

note the parcel lines displayed are approximate

Existing detached accessory structure (shed) located within the front yard setback.

Detached accessory structures are only allowed in the side and rear yard setbacks.

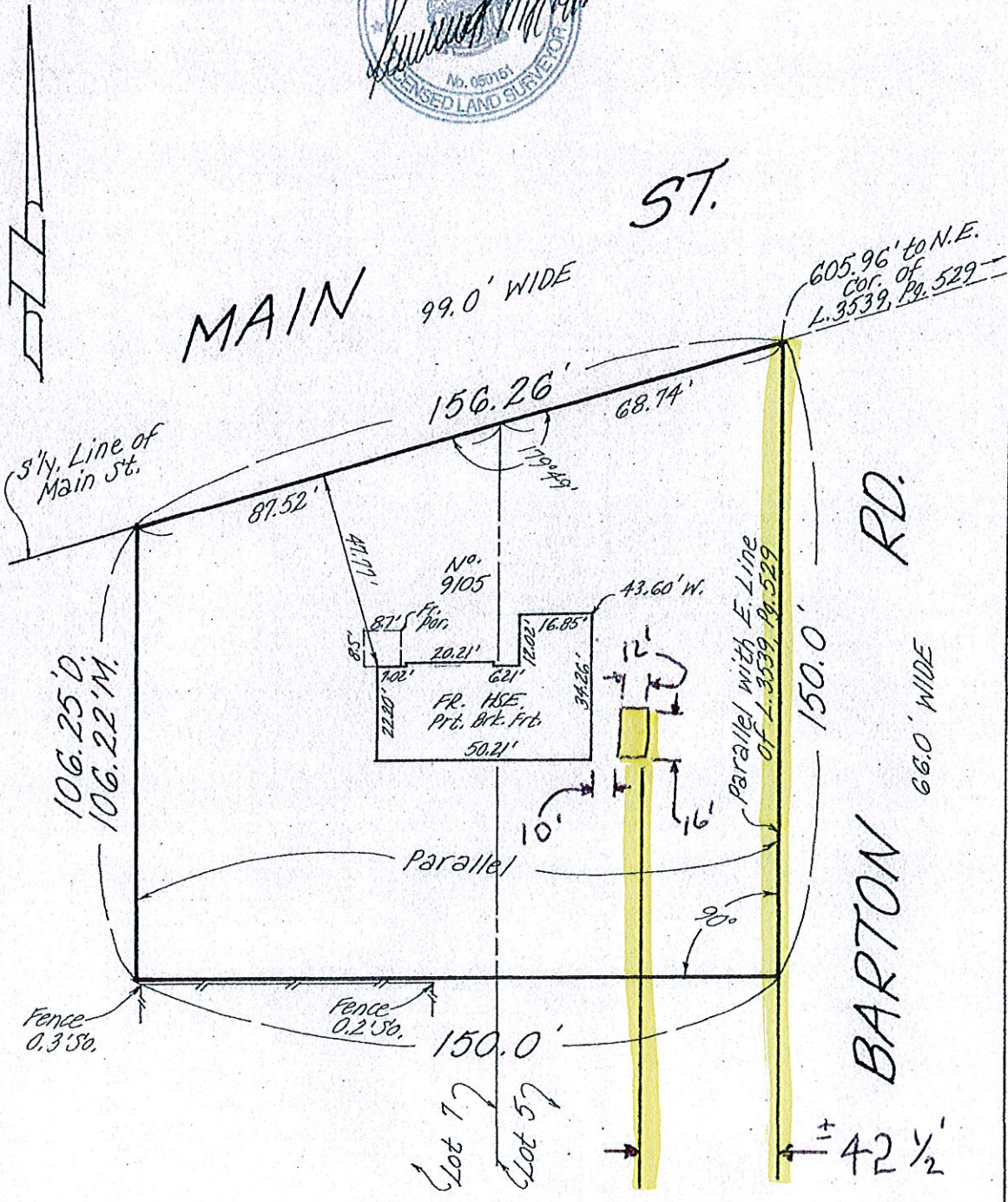
A corner lot shall be considered to have two front yard setbacks from the public right-of-way to the closest point of the principal structure.



9105 Main Street

This survey was prepared without the benefit of an abstract of title and is subject to any state of facts that may be revealed by an examination of such

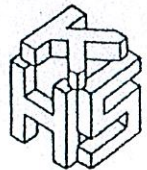
Altering any item on this map is in violation of the law, excepting as provided in Section 7209, Part 2 of the New York State Education Law



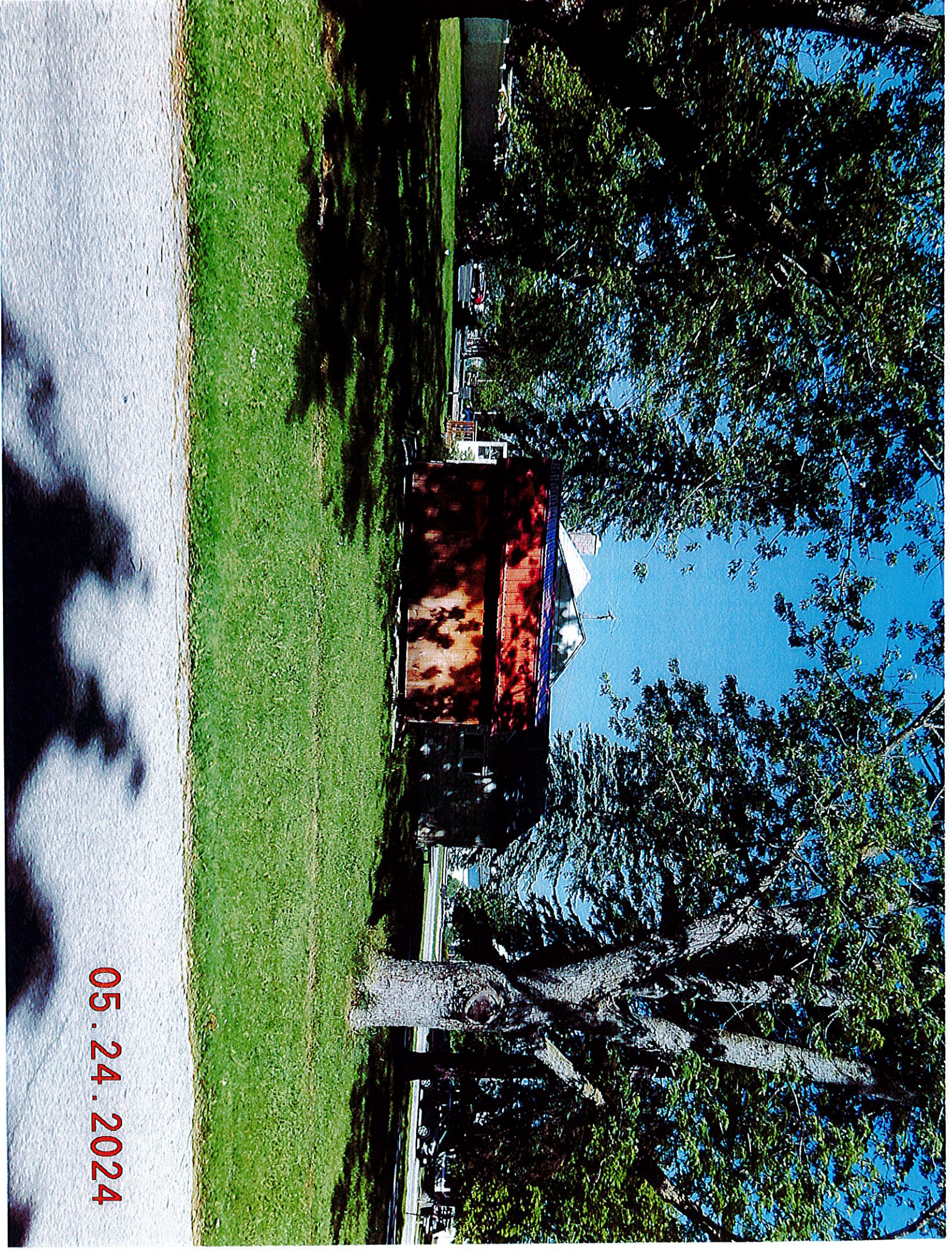
Town of Clarence
 County of Erie, New York
 Part of Lots 5 & 7, Sec. 9,
 Twp. 12, Rge. 6

Kenneth M. Hahn
 Licensed Land Surveyor
 N.Y.S. License No. 050151

189 Lamont Drive
 Amherst, N.Y. 14226
 Phone: (716) 837-5082



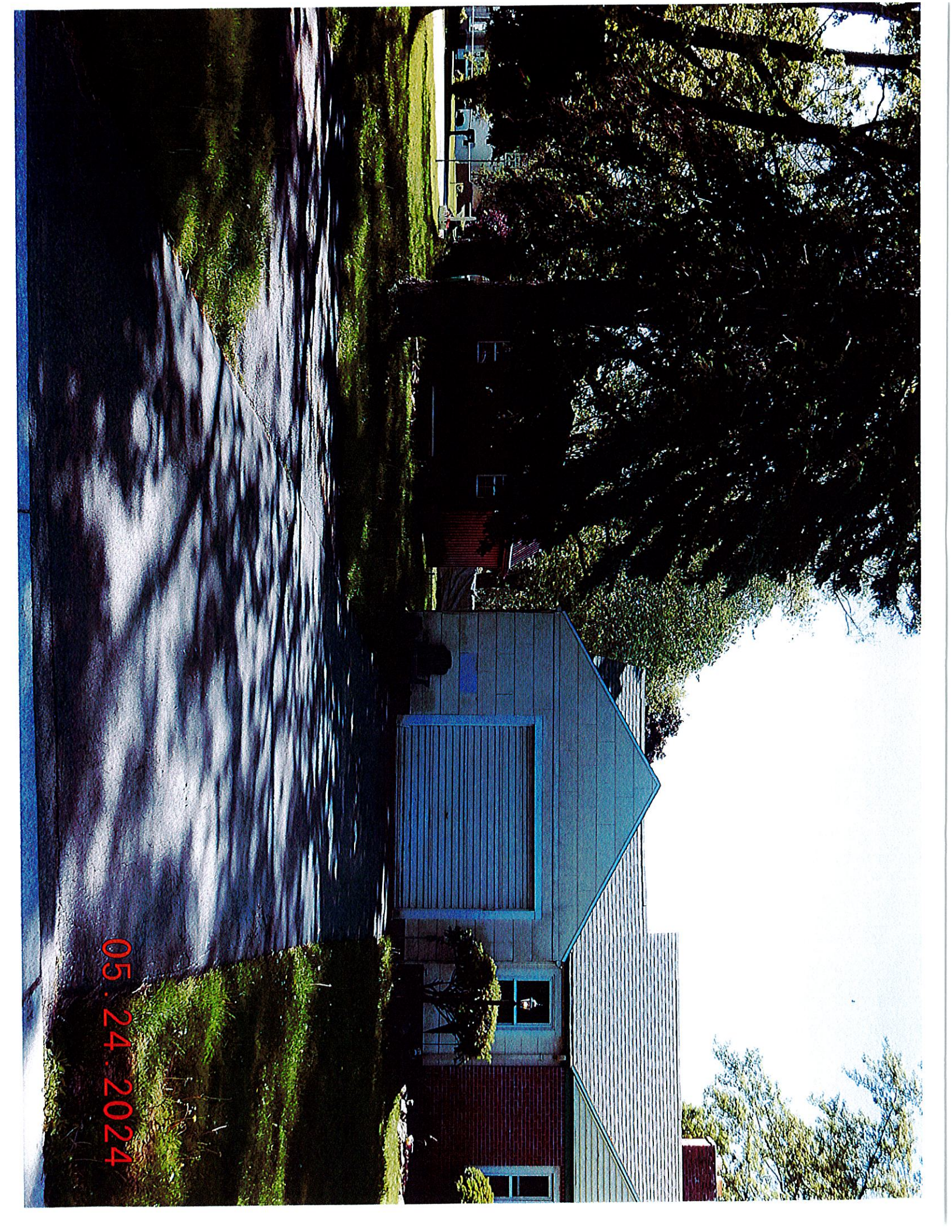
Scale: 1" = 30' Job No: 12-0288
 Survey Date: 5-15-12



05 . 24 . 2024



05.24.2024



05.24.2024



note the parcel lines displayed are approximate

9905 Brauer Road



Proposed 37'11" front yard setback fronting Brauer Road.

Established front yard setback is 55'11".

An 18' variance is requested.



*** note the parcel lines displayed are approximate***

9905 Brauer Road

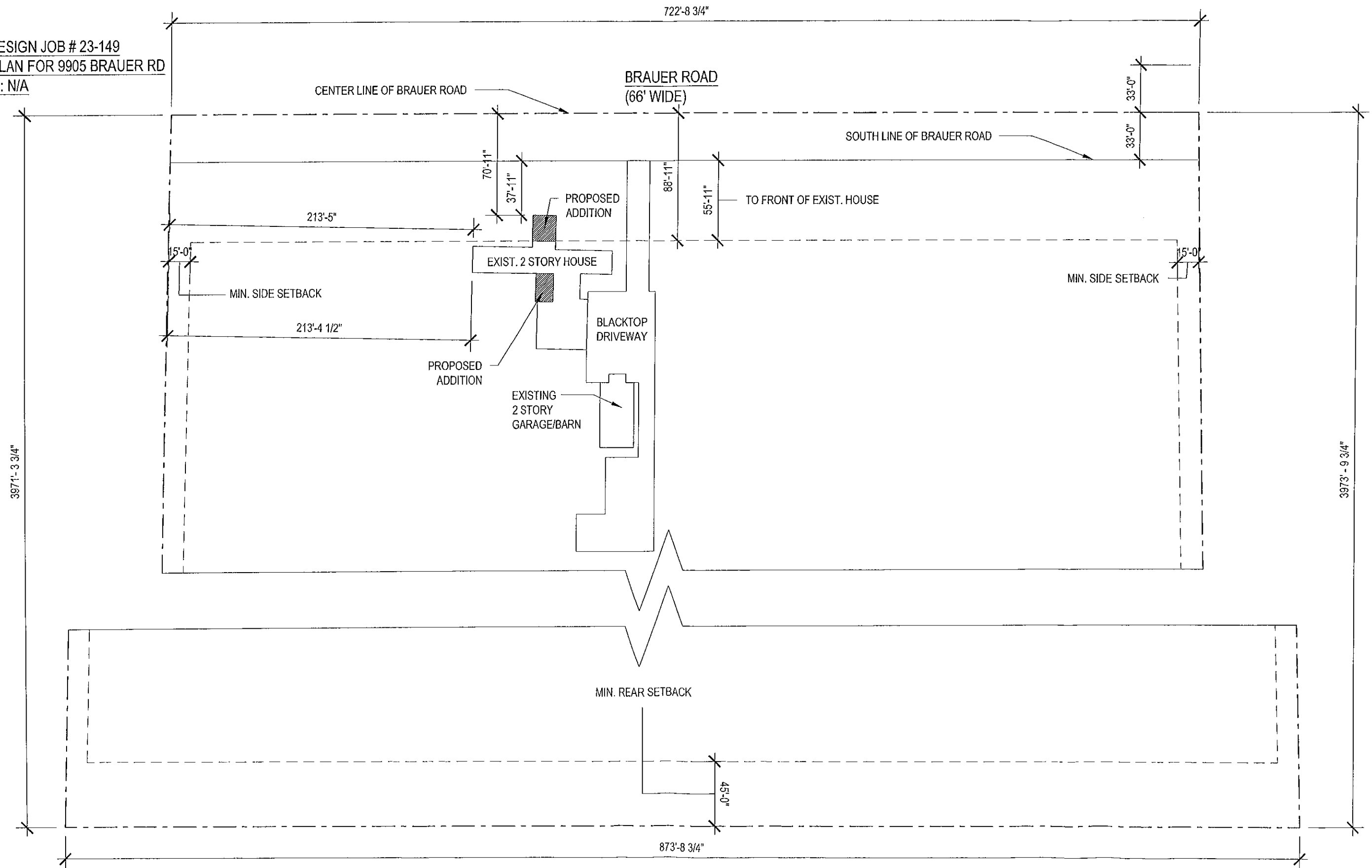


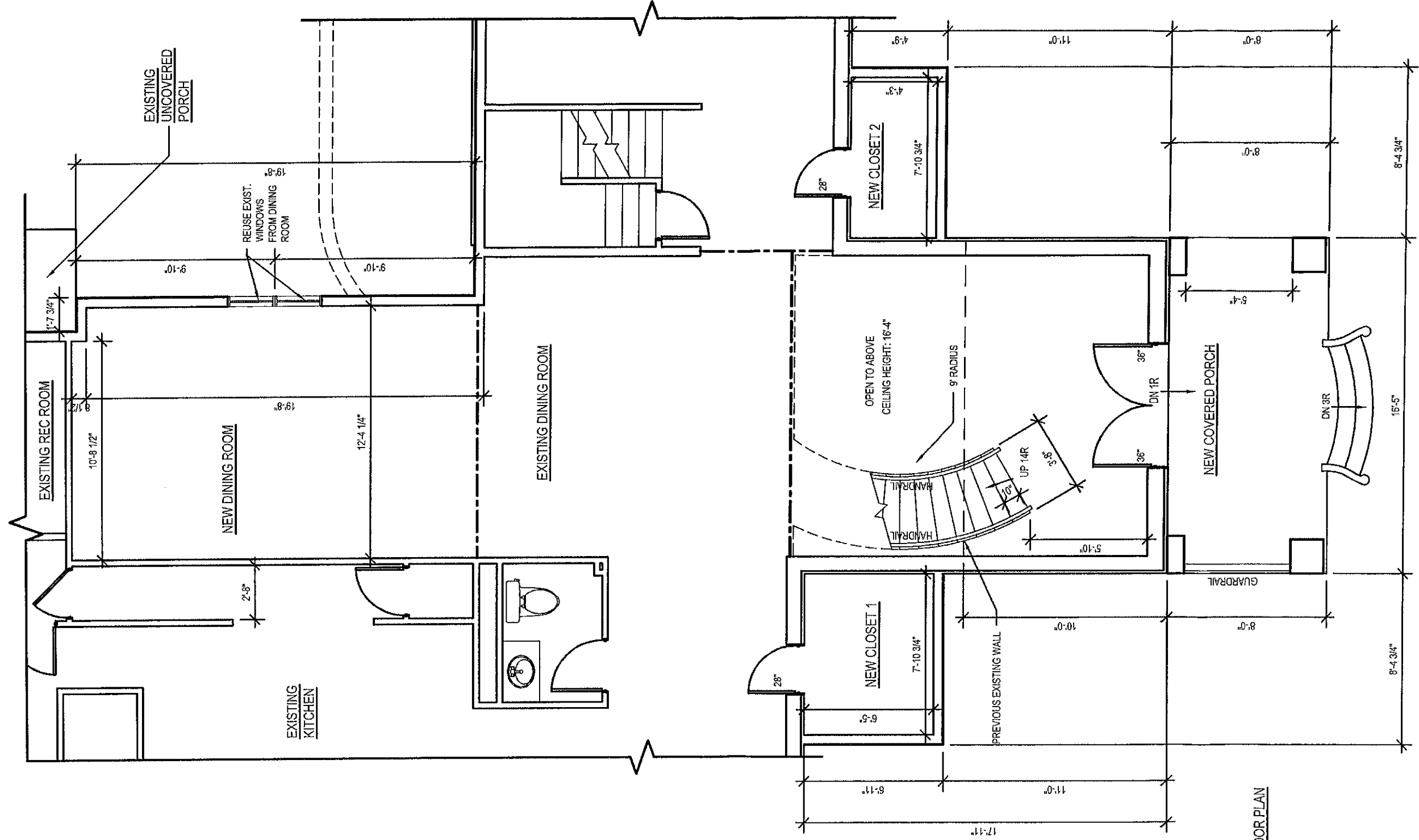
Proposed 37'11" front yard setback fronting Brauer Road.

Established front yard setback is 55'11".

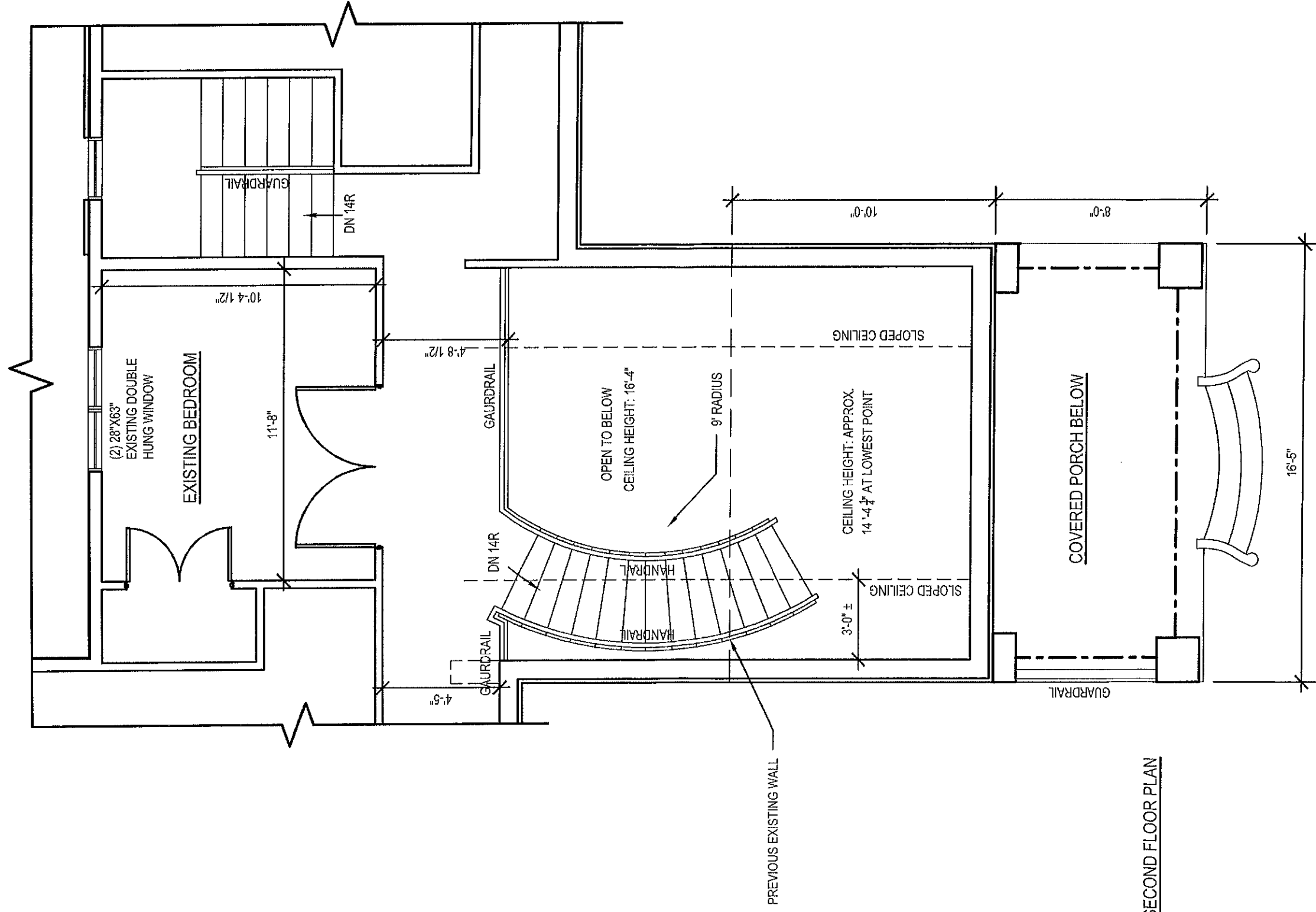
An 18' variance is requested.

DRF DESIGN JOB # 23-149
SITE PLAN FOR 9905 BRAUER RD
SCALE: N/A





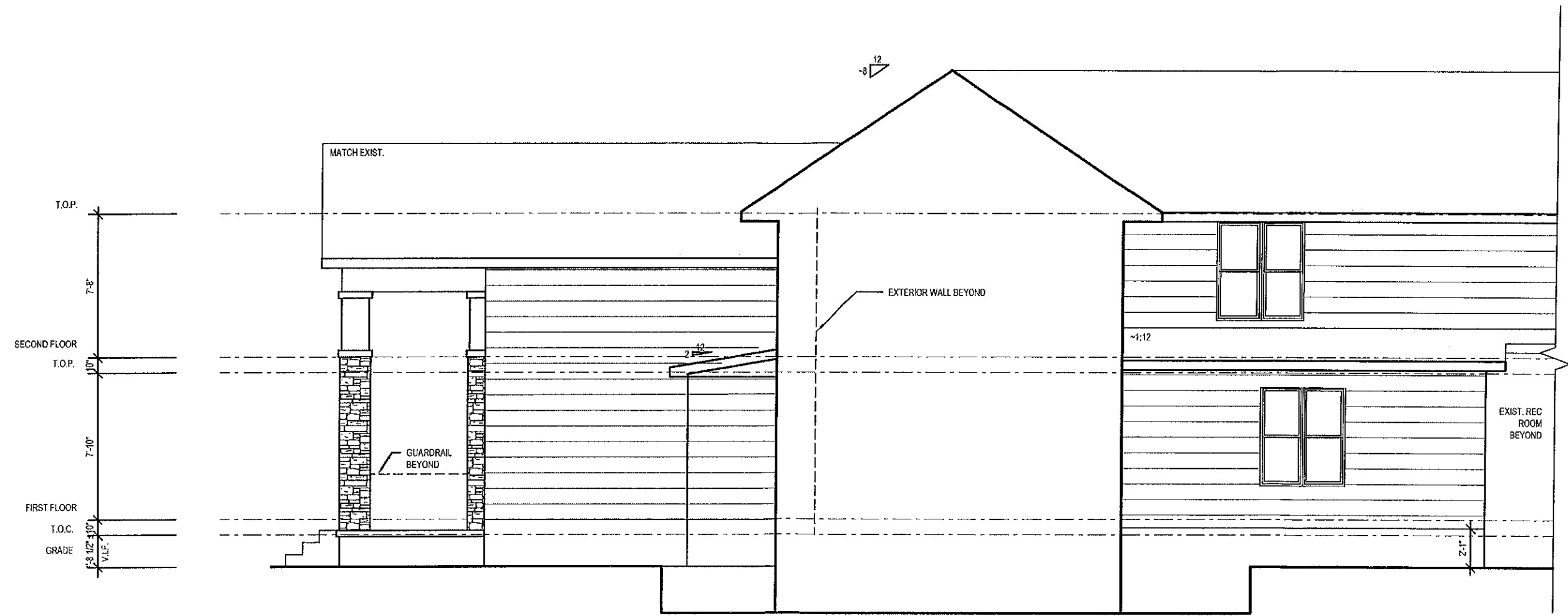
JOB #23 - 149
 PROPOSED FIRST FLOOR PLAN
 SCALE: N/A



JOB #23 -149
 PROPOSED SECOND FLOOR PLAN
 SCALE: N/A



JOB #23 -149
 FRONT ELEVATION
 SCALE: N/A



JOB #23-149
 RIGHT ELEVATION
 SCALE: N/A



note the parcel lines displayed are approximate

9490 N. Melinda Drive

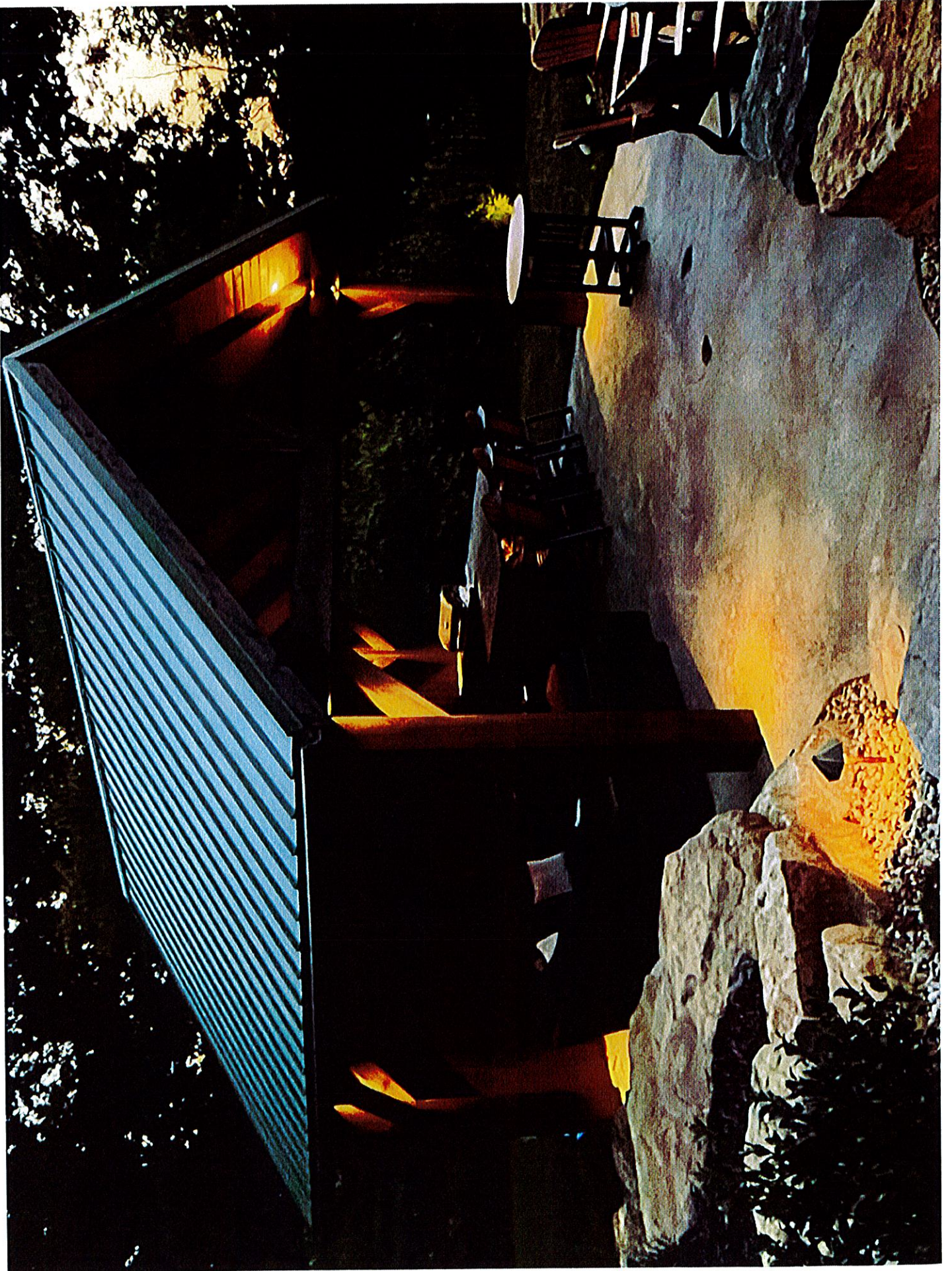


Proposed 320 sq.ft. (16' x 20') detached accessory structure (pavilion).

The maximum allowable square footage for a detached accessory structure when an attached garage exists is 200 sq.ft.

A 120 sq.ft. variance is requested.





16 x 20 Timber frame Pavilion

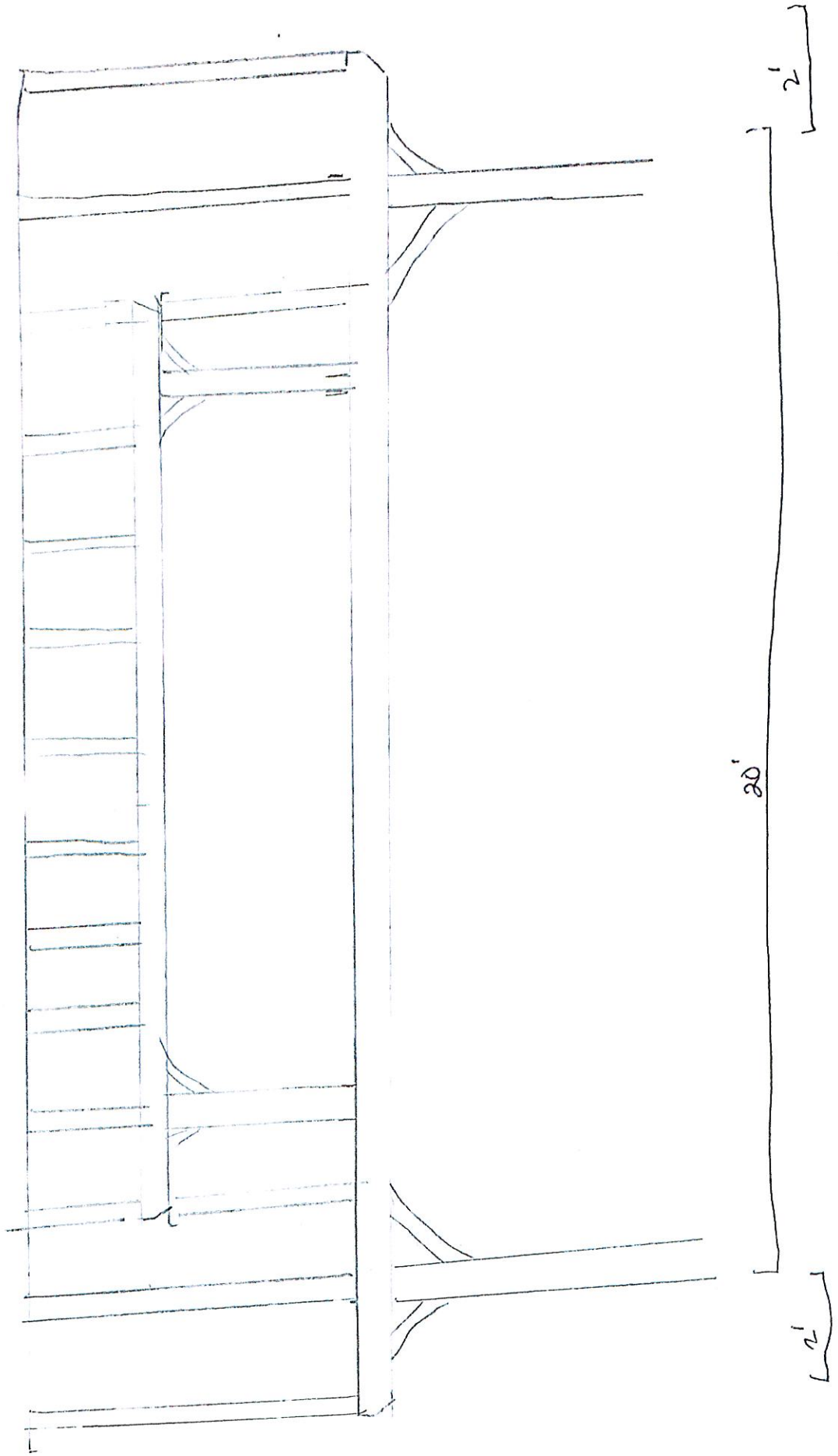
rough sketch

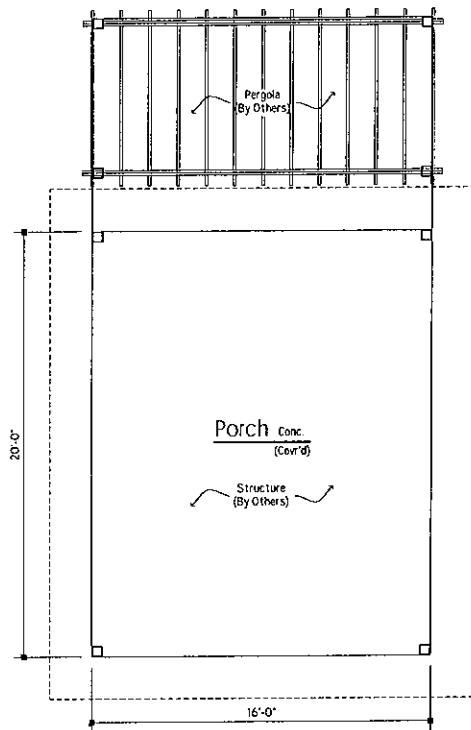
4" x 8" rafters

8/12 pitch

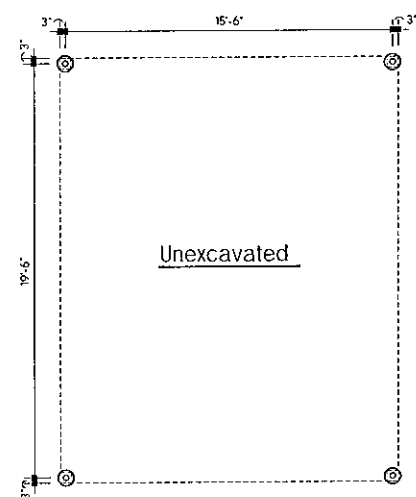
10" x 10" post & beams

under 16' tall to peak

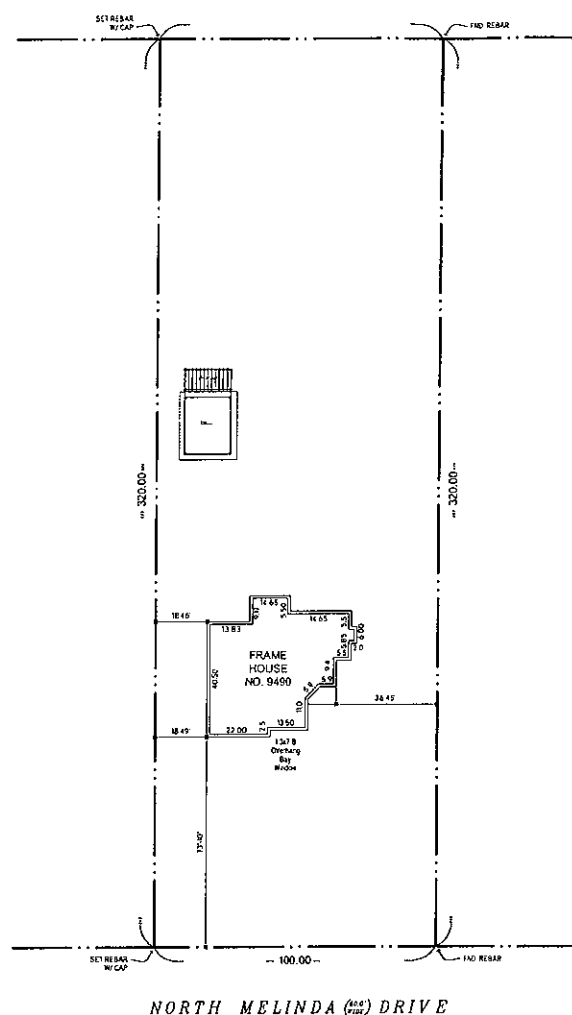




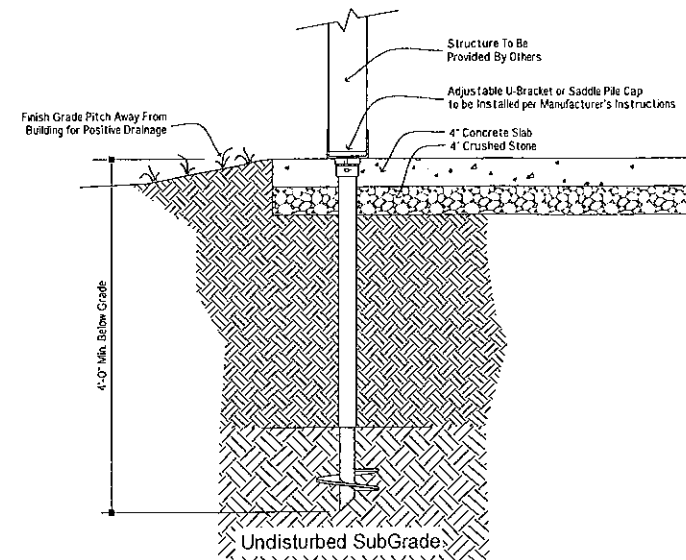
1 FLOOR PLAN
1/4"=1'-0"



2 FOUNDATION PLAN
1/4"=1'-0"



3 SITE PLAN
1"=20'-0"



4 TYP. WALL SECTION
1"=1'-0"

GENERAL NOTES

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- Do not scale drawings. Use given dimensions. Check details for appropriate location of all items not dimensioned on the drawings. Doors and window openings without dimensions are to be 4" from the face of the adjacent wall or centered between the walls. Verify field dimensions prior to commencement of each portion of the work.
- The contractor shall verify all dimensions, conditions and structural members prior to construction and inform the architect of any discrepancies in the documents. The contractor shall coordinate all framing with electrical, plumbing and mechanical work. The general contractor is responsible for the proper operation of all systems and the coordination of all systems and trades.
- Failure to show or mention minor details shall not be construed for omission of necessary details for the normal, usual and proper completion of the work. All dimensions, notes, finishes and fixtures shown on these floor plans, sections or details, shall apply to similar, symmetrical or opposite hand plans, sections or details. All other cabinet layouts are representative only and shall be subject to change based on the final kitchen design.
- The contractor is responsible for the means and methods of construction and all job-related activities and safety standards, including but not limited to OSHA. The contractor is responsible for the strength and stability of the structure during construction and shall provide temporary shoring, bracing and other elements required to maintain stability until the structure is completed.
- It is the contractor's responsibility to be familiar with the work required in the construction documents and the requirements for executing it properly and in compliance with applicable state and local codes.
- In the case of any discrepancies within the contract drawings, field conditions or reference standards, the architect shall determine which shall govern. Any discrepancies shall be brought to the attention of the architect prior to commencement of work.
- All structural systems such as engineered floor joist or plate connected wood trusses which have components to be field erected shall be handled, stored and erected in accordance with the manufacturer's written instructions.
- All dimensions on floor plans are to face of framing member or face of masonry or concrete walls. All dimensioned walls are drawn per actual 3'-10" or 5'-10" stud with exterior walls showing but are dimensional to the face of framing.
- All rough openings are to be confirmed by appropriate vendors.
- All required tempered glass is to be included and is the responsibility of the door and window vendor.
- Typical loading design satisfying minimum loading conditions for this project are based on 1600 PSF roof bearing capacity unless otherwise noted or demonstrated in a soil boring test.
- Habitable spaces not provided with an operable exterior opening of at least 4% of the floor area shall be provided with a mechanical ventilation system that will provide a minimum of 0.35 air changes per hour.
- All stud walls at tub and shower enclosures shall have fire blocking between the studs. All glazing in doors or enclosures in bathrooms shall be safety glazing. Glazing in any portion of a building wall enclosing a shower or bathtub where the bottom exposed edge is less than 60" above the standing surface and drain outlet shall be safety glazing.
- Water closets shall have a minimum 15" to side walls from the center of the fixture, and a minimum of 21" clearance in front of the fixture.
- Minimum headroom at stairs is 8'-0" measured vertically from the sloped plane containing the tread nosing. The minimum tread length is 9" and the maximum rise is 8'-1/4". The handrail shall be mounted 34" to 38" above the stair nosing. Install fire blocking at mid span and at wall along stringer. Cover walls and tops of usable space under the stair with minimum 1/2" Gyp. Board.
- Guardrails shall be provided at all walking surfaces 30" or more above grade or the adjacent surface. Guardrails shall be a minimum 36" high.
- Each bedroom, and outside each sleeping room, and each story shall be provided a smoke detector. The smoke detector power source shall be installed in accordance with NFPA 72 and IBC 903.3. All alarm devices shall be interconnected.
- Drain vents and bathroom fans shall be vented directly to the exterior. Bathroom fans shall be 50 cfm minimum and range fans shall be 100 cfm minimum.
- Provide attic ventilation as indicated on the drawings. The net free area of the area of the attic space shall not be less than 1/300" of the area of the attic space except that area may be 1/500" of the area of the attic space if the area of the attic space is enclosed with ventilators located in the upper portion of the space to be vented with the balance of the required ventilation provided by gable or cornice vents.
- Factory built fireplaces, vents and chimneys shall be UL listed and installed per the manufacturer's instructions. Non-combustible materials shall be provided on adjacent surfaces per the manufacturer's specifications.
- All HVAC and electrical work shall be installed in accordance with current building and energy code requirements as well as the national electrical code. The furnace shall have a 20% + rating and have a 1-degree programmable thermostat. The domestic water heater shall meet ASHRAE 90.7-5 standard for gas fired units.

HVAC Design Criteria:

Outdoor heating design dry-bulb temperature	5.000
Winter design dry-bulb temperature	6.000
Summer design dry-bulb temperature	80.000
Indoor winter design temperature	72.000
Design humidity ratio	30%

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

MAXIMUM HEADER SPAN (Feet)	ULTIMATE DESIGN WIND SPEED AND EXPOSURE CATEGORY	
	Per Table R602.2.5, 1-140 mph, Exposure B or 1-130 mph, Exposure C	1-115 mph, Exposure B
4'-0"	1	1
6'-0"	2	1
8'-0"	2	1
10'-0"	3	2
12'-0"	3	2
14'-0"	4	2
16'-0"	4	2
18'-0"	4	2

Structural Design Criteria

Use Loads	Value	Seismic Design
Normal Other Than Sleeping Rooms	10 PSF	Seismic Importance Factor: I _e = 1.0 Occupancy Category: II Site Class: D Seismic Design Category: B Basic Seismic Force Resisting System: Bearing Wall Systems with Framed Walls with Wood Structural Panels Rated For Shear Resistance Design Base Shear: V = 5.85 (R/W) Wind And Seismic Govern: V = 2.875 (W) Analysis Procedure: Equivalent Lateral Force Procedure: Per ASCE 7 Sec. 12.8
Sleeping Rooms	10 PSF	
Stairs	20 PSF	
Balconies And Decks	10 PSF	
Unsheltered Attic Space	30 PSF	
Ground Snow Load	S _G = 50 PSF	
Flat Roof Snow Load	S _F = 50 PSF	
Snow Exposure Factor	E _s = 1.0	
Seismic Importance Factor	I _e = 1.0	
Thermal Factor	ψ = 1.0	
Basic Wind Speed	V = 115 MPH	
Wind Importance Factor	I _w = 1.0	
Occupancy Category	II	
Exposure Category	B	
Internal Pressure Coefficient	C _{pi} = 0.18	
Component And Cladding Design Pressure	12.33 PSF (1.68 kPa) (see Table)	

Wood Framing: All structural lumber shall be No. 2 Douglas Fir-Larch with a minimum extreme fiber bending stress (F_b) of 1450 Psi, and a minimum modulus of elasticity (E) of 1,600,000 Psi. All sawn lumber and pre-manufactured wood products shall be identified by a Grade Mark or a Certificate of Inspection issued by the certifying agency.

Wood Headers: shall be sized as shown on the Header Table unless noted otherwise on the plans. Interior non-load bearing headers may be (2) 2x6.

Install double structural members under all partitions and framed openings in walls, roofs and floors unless noted otherwise on plans.

Provide solid bearing under all beams. The solid bearing shall run continuous from the foundation to the underside of the beam. Solid wood backing shall be of the same width as the beam being supported.

Wood ceiling joists shall be sized in accordance with the ceiling joist span table. All ceiling joist shall span in the same direction as the roof rafters and shall be secured to the rafter per the heel joint connection table.

Wall Framing: Unless otherwise noted, all interior walls shall be 2x4 @ 16"OC and all exterior walls shall be 2x4 or 2x6 @ 16"OC as indicated on drawings. Provide (2) bundled studs min at wall ends and each side of all openings. All solid sawn lumber headers shall be supported by a minimum of (1) trim and (1) king stud and all glulam or engineered wood headers by (2) trim and (2) king studs. All framed walls, all solid sawn lumber beams shall be supported on a minimum of (2) bundled 2x studs and all glulam or engineered wood joists on a minimum of (3) bundled 2x studs. Sitch-nail bundled studs with (2) 100 @ 12"OC. Provide solid blocking thru floors to supports below for bearing walls and posts. Unless noted otherwise, attach bottom plates of stud walls to wood framing below with 150 @ 12"OC or to concrete with 1/2" DIA. Anchor bolts X 7" Embedment at 72" OC walls. Unless noted otherwise, provide gypsum sheathing on interior surfaces and plywood sheathing on exterior surfaces.

Roof/Floor Framing: Unless otherwise noted, provide double joists under all parallel bearing partitions and solid blocking at all bearing points. Provide double joists around all roof/ceiling openings. Unless noted otherwise, multi-span rafters shall be sitch-nail together with (2) 100 @ 12"OC. Provide roof sheathing edge joist centered between framing at unblocked plywood edges. All floor sheathing shall have tongue and groove joints or be supported by solid blocking. Allow 1/8" spacing at all panel edges and ends of roof/floor sheathing. Roof/floor sheathing shall be laid face grain perpendicular to framing members.

Wood framing material is required to be treated wood under certain conditions, including sleepers, joists, blocking and plywood subflooring shall be pressure preservative treated and dried after treatment in accordance with AWPAC U11 and shall bear the label of an accredited agency.

Nailing Requirements: Provide minimum nailing accordance with Table R602.2.3 of the 2020 New York State Residential Building Code (1) Fastening Schedule" or as noted on the drawings. Nails shall be driven flush and shall not reduce the surface of sheathing.

Ceiling Joist Span Table
2020 NYS Residential Code

Ceiling Joist (Nominal Member Size)	PSF	Dead Load = 20 PSF			
		2x4	2x6	2x8	2x10
12" x 12" Douglas Fir-Larch	R2	12'-5"	15'-5"	23'-5"	28'-0"
12" x 12" Douglas Fir-Larch	R2	11'-3"	17'-8"	23'-4"	26'-0"

Ceiling Joist Span Table
2020 NYS Residential Code

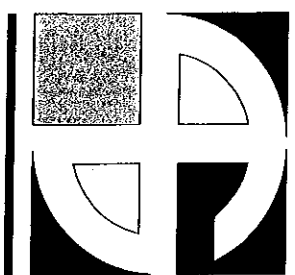
Ceiling Joist (Nominal Member Size)	PSF	Dead Load = 20 PSF			
		2x4	2x6	2x8	2x10
12" x 12" Douglas Fir-Larch	R2	9'-10"	15'-0"	19'-11"	23'-3"
12" x 12" Douglas Fir-Larch	R2	8'-11"	13'-0"	16'-6"	20'-3"

Header Table
2020 NYS Residential Code

2x4 Wall	Maximum Header Spans			
	(2)2x6	(2)2x8	(2)2x10	(2)2x12
One Story	4'-1"	5'-2"	8'-4"	7'-4"
Two Story	3'-4"	4'-2"	5'-0"	6'-0"

Heel Joint Connections
2020 NYS Residential Code

Rafter Slope	Rafter Spacing	Roof Span			
		12	20	28	36
3:12	16"	6	11	15	20
4:12	16"	5	8	12	15
5:12	16"	4	7	9	12
7:12	16"	3	5	7	9
9:12	16"	3	4	5	7
12:12	16"	3	3	4	5



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3284 WALDEN AVENUE
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FAX: (716) 651-0382

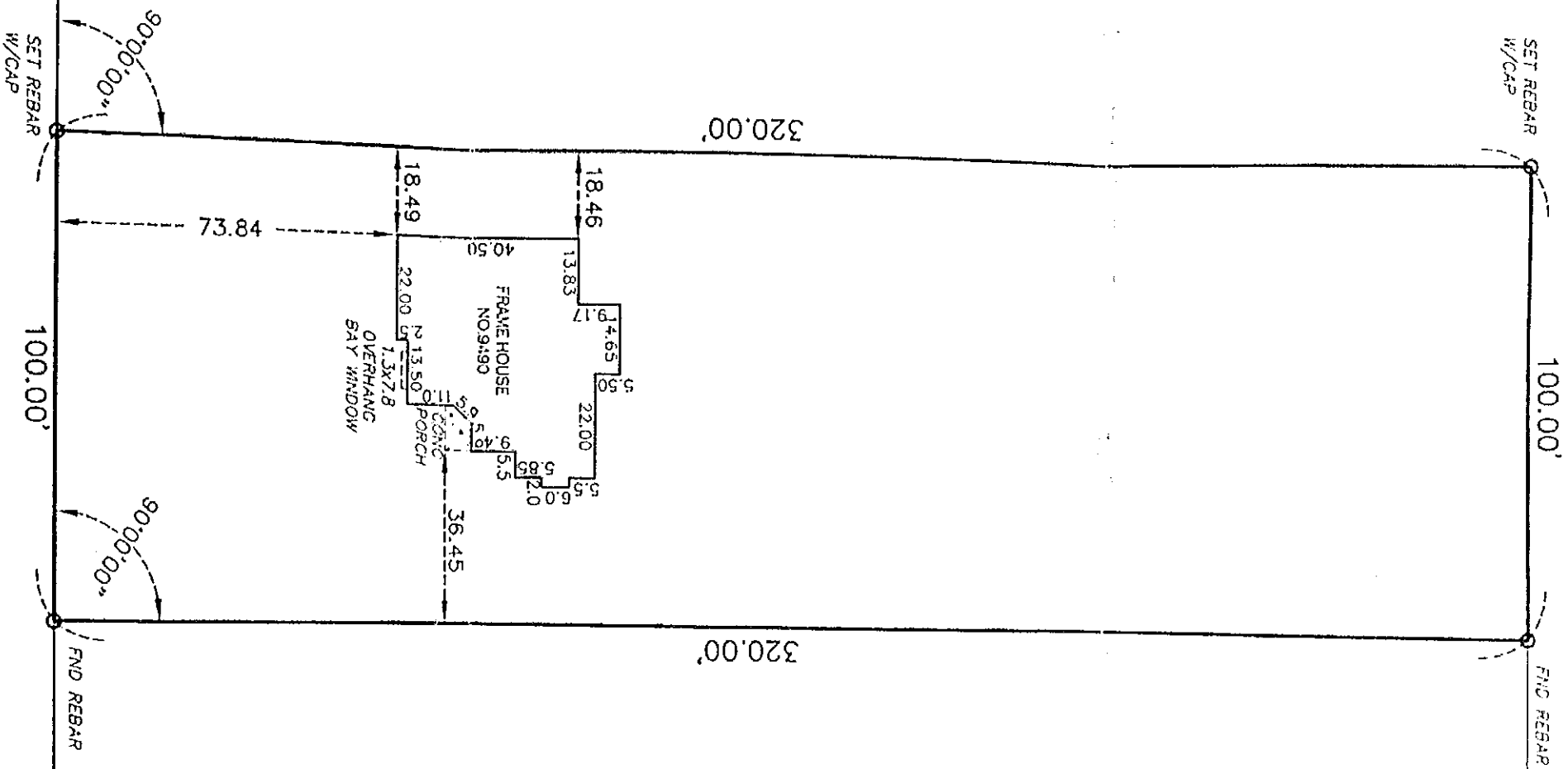
23-089

CORTESE RESIDENCE
 Project For:
 9490 N. Melinda Drive
 Clarence NY 14032

No.	Description	Date	By

DATE: 05-23-24
 DRAWN BY: J. Strasser
 CHECKED BY: M. Dean
 SCALE: As Noted

PLANS, ELEVATIONS
& DETAILS
A1



NORTH MELINDA DRIVE

(60' WIDE)

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MAP MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL AND SIGNATURE SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

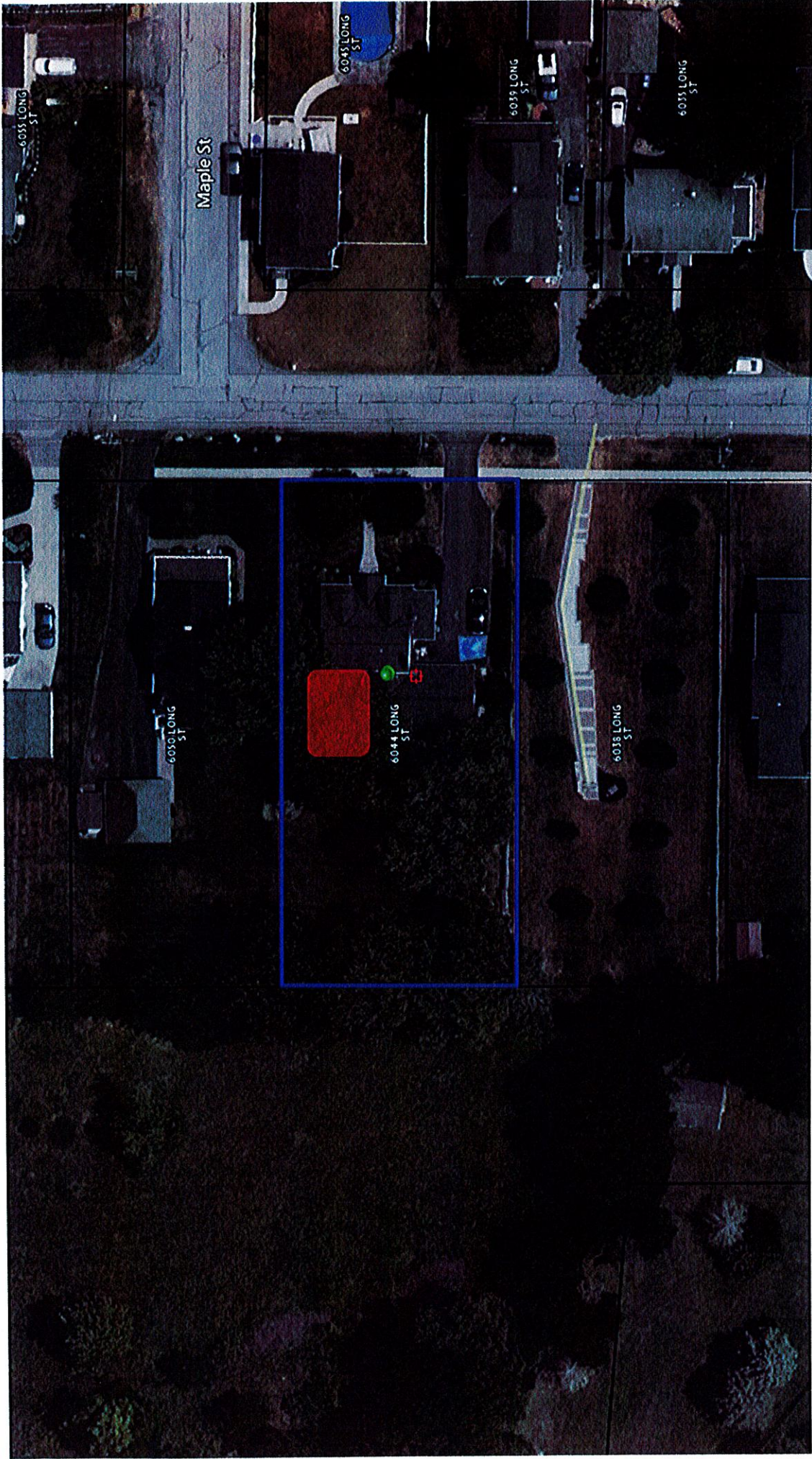
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UP-TO-DATE ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH

PART OF LOT: 12 HOLLAND LAND COMPANY'S SURVEY	SECT: 5	TWP: 12	RGE: 6	BLK:
MAP COVER:	SUB LOT:			
LOCATED IN: TOWN OF CLARENCE, COUNTY OF ERIE, STATE OF NEW YORK				
DATE	DRAWING REVISIONS			
06/24/2013	FOUNDATION LOCATION			
11/12/2013	RESURVEYED			

WARNING:
 UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW
 © COPYRIGHT 2010 WM SCHUTT & ASSOCIATES
 SCALE: 1"=40' DATE: 04/17/2013 SURVEY FILE: A13023-01



37 CENTRAL AVE
 LANCASTER, NY 14086-2143
 PH: 716-683-5961
 FAX 716-683-0169
 WWW.WMSCHUTT.COM



note the parcel lines displayed are approximate

6044 Long Street



Proposed addition to the principal structure, resulting in a total lot coverage of 15.4%.

The maximum allowable lot coverage is 13% for a two-story structure.

A 2.4% variance is requested.

Action Desired:

Proposing a one-story addition that would increase the lot coverage from the existing 11.2% to 15.4% coverage – 2.4% over the 13% maximum permitted. ~~Additionally, we would like to include a fireplace that would be a 1.4-foot encroachment on the minimum 12.5 feet side yard setback.~~

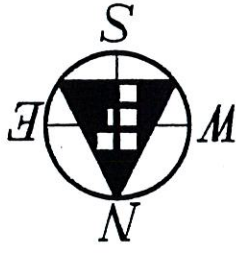
Variance not
required per JB
5/22/24

Reason:

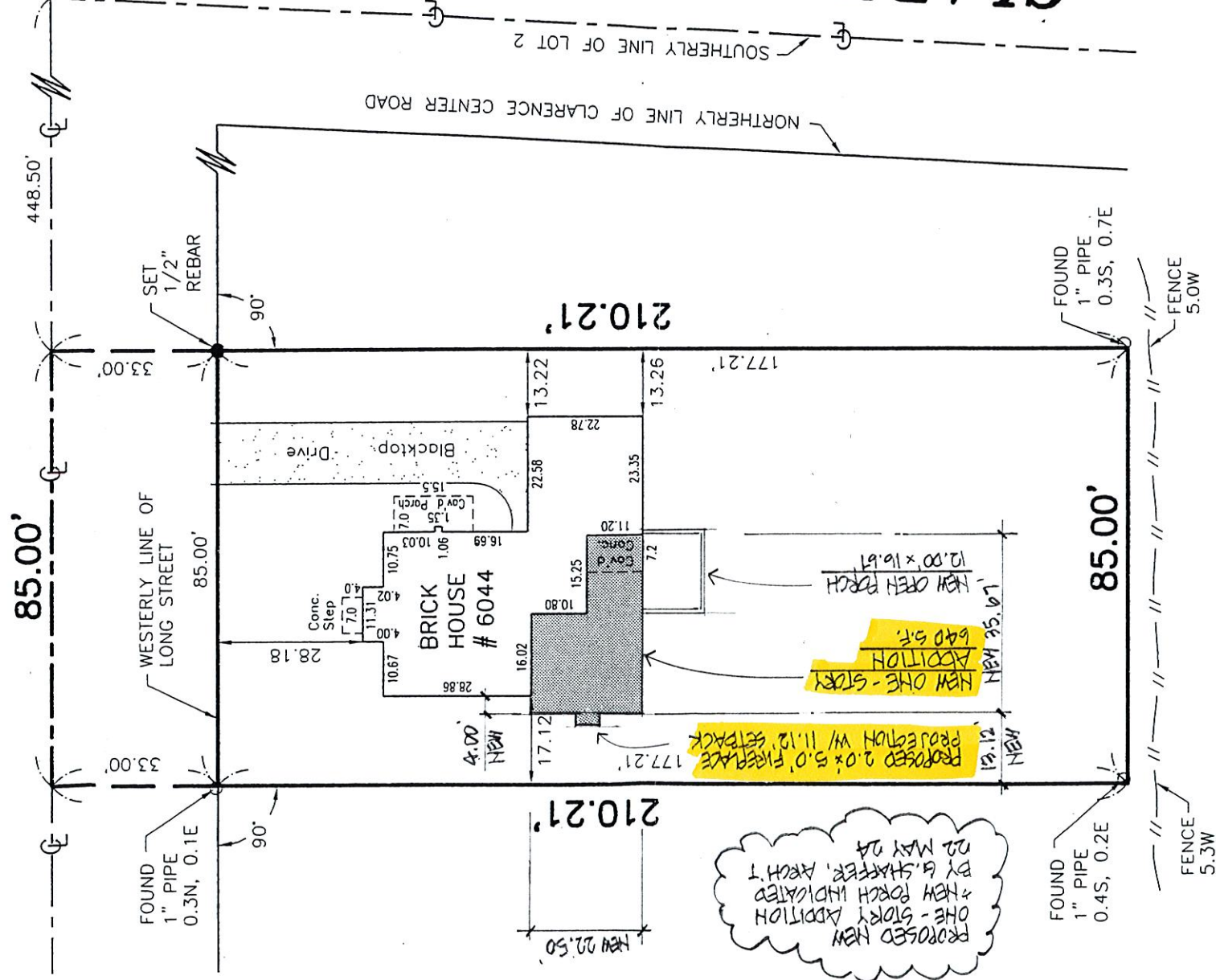
We are out growing our house with two kids and need more room. We love Long Street with other family members living next door and four houses down. Furthermore, both our parents live less than two blocks away. We both grew up in Clarence Center and attended Clarence Center Elementary and would like our kids to continue to follow in our footsteps. Without an addition we would potentially move out of this small close-knit community that could be traumatizing for our children.

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH

Feet	Inches
0.08	1
0.17	2
0.25	3
0.33	4
0.42	5
0.50	6
0.58	7
0.67	8
0.75	9
0.83	10
0.92	11
1.00	12



LONG STREET (66' WIDE)



PROPOSED NEW ONE-STORY ADDITION + NEW PORCH INDICATED BY G. SHAFER, ARCH'T 22 MAY 24
 PROPOSED 2.0' x 5.0' FIREPLACE PROTECTION W/ 11.12' SETBACK
 NEW ONE-STORY ADDITION
 ADDITION
 640 SF.
 NEW CREW PORCH
 12.00' x 16.67'

CLARENCE CENTER RD. (66' WIDE) (F.K.A. MAIN STREET)

Bernard S. Wells

Foit-Albert Associates
 Architecture, Engineering and Surveying, P.C.
 763 Main Street, Buffalo, New York 14203
 SUCCESSOR TO THE RECORDS OF CHARLES E. DENVER
 PHONE: (716) 856-3933 FAX: (716) 856-3961

LOCATION: TOWN OF CLARENCE	SCALE: 1"=30'
COUNTY OF ERIE, STATE OF NEW YORK	DRAWN BY: O. A. REYES
PART OF LOT 2, SECT. 11, TOWNSHIP 12, RANGE 6	CHECKED BY: B. WELLS
OF THE HOLLAND LAND COMPANY'S SURVEY	RESURVEY:
MAP COVER: 1364	NO COR. MON. SET
SUBLOT(S): 19	DATE: SEPT. 14, 2007
REVISIONS:	JOB No.: 07-33130

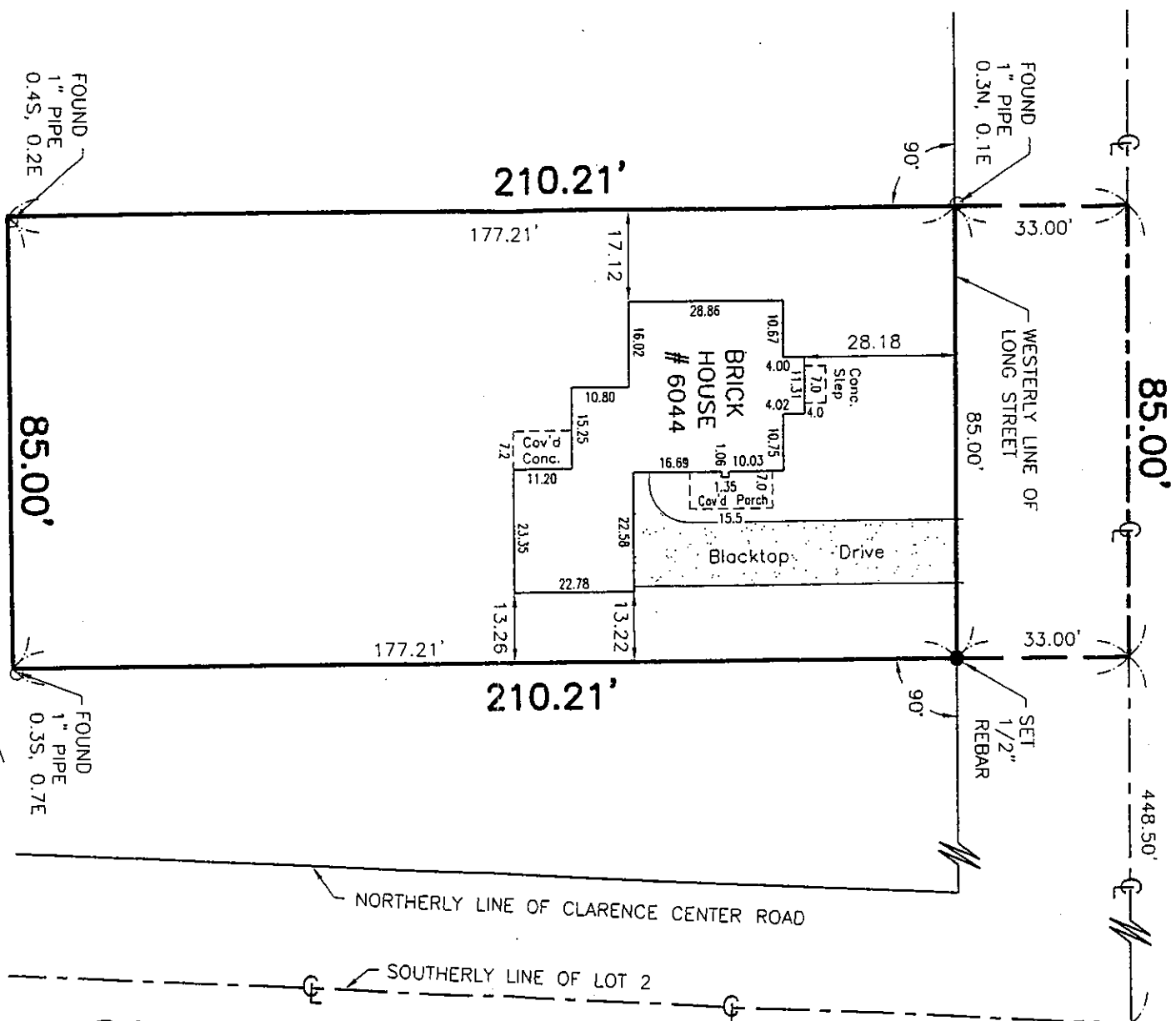
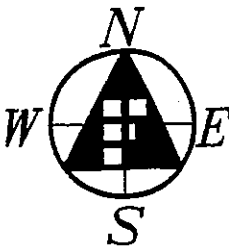
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Feet - 1 inch
 0.08 - 2"
 0.17 - 3"
 0.25 - 4"
 0.33 - 5"
 0.42 - 6"
 0.50 - 7"
 0.58 - 8"
 0.67 - 9"
 0.75 - 10"
 0.83 - 11"
 0.92 - 12"
 1.00 - 12"

LONG (66' WIDE) STREET

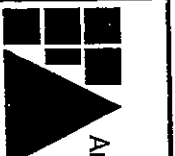


CLARENCE CENTER (66' WIDE) RD. (F.K.A. MAIN STREET)

Bernard S. Wells

LOCATION: TOWN OF CLARENCE
 COUNTY OF ERIE, STATE OF NEW YORK
 PART OF LOT 2, SECT. 11, TOWNSHIP 12, RANGE 6
 OF THE HOLLAND LAND COMPANY'S SURVEY
 MAP COVER: 1364
 SUBLOT(S): 19
 REVISIONS:
 DATE: SEPT. 14, 2007 JOB No.: 07-33130

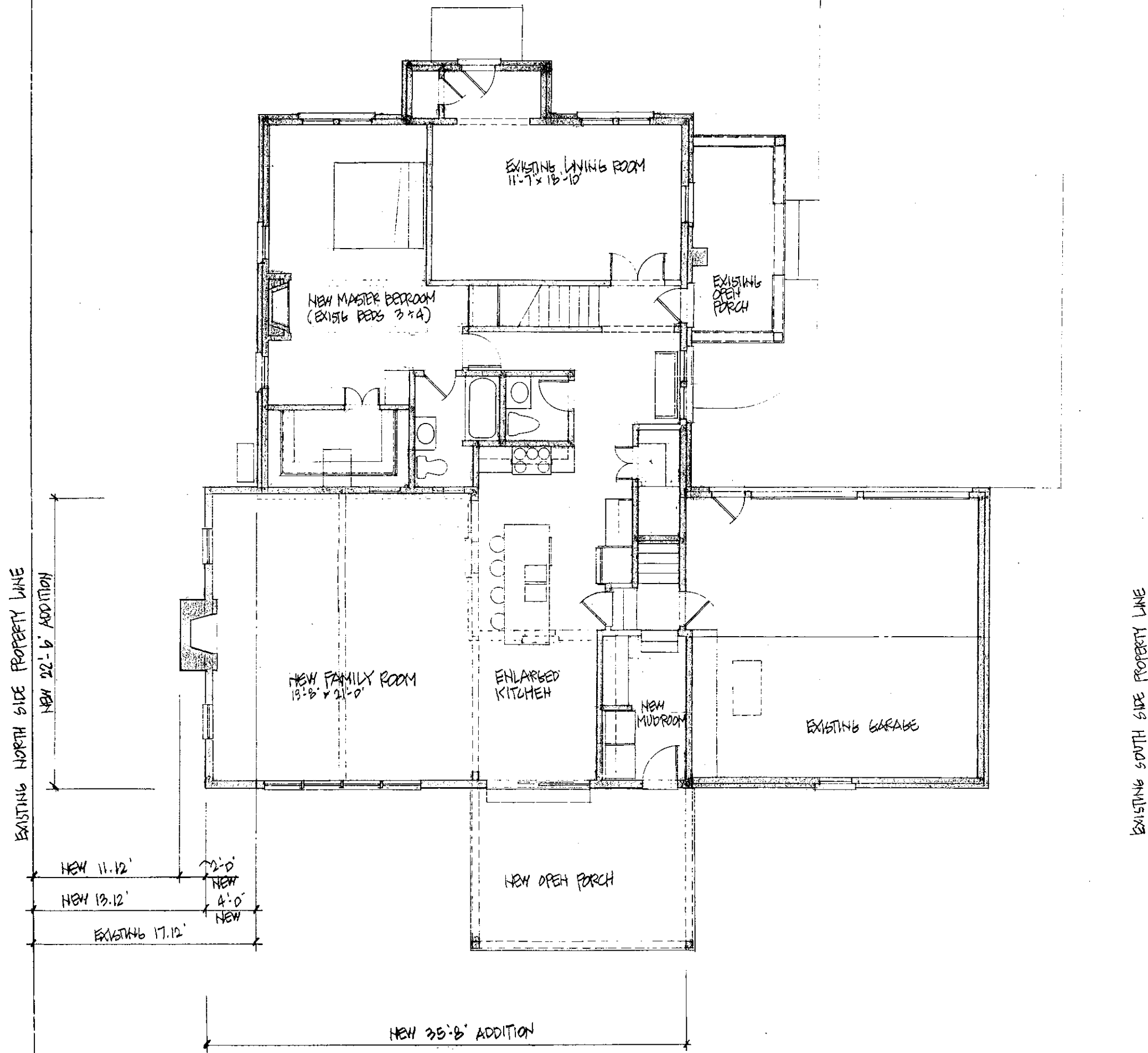
SCALE: 1" = 30'
 DRAWN BY: O. A. REYES
 CHECKED BY: B. WELLS
 RESURVEY:
 NO COR. MON. SET



Foit-Albert Associates
 Architecture, Engineering and Surveying, P.C.
 763 Main Street, Buffalo, New York 14203
 SUCCESSOR TO THE RECORDS OF CHARLES E. DENVER
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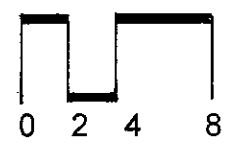
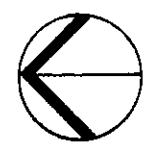
First Floor Plan

Proposed
Alterations
& Addition to

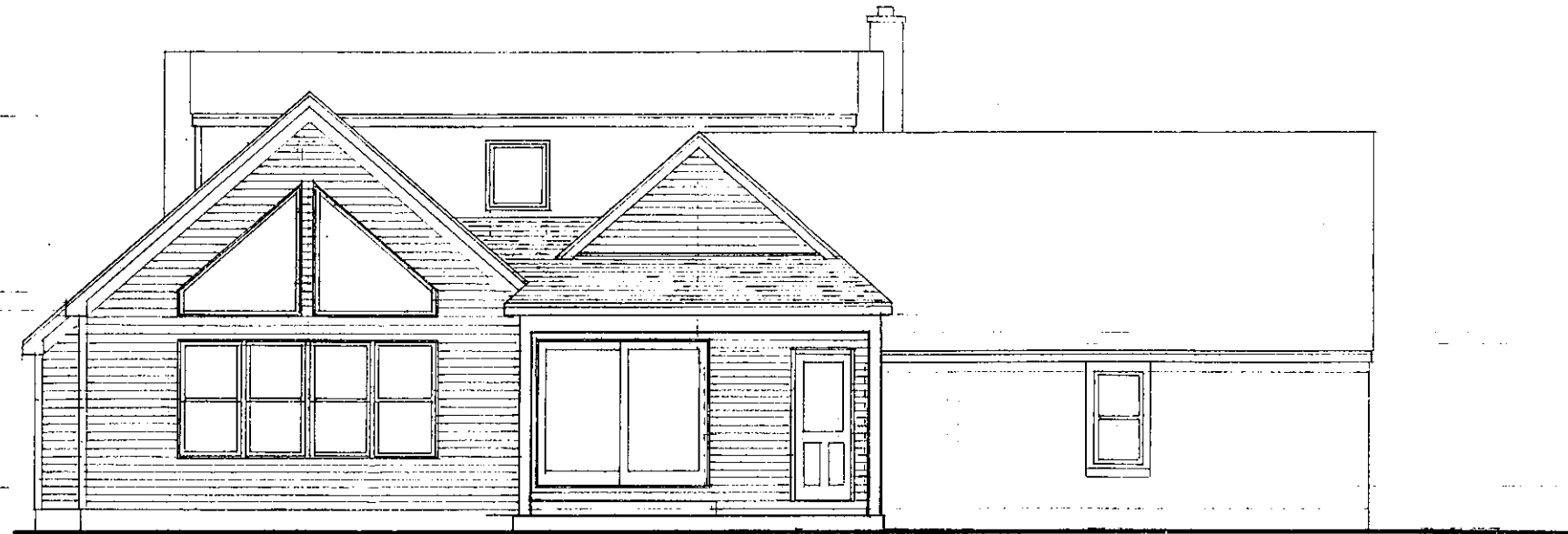
The McGreevy Residence

6044 Long Street
Clarence, New York

22 May 24



Gerald
Shaffer,
Architect
5095 Old Goodrich Road
Clarence, New York 14031



West (Rear) Elevation

NEW ADDITION



Proposed
Alterations
& Addition to

The McGreevy Residence

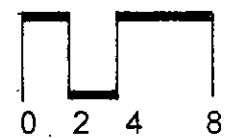
6044 Long Street
Clarence, New York

22 May 24

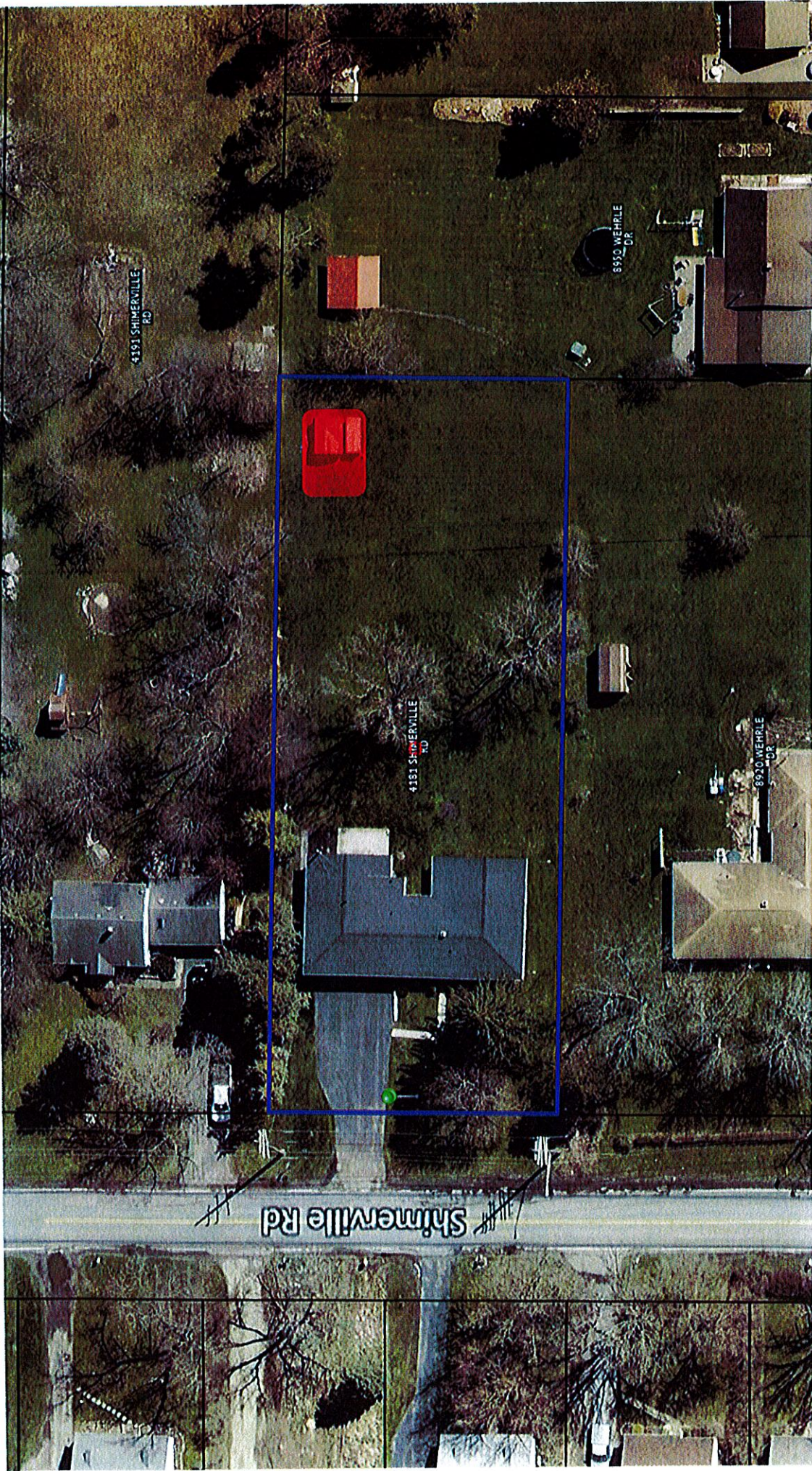


East (Front) Elevation

NEW ADDITION
BEYOND



Gerald
Shaffer,
Architect
5095 Old Goodrich Road
Clarence, New York 14031



note the parcel lines displayed are approximate

Proposed 342 sq.ft. (28'6" x 12') detached accessory structure (shed).

The maximum allowable square footage for a detached accessory structure when an attached garage exists is 200 sq.ft.

A 142 sq.ft. variance is requested.



4181 Shimerville Road

6:58

4G 64%



jamaicacottageshop.com/s



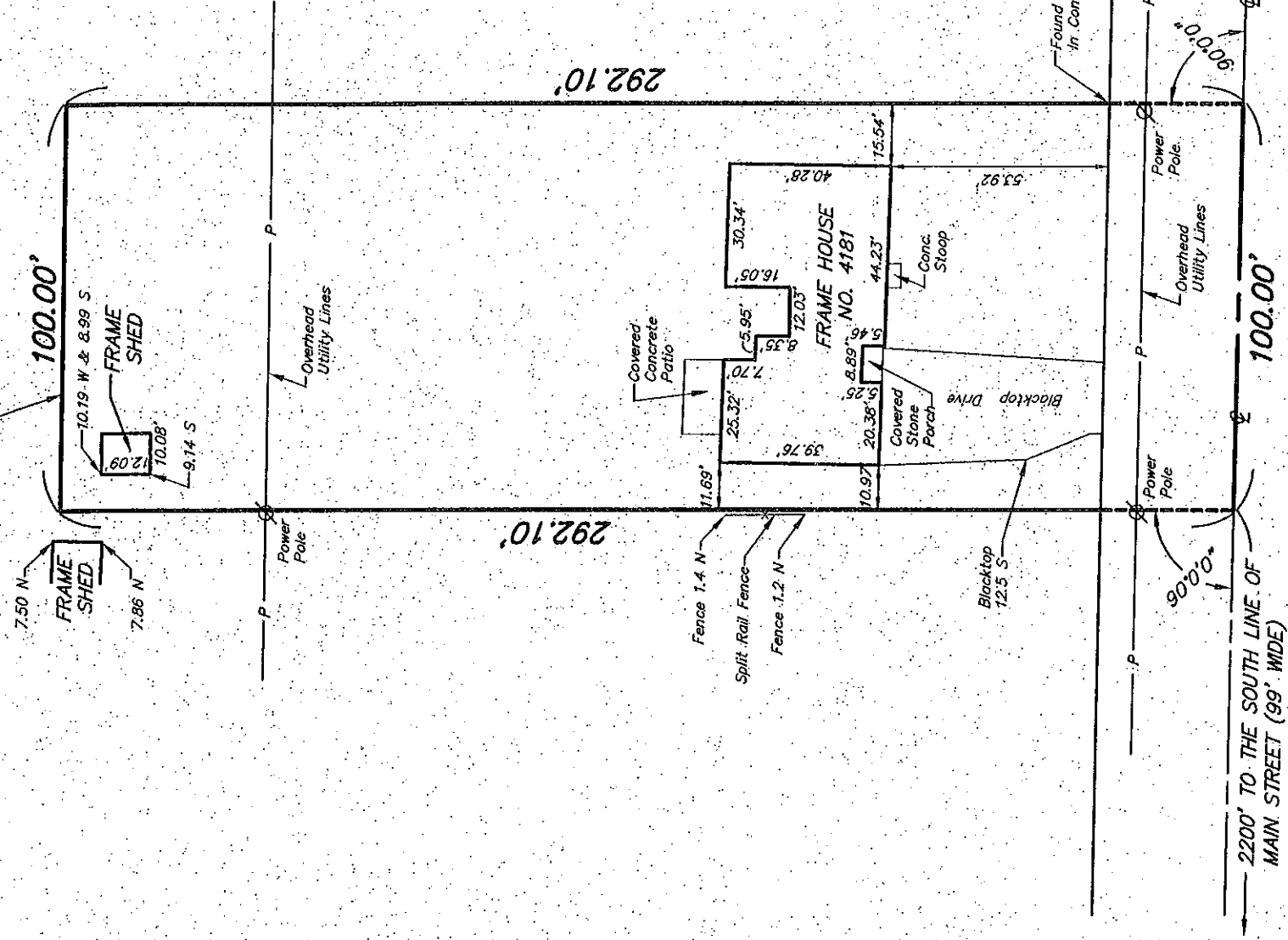
1





20053

PARALLEL WITH SHIMERVILLE ROAD



INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: Liber 11115 Deeds Page 2857
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
 NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYS ADOPTED BY THE BAR ASSOCIATION OF ERIE COUNTY AT THE REQUEST OF Nancy Saita Esq.

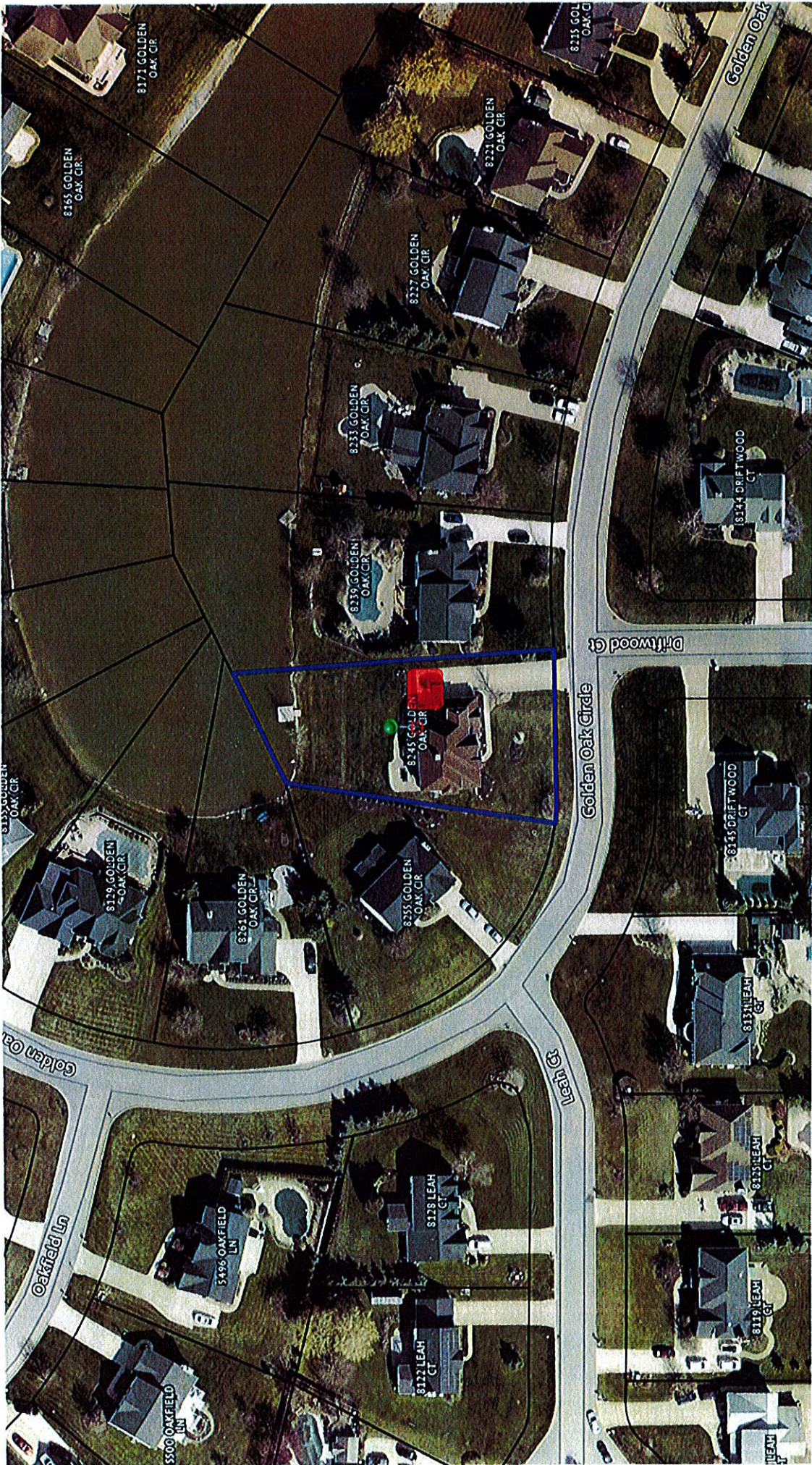
Francis C. Delles
 FRANCIS C. DELLES
 NYSPLS No. 050477

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Millard, Mackay & Delles
 LAND SURVEYORS, LLP
 150 AERO DRIVE
 BUFFALO, NEW YORK 14225
 PHONE (716) 631-5140 ~ FAX 631-3811

AMEND:
 SURVEY DATE: 6-14-18
 © DRAWING DATE: 6-17-18
 SCALE: 1" = 40'
 " ALL RIGHTS RESERVED "

THIS MAP VOID UNLESS EMBOSSED WITH NEW YORK STATE LICENSED LAND SURVEYOR'S SEAL. ALTERING ANY ITEM ON THIS MAP IS A VIOLATION OF THE LAW EXCEPT AS PROVIDED IN SECTION 7209, PART 2, OF THE NEW YORK STATE EDUCATION LAW.
 SBL No. 82.08-4-39

PART OF LOT 9 SECTION 9 TOWNSHIP 12 RANGE 6 OF THE
 Holland Land Company's SURVEY - Erie COUNTY, N.Y.
 SURVEY OF: 4181 Shimerville Road, Town of Clarence



note the parcel lines displayed are approximate

8245 Golden Oak Circle



Proposed attached accessory structure addition to the principal structure.

Proposed 7'11" side yard setback.

The minimum side yard setback for a principal structure is 12'6".

A 4'7" variance is requested.

Area Variance Application

Planning Department

Area Variance Request

No area variance will be granted without a showing by you (the applicant) that the following have been addressed. Attach any supporting materials to support your case.

1. **Character of Neighborhood.** Describe whether an undesirable change will be produced in the character of the neighborhood or if a detriment to nearby properties will be created if a variance is granted.

the variance, if approved shall not create an undesirable change in the character of the neighborhood

or a detriment to nearby properties.

- the proposed addition is set back from the main house and exterior finish materials shall match the existing house.

additional landscaping shall be provided to screen the proposed structure from the neighboring property .

2. **Other Alternatives.** Describe whether the benefit being sought can be achieved by some other feasible method, other than an area variance being granted:

many other design alternatives were investigated and it has been determined that there are no other

feasible methods to achieve the benefit sought.

3. **Substantial.** Describe whether or not the requested variance is substantial in nature:

The required setback is 12.5 feet and the proposed setback is 7.96 feet. The variance request shall be for a distance of 4.54 feet.

the setback provided shall meet all minimum requirements related to NYS Firecode and provide adequate buffer to the neighboring property.

Therefore, it is our opinion that the variance is not Substantial.

4. **Physical or Environmental Conditions.** Describe if the proposed variance will have an adverse impact on the physical or environmental conditions in the neighborhood or district, including but not limited to traffic circulation, noise, or odor.

the proposed addition (variance) will not have an adverse impact on the physical or environmental conditions of the neighborhood,

regarding traffic circulation, noise and/or odor.

5. **Not self-created.** Describe if the alleged difficulty was self-created (did you cause the need for the variance). This response shall be considered by the Board of Appeals but shall not necessarily preclude the granting of the variance:

the alleged difficulty was not self-created. The position and location of the existing house limited the possibilities

for the location and design of the addition, therefore requiring the need for the variance.



note the parcel lines displayed are approximate

Proposed 464 sq.ft. (29' x 16') detached accessory structure (pool house).

The maximum allowable square footage for a detached accessory structure when an attached garage exists is 200 sq.ft.

8427 Lakewood Court



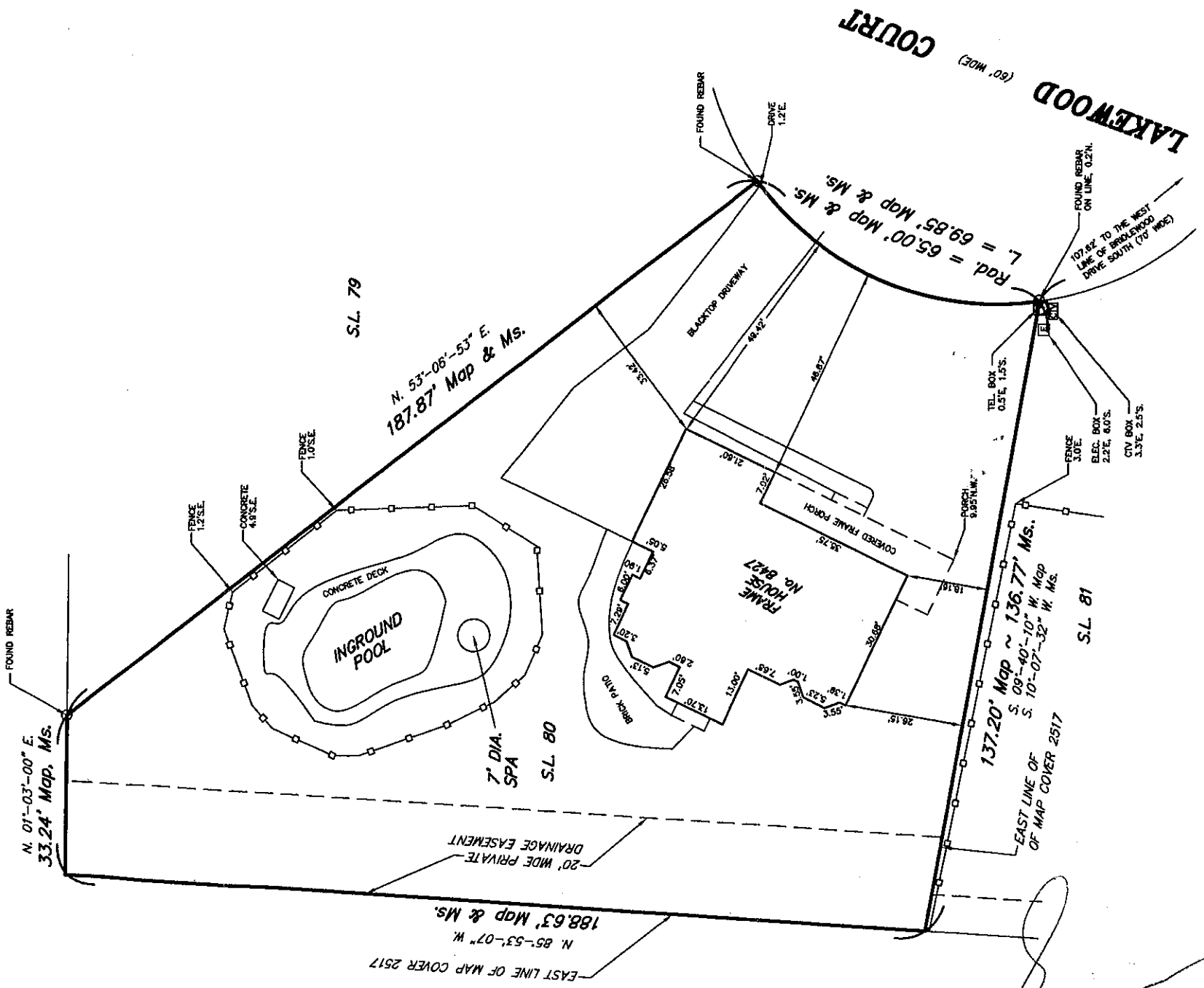
A 264 sq.ft. variance is requested.

Proposed 6' detached accessory structure side yard setback.

The minimum side yard setback for detached accessory structures in the side yard is 10'.

A 4' variance is requested.

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.



SUBLOT 80 ~ MAP COVER 2517

PART OF L 2 S 15 T 12 R 6 OF THE HOLLAND LAND COMPANY
 VILLAGE OF CLARENCE : COUNTY OF ERIE : STATE OF NEW YORK

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN SPECIFICATION, PLAN OR REPORT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

DATE	REVISION DESCRIPTION

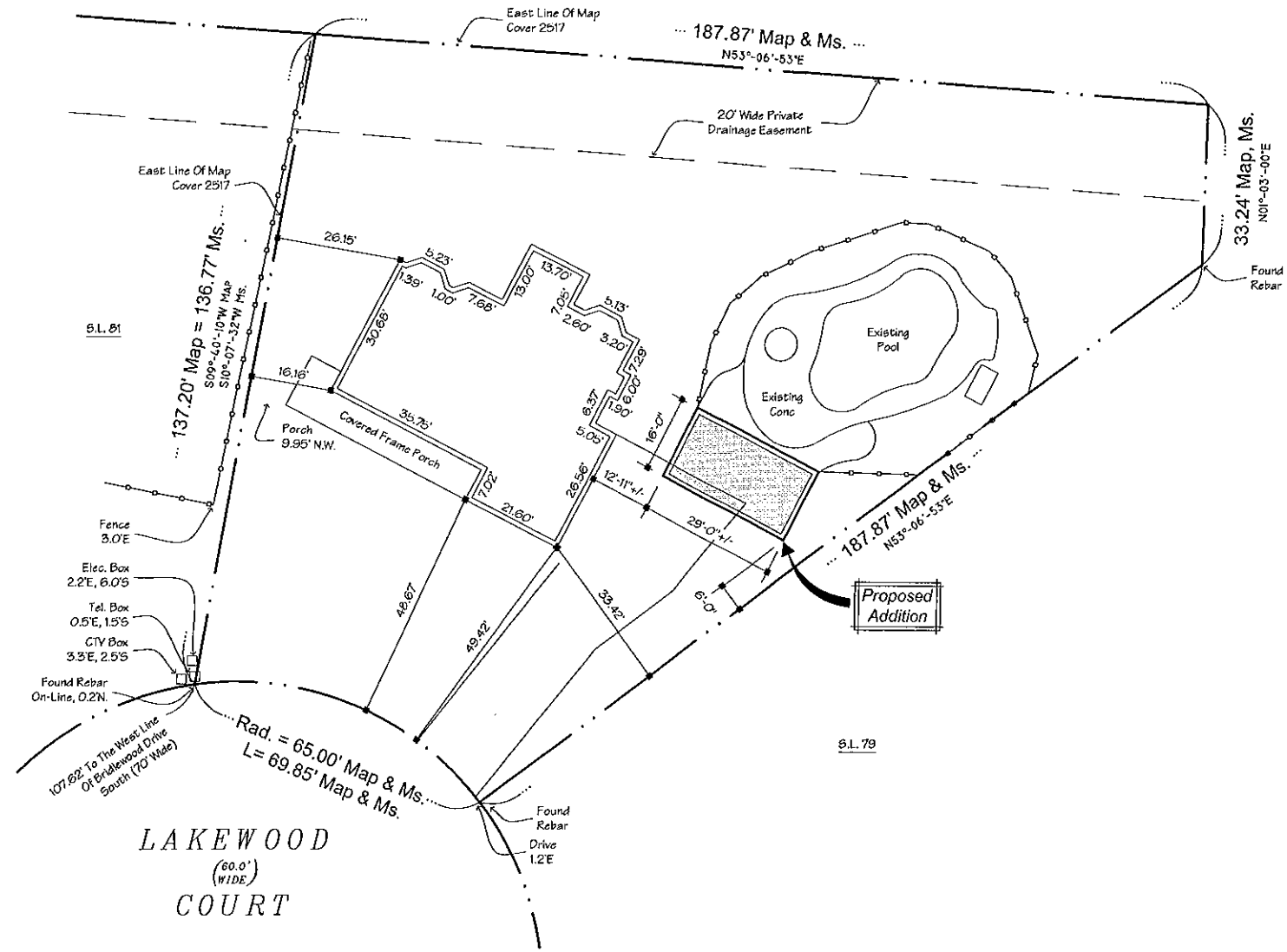
SBL No. 43.10-2-40

KHEOPS
 ARCHITECTURE, ENGINEERING
 & SURVEY, DPC

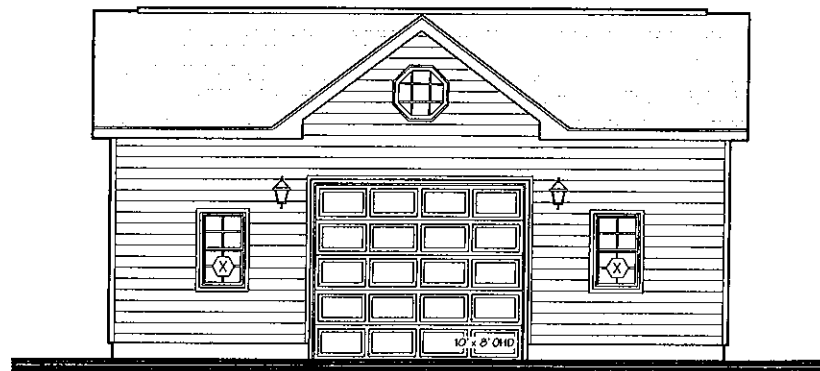
300 Pearl Street, Suite 100
 Buffalo, New York 14202
 P. 716.849.8739
 F. 716.856.0981
 WWW.KHEOPSDPC.COM

DRAWN BY GEM SCALE 1"=30' JOB NO. 15NY009.09
 CHECKED BY DRH FIELD DATE 5-11-15
 CAD FILE 8427 LAKEWOOD - 62720 OFFICE DATE 5-15-15

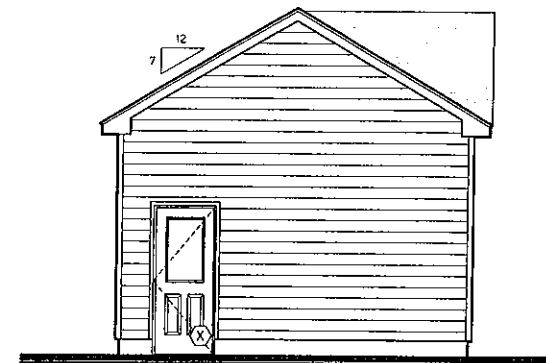
BOOK 411 PAGE 120 MAP 62720



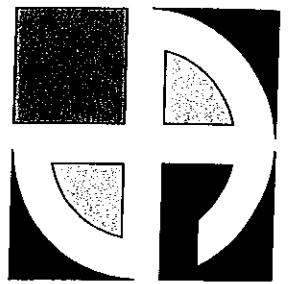
1 SITE PLAN
1/16"=1'-0"



2 FRONT ELEVATION
1/4"=1'-0"



3 LEFT ELEVATION
1/4"=1'-0"



DEAN
ARCHITECTS

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PRELIMINARY
NOT FOR
CONSTRUCTION



8353 MAIN STREET
CLARENCE, NEW YORK 14221
PHONE: (716) 651-0381
FAX: (716) 651-0382

24-204

ROBERTS RESIDENCE

Project For:

8427 Lakewood Court
East Amherst, N.Y. 14051

No.	Description	Date	By

DATE:
05-23-2024

DRAWN BY:
J. Strasser

CHECKED BY:
M. Dean

SCALE:
As Noted

PRELIMINARYS

A1