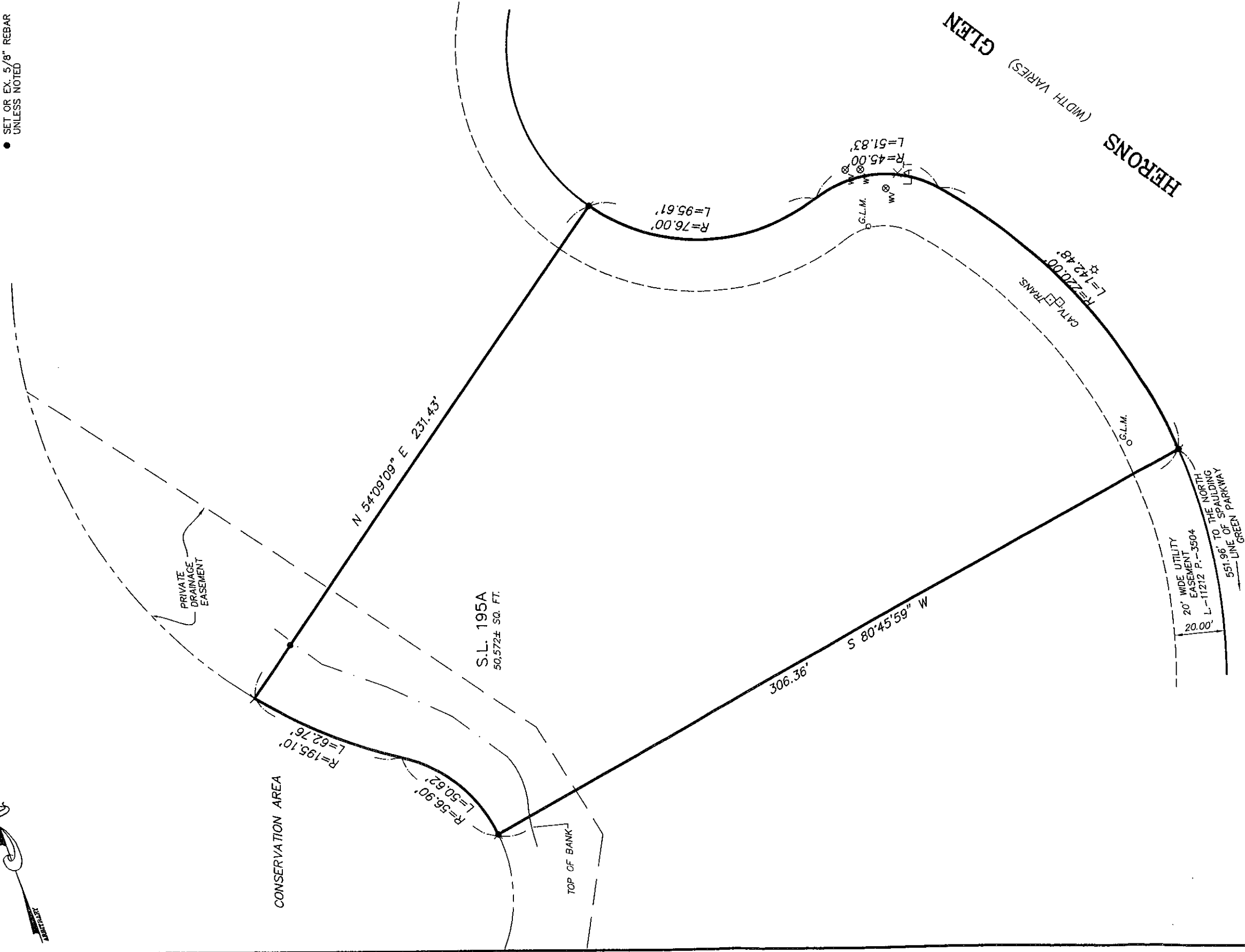
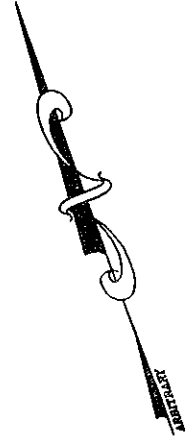
8" SANITARY SEWER

**PLOT**  
SCALE:  
23-048  
8.22.24  
WARZALA

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

- SET OR EX. 5/8" REBAR UNLESS NOTED



*[Handwritten Signature]*

DATE	REVISION/TYPE

SURVEY OF  
 SUB-LOT 195A, MAP COVER 3858  
**SPAULDING GREEN SUBDIVISION PHASE 4A**  
 BEING PART OF LOT 12, SECTION 6, TOWNSHIP 12, RANGE 6  
 HOLLAND LAND SURVEY  
 TOWN OF CLARENCE, ERIE COUNTY, NEW YORK



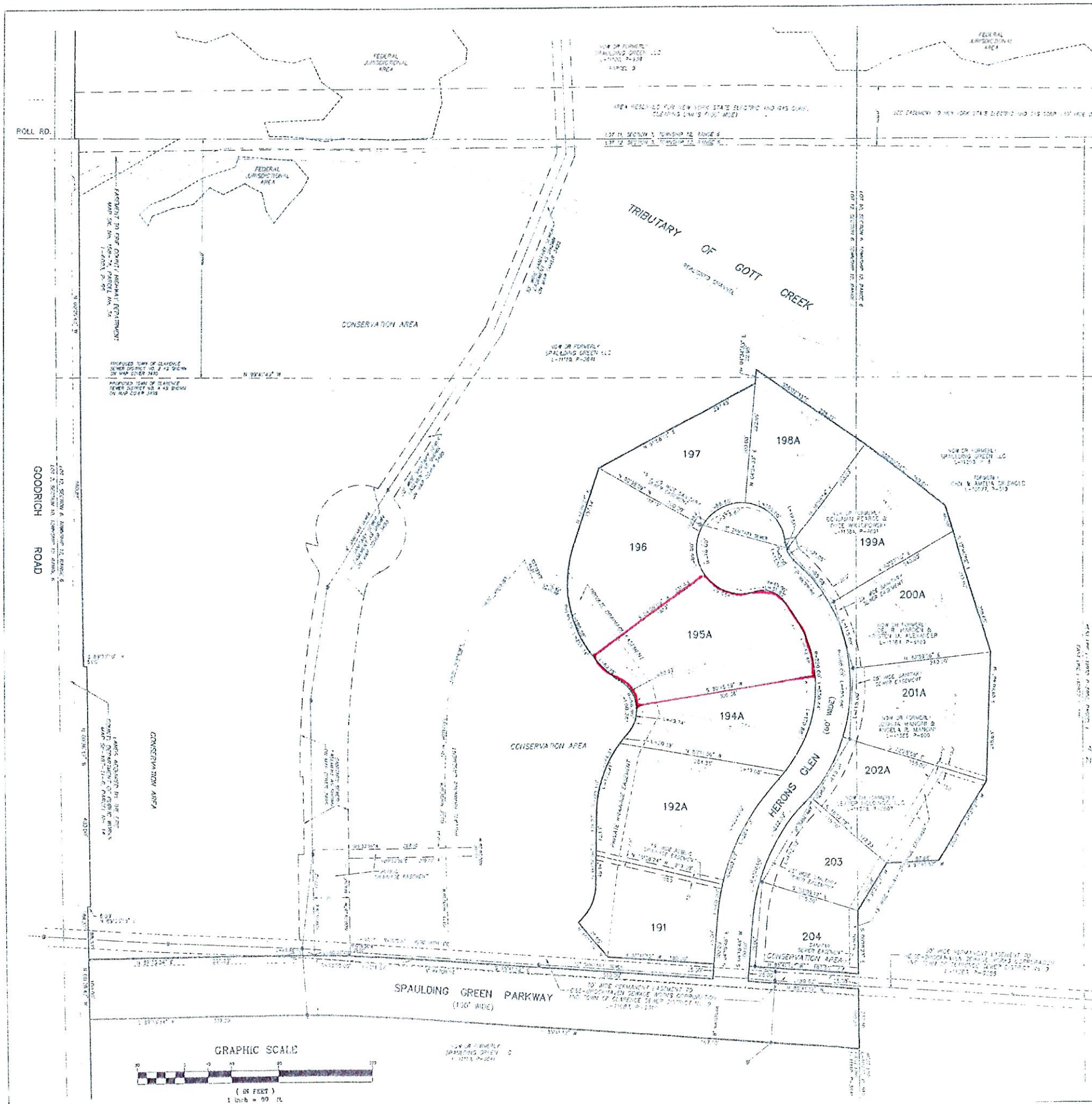
**GPI ENGINEERING, LANDSCAPE ARCHITECTURE & SURVEYING, LLP**  
 ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE  
 4950 GENESEE STREET, SUITE 100  
 BUFFALO, NEW YORK 14225  
 (716) 633-4844 FAX 633-4940

Job No. 6132-195A

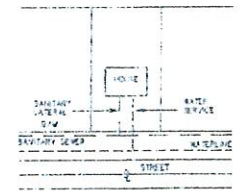
Date: FEBRUARY 22, 2022

Scale 1" = 40'

Tax No.

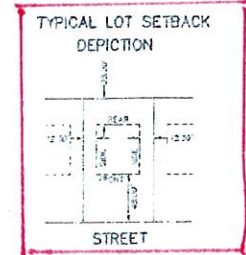


EXISTING SEWER FACILITIES, EXISTING AND PROPOSED, AND WATER SUPPLY FACILITIES, EXISTING AND PROPOSED, SHOWN ON THE SUBDIVISION MAP ARE FOR THE PURPOSE OF COMPLIANCE WITH NEW YORK STATE LOCAL LAW 17 OF 2009 AND LOCAL LAW 17 OF 2010. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE FACILITIES SHOWN ON THIS MAP AND HAS FOUND THEM TO BE IN SUBSTANTIAL COMPLIANCE WITH THE ABOVE MENTIONED LOCAL LAWS.



**LOT DATA**

LOT AREA	BASEMENT PIPE	MIN. SETBACK FROM STREET	BASEMENT DEPTH
LOT 191	12"	5'-0"	4'-0"
LOT 192	12"	5'-0"	4'-0"
LOT 193	12"	5'-0"	4'-0"
LOT 194	12"	5'-0"	4'-0"
LOT 195	12"	5'-0"	4'-0"
LOT 196	12"	5'-0"	4'-0"
LOT 197	12"	5'-0"	4'-0"
LOT 198A	12"	5'-0"	4'-0"
LOT 199A	12"	5'-0"	4'-0"
LOT 200A	12"	5'-0"	4'-0"
LOT 201A	12"	5'-0"	4'-0"
LOT 202A	12"	5'-0"	4'-0"
LOT 203	12"	5'-0"	4'-0"
LOT 204	12"	5'-0"	4'-0"



THIS SUBDIVISION MAP AMENDS AND SUPERSEDES THE SUBDIVISION MAP OF SPAULDING GREEN SUBDIVISION, PHASE 4A FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER MAP COVER 3683 ON NOVEMBER 9, 2018.

AMENDED SUB LOTS 192, 193, 194, 195, 198, 199, 200, 201 & 202  
NEW SUB LOTS 192A, 194A, 195A, 198A, 199A, 200A, 201A & 202A

SUBDIVISION MAP OF  
AMENDED SUBLOTS 192 THRU 195 AND 198 THRU 202  
AT  
**Spaulding Green**  
**Subdivision, Phase 4A**  
OPEN SPACE DESIGN DEVELOPMENT OVERLAY

**FILED** TOWN OF CLARENCE, ERIE COUNTY, NEW YORK  
BEING PART OF LOTS 10 AND 19, SECTION 8, TOWNSHIP 12, RANGE 6  
HOLLAND LAND SURVEY

SEP 17 2021  
ERIE COUNTY CLERK'S OFFICE



**GPI**  
GREENMAN-PEDERSEN, INC.  
CONSULTING ENGINEERS  
ENGINEERING • PLANNING • SURVEYING  
1000 AVENUE OF THE SUNS, SUITE 100  
ROCKY HILL, CT 06067  
TEL: (860) 433-1400

I, the undersigned Director of Real Property Tax Service of the County of Erie, do hereby certify that a duplicate of the Real Property Tax as assessed by the County and School Law Office affecting the land described herein has been paid and noticed.

WITNESS my hand and official seal this 17th day of September 2021.

Text No. 58-15-6 Town CLARENCE

*Andrew J. Burt*  
DIRECTOR OF REAL PROPERTY TAX  
COMMISSIONERS OF DEEDS  
In and for the County of Erie, New York  
My Commission Expires December 31, 2022

NOTES:  
1. THE FOUNDATION SHALL BE A MAXIMUM OF 40' ABOVE CENTERLINE OF ROAD UNLESS THE NATURAL TERRAIN REQUIRES MORE THAN 40', OR CHANGE IS APPROVED BY THE TOWN OF CLARENCE ENGINEERING DEPARTMENT.  
2. CHANGES OF BASEMENT PIPE MUST BE APPROVED BY THE TOWN OF CLARENCE BUILDING DEPT.  
3. ALL IMPROVEMENTS SHALL BE INSTALLED UNDER THEIR PERMITS WITH ALL PLANS CONSIDERANT WITH THE TOWN OF CLARENCE.  
4. THE CONSERVATION AREAS SHOWN ON THIS MAP ARE INTENDED FOR THE COMMON USE AND ENJOYMENT OF THE RESIDENTS OF THE TOWN OF CLARENCE. SEE THE RESTRICTIONS SET FORTH IN THE SUBDIVISION MAP AND THE TOWN OF CLARENCE DECLARATION FILED ON 10/16/2018 IN THE ERIE COUNTY CLERK'S OFFICE.  
5. PUBLIC DRAINAGE EASEMENTS SHALL BE GRANTED TO THE TOWN OF CLARENCE NO STRUCTURES, PLANTINGS OR OTHER MATERIALS SHALL BE PLACED OR BE PERMITTED TO REMAIN WHICH MAY CHANGE OR OBSTRUCT THE DRAINAGE WITHIN OR CHANGE THE PLAN OF DRAINAGE CHANNELS, DRAINS AND/OR FACILITIES IN THE DRAINAGE EASEMENTS.  
6. PRIVATE DRAINAGE EASEMENTS SET FORTH ON THE SUBDIVISION MAP ARE FOR THE BENEFIT OF THE OWNERS OF THE PARCELS WITHIN THE SUBDIVISION AND THE SETBACKS SET FORTH THEREON. THESE EASEMENTS ARE THE PROPERTY OF THE TOWN OF CLARENCE AND NO NEIGHBOR SHALL BE PERMITTED TO MAINTAIN THEM.  
7. SANITARY SEWER EASEMENTS SHOWN ON THE SUBDIVISION MAP SHALL BE GRANTED TO THE TOWN OF CLARENCE SEWER DISTRICT IN A ONE COUNTY SEWER DISTRICT TO BE ALLIANCE PREPARED BY THE ENGINEERING & SURVEYING, INC. 200 HALL STREET, CLARENCE, NY 14705. DATED OCTOBER 1, 2017 REVISED DEC 1, 2019.  
8. INDICATED MONUMENT TO BE INSTALLED BY THE DEVELOPER.  
9. MONUMENTS TO BE PUT ON SANITARY SEWER MAINLINE. THESE SUBDIVISION SEWER MAINS TO BE ON WEST SIDE OF HERONS GLEN - ELEVATION 648.90.

OWNER'S CONSENT FOR FILING THIS LOT 199A  
*[Signature]*  
OWNER'S CONSENT FOR FILING THIS LOT 200A  
*[Signature]*  
OWNER'S CONSENT FOR FILING THIS LOT 201A  
*[Signature]*  
OWNER'S CONSENT FOR FILING THIS LOT 202A  
*[Signature]*  
OWNER'S CONSENT FOR FILING SPAULDING GREEN LOTS  
*[Signature]*  
WITNESSES OF THE TOWN OF CLARENCE PLANNING BOARD  
*[Signature]*  
FILED IN THE ERIE COUNTY CLERK'S OFFICE UNDER  
MAP COVER 3683 DATE 11/09/18

RECEIVED  
NOV 10 2021  
ZONING OFFICE

