

**TOWN OF CLARENCE**  
*ENGINEERING and BUILDING DEPARTMENTS*  
6221 Goodrich Road  
Clarence Center, NY 14032  
716-741-8952  
FAX: 716-407-8915



*Timothy M. Lavocat, P.E., CFM*  
Town Engineer

May 20, 2024

Patrick Sheedy Jr., P.E.  
Carmina Wood Design  
487 Main Street, Suite 500  
Buffalo, NY 14203

Re: ***Bliss Mixed Use***  
***5695-5731 Transit Road***  
***Development Plan Review #5***

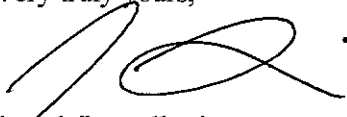
Dear Mr. Sheedy:

The Town of Clarence Engineering Department has performed a review of the development plan information for the above referenced project dated February 13, 2024 and received by this department February 15, 2024. **The Development Plan meets the technical requirements of the Engineering Department and is subject to the conditions below. Additional Town Committee/Board approvals are required for final Development Plan approval.**

1. Private Improvement Permits (PIP's) are required for pavement and curbing, storm drainage and grading and fire protection main prior to any site work.
2. All sheets of the PIP plans are to be wet stamped and signed. Four (4) sets of plans are required to be submitted with the PIP applications to the Engineering Department. Other departments may require additional plans.
3. All conditions of approval by the Engineering Department and the Planning Board Resolution for Development Plan approval shall be clearly presented on the cover sheet of the PIP Plans.
4. Only approved plan sets bearing the signature of the Town Engineer shall be considered valid plans to be used on site. All sheets of PIP plans to be clearly labeled "ISSUED FOR CONSTRUCTION".
5. As-Builts must be provided for all storm drainage and grading prior to issuance of Notice of Termination.
6. Full compliance with and all signatory requirements of GP-0-20-001 are required.
7. The Owner/Operator, qualified inspector and contractor certifications, as part of the SWPPP must be signed prior to issuance of PIP's.
8. Please be advised that SWPPP site inspections are required under permit GP-0-20-001 and are the responsibility of the owner/operator to ensure continued maintenance of the stormwater management system. The maintenance agreement required under permit GP-0-20-001 is required prior to certificate of occupancy.
9. A preconstruction meeting is required prior to issuance of PIP's.

Should you have any questions or require further clarification regarding the review of the above referenced project please feel free to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read 'J. Lancellotti', with a large loop and a trailing flourish.

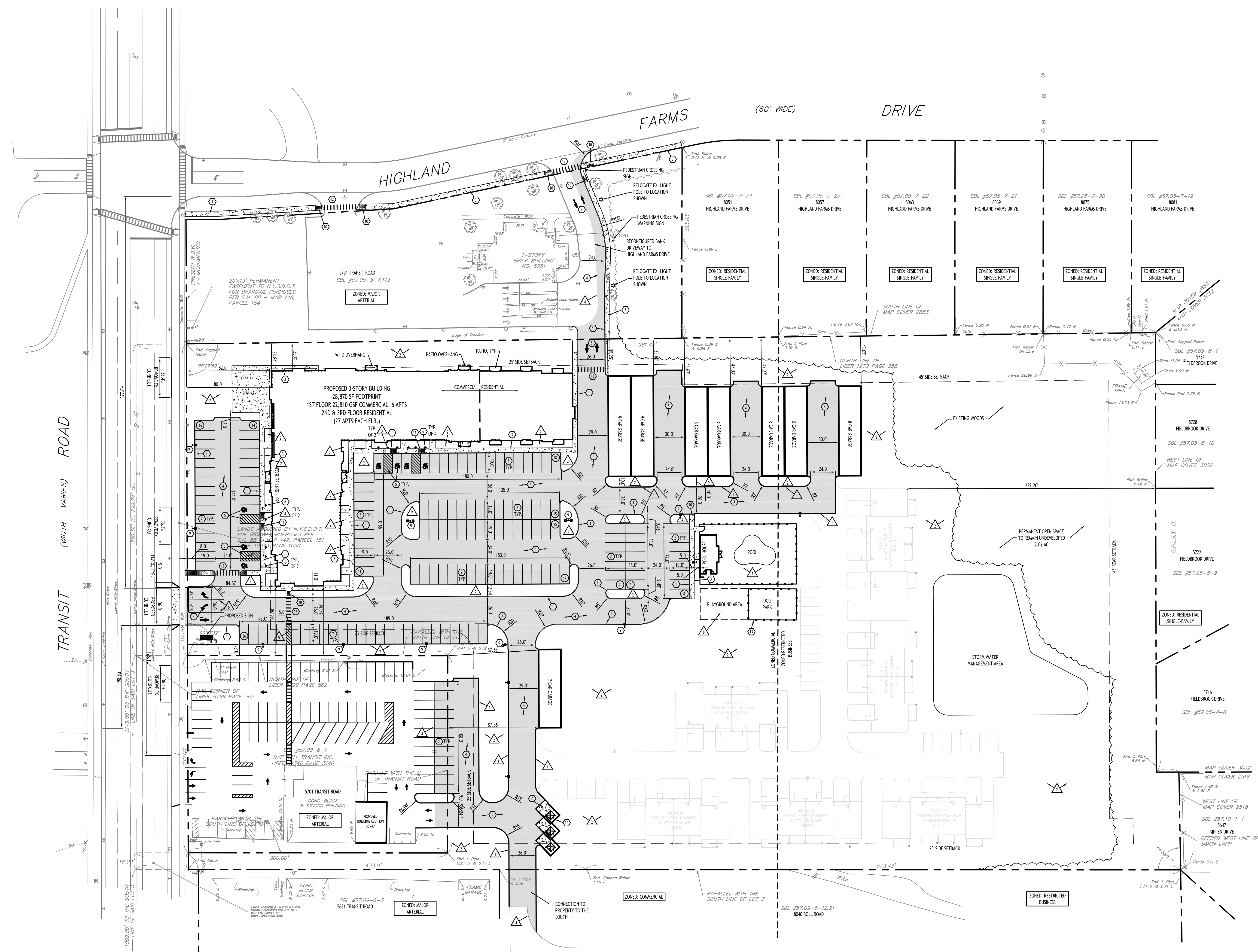
Joseph Lancellotti  
Asst. Municipal Engineer

Cc: Timothy Lavocat, P.E., Town Engineer  
Jonathan Bleuer, Director of Community Development  
Paul Gross, Senior Code Enforcement Officer  
Paul Bliss, PB Investors, LLC, 6790 Main Street, Suite 100, Williamsville, NY 14221  
File

Transit-5695-5731-Bliss Mixed Use-Review #5-05-20-24.docx

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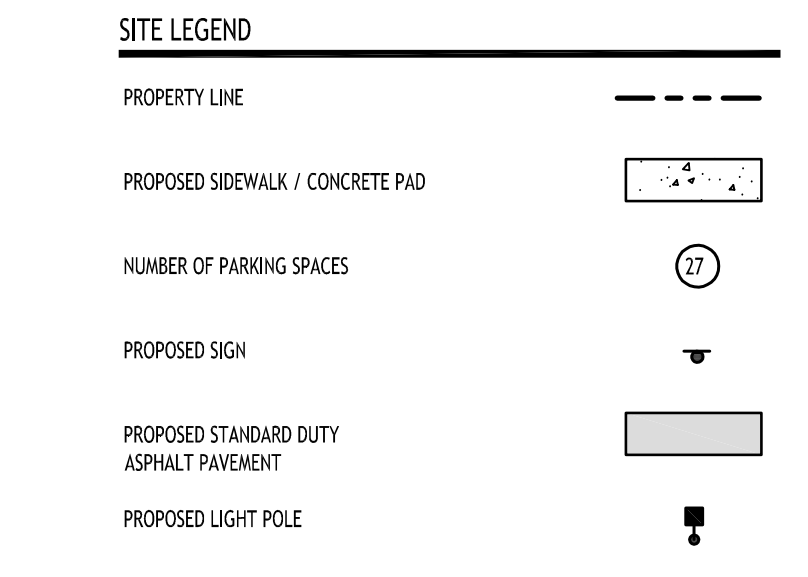
**Site Plan**  
SCALE: 1"=50'

- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  - VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
  - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  - ALL OTHER PERMITS REQUIRED BY STATE OF NEW YORK, COUNTY OF ERIE, AND TOWN OF CLARENCE ARE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER/OWNER.
  - REFER TO NYS DOT STANDARD SHEET 608-03 FOR DRIVEWAY ENTRANCE AND LAYOUT INFORMATION ALONG TRANSIT ROAD.
  - ALL DISTURBED AREAS WITHIN NYS DOT R.O.W. TO BE RESTORED USING ITEM 610.1402 TOPSOIL - ROADSIDE AND ITEM 610.1602 TURF ESTABLISHMENT - LAWNS AND COMPLY WITH NYS DOT STANDARDS AND SPECIFICATIONS SECTION 713 - LANDSCAPE DEVELOPMENT MATERIALS.

- SITE NOTES:**
- ALL RADII SHALL BE 3'-0" UNLESS OTHERWISE NOTED.
  - ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
  - ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
  - CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
  - BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  - ALL HANDICAP RAMPS (NOT WITHIN THE NYS DOT R.O.W.) AND/OR SIDEWALKS FLUSH TO PAVEMENT SHALL HAVE ADA COMPLIANT TACTILE WARNING STRIPS WHERE ENTERING PARKING AREAS/DRIVEWAYS. SIDEWALKS FLUSH TO PAVEMENT WITHIN THE NYS DOT R.O.W. SHALL ADHERE TO THE NOTES AND DESIGN REGULATIONS AS STATED ON NYS DOT STANDARD SHEET 608-01.

- DETAIL LEGEND**
- TYPE 'X' CONCRETE CURB
  - 90° PARKING STALL
  - CONCRETE SIDEWALK, 5' WIDE UNLESS OTHERWISE NOTED
  - STANDARD DUTY ASPHALT
  - HANDICAP PAVEMENT MARKINGS
  - HANDICAP PARKING SIGN
  - EXTERIOR CONCRETE SLAB ON GRADE
  - PAINTED TRAFFIC ARROW
  - LIGHT POLE FOUNDATION
  - SIDEWALK CURB RAMP
  - HANDICAP PAVEMENT RAMP
  - CROSSWALK STRIPING
  - 4 W/10" COATED CHAINLINK FENCE
  - DUMPSTER ENCLOSURE

- NOTE LEGEND**
- EDGE OF PAVEMENT
  - LANDSCAPED AREA - SEE LANDSCAPE PLAN
  - INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. P1-1C
  - WATCH INTO EXISTING PAVEMENT
  - INFILL AREA W/1/4" WIDE YELLOW PAVEMENT STRIPES @ 2' O.C. @ 45°
  - 4" WIDE YELLOW PAVEMENT STRIPE
  - POOL DESIGN BY OTHERS
  - PLAYGROUND DESIGNED BY OTHERS



NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS, CARMINA WOOD DESIGN ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**MULTI-FAMILY UNIT CALCULATION**

COMMERCIAL (C) LAND AREA = 9.925 AC
ALLOWED
PER SECTION 229-126 (D)(1)(c): 50% OF THE RB PROPERTY SHALL BE COMMITTED TO A COMMERCIAL USE REQD COMMERCIAL USE AREA = 9.925 AC x 0.5 = 4.9625 AC
WITHIN THE COMMERCIAL COMPONENT PER SECTION 229-126(D)(5)(a): WITHIN THE MIN. 50% OF THE DEVELOPMENT COMMITTED TO COMMERCIAL USES, MIXED USE DESIGNS MAY BE ALLOWED WITH A DENSITY OF 4 UNITS/AC ALLOWED UNITS = 4.9625 AC x 4 UNITS/AC = 19.85 UNITS
WITHIN THE RESIDENTIAL COMPONENT PER SECTION 229-126(D)(1)(b): MAXIMUM DENSITY FOR MULTI-FAMILY DEVELOPMENTS WITH SANITARY SEWER SHALL BE 8 UNITS/AC ALLOWED UNITS = 4.9625 AC x 8 UNITS/AC = 39.7 UNITS
PROPOSED
PROPOSED UNITS WITHIN THE RESIDENTIAL COMPONENT = 24 UNITS (39.7 UNITS ALLOWED)
PER SECTION 229-126(D)(4): A TRANSFER INCENTIVE OF TWO ADDITIONAL RESIDENTIAL UNITS MAY BE PLACED WITHIN THE COMMERCIAL COMPONENT (MIXED USE BUILDING) FOR EVERY ONE UNIT REMOVED FROM THE RESIDENTIAL COMPONENT
TAKE (15.7) UNITS NOT USED IN THE RESIDENTIAL COMPONENT AND TRANSFER TO MIXED USE BUILDING, 31.4 ADDITIONAL UNITS ALLOWED
MIXED USE BUILDING: THERE ARE 19.85 UNITS ALLOWED IN THE COMMERCIAL COMPONENT PER SECTION 229-126(D)(5)(a). APPLYING THE TRANSFER INCENTIVE PER SECTION 229-126(D)(4) TO ALLOW 31.4 ADDITIONAL UNITS, A TOTAL OF 51 UNITS ARE ALLOWED IN THE MIXED USE BUILDING. 60 UNITS ARE PROPOSED. MINIMUM 75% OF THE FIRST FLOOR SQUARE FOOTAGE SHALL BE PERMITTED COMMERCIAL USES

**PARKING CALCULATION:**

'OFFICE' 1 SPACE PER 200 GSF OF FLOOR AREA 7,930 GSF / 200 = 40 SPACES
'RETAIL' 1 PER 150 GSF OF FLOOR AREA 7,930 GSF / 150 = 53 SPACES
'RESTAURANT' (6,950 SF) 1 PER 3 SEATS 90 SEATS / 3 = 30 SPACES
'RESIDENTIAL' 2 PER UNIT 84 UNITS x 2 = 168 SPACES
TOTAL SPACES REQUIRED = 291 SPACES

**Site Data**

SITE AREA = 9.93  
ZONED: ZONED COMMERCIAL/RESTRICTED BUSINESS  
USE: (1) 3-STORY MIXED USE BUILDING, (6) 2-STORY 4-UNIT TOWNHOUSE BLDG. W/ GARAGES & (8) GARAGE BUILDINGS

SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT (ABUTTING COM. / RES.)	80 FT *	80 FT
SIDE (ABUTTING COM. / RES.)	25 FT / 45 FT	25 FT MIN. / 46.67 FT MIN.
REAR (ABUTTING COM. / RES.)	25 FT / 45 FT	N/A / 178.83 FT MIN.

SETBACKS - PARKING	REQUIRED	PROVIDED
FRONT	N/A	8.0 FT MIN.
SIDE	N/A	10.16 FT MIN.
REAR	N/A	147.23 FT MIN.

PARKING STALLS	REQUIRED	PROVIDED
STALL SIZE	9x19	89 - GARAGES
REQUIRED SPACES	291	202 - 9x19 291 TOTAL

GREENSPACE	REQUIRED	PROVIDED
OVERALL SITE GREENSPACE	25% (2.48 AC)	54.7% (5.43 AC)
INTERIOR GREENSPACE	8% (0.21 AC)	41.5% (1.1 AC)
	(COM. / R. BUSINESS)	(COM. / R. BUSINESS)
MAX. BUILDING HEIGHT	45 FT / 35 FT	< 45 FT / < 35 FT
MAX. BUILDING COVERAGE	70% MAX. (6.95 AC)	15.4% (1.53 AC)

\* WHERE THERE IS AN ESTABLISHED FRONT SETBACK LINE BETWEEN ADJOINING PROPERTIES, THAT SETBACK LINE WOULD APPLY TO THE PROPERTY TO A MINIMUM OF 45 FEET.

**CARMINA WOOD DESIGN**

111 Bain Street, Suite 332  
Greensboro, North Carolina 27406  
Phone: (336) 937-9009

**Proposed Mixed Use**  
5695 & 5731 Transit Road  
Clarence, NY

**REVISIONS:**

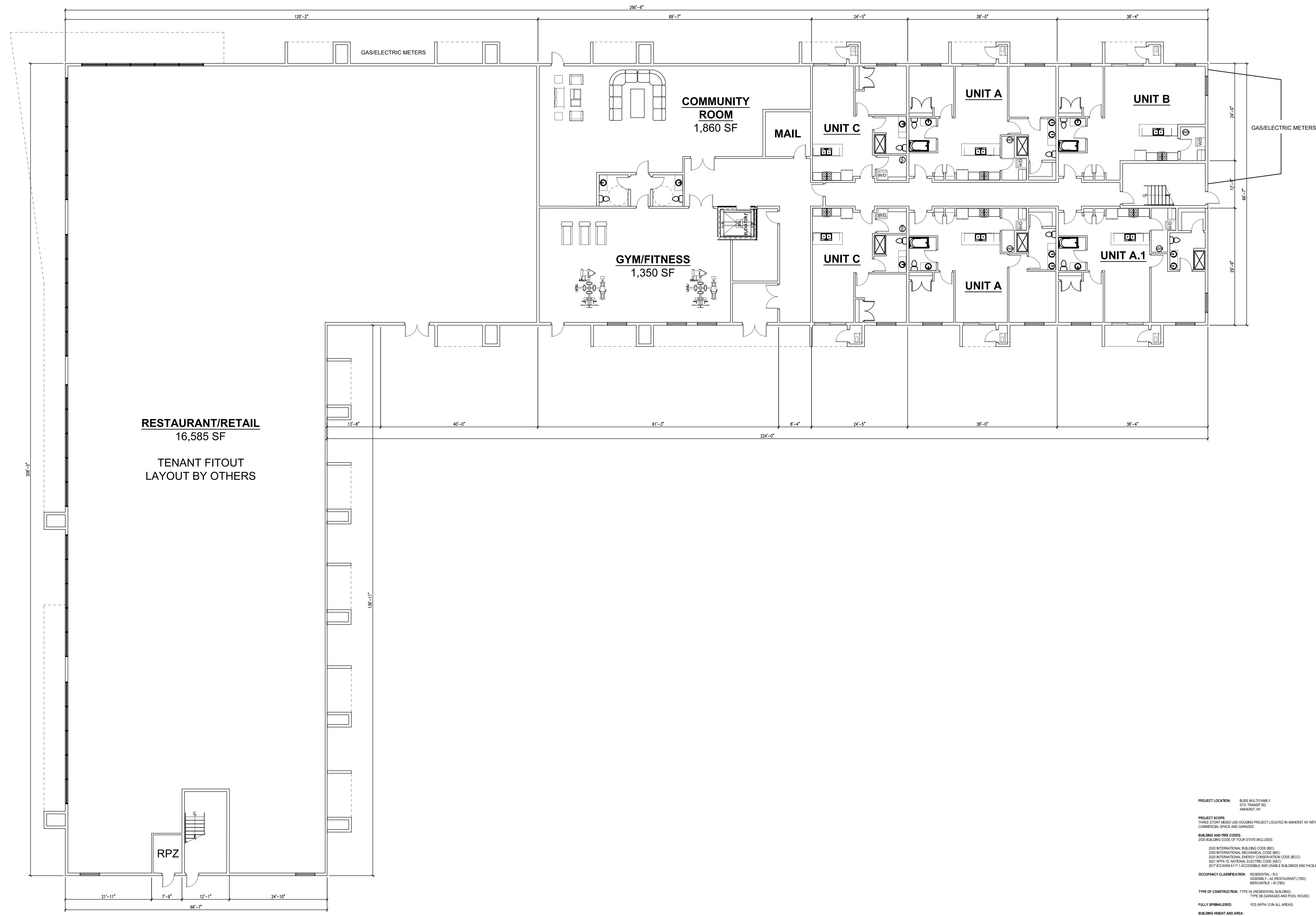
No.	Description	Date

**DRAWING NAME:**  
Site Plan

Date: 9/6/23  
Drawn By: P. Sheedy  
Scale: As Noted

**DRAWING NO.:**  
C-100

Project No: 20.057



1 OVERALL FLOOR PLAN - GROUND LEVEL  
SCALE: 3/32" = 1'-0"

**PROJECT LOCATION:** 5731 MULTI-FAMILY  
5731 TRANSIT RD.  
AMHERST, NY

**PROJECT SCOPE:** THREE STORY, MULTI-FAMILY HOUSING PROJECT LOCATED IN AMHERST NY WITH 54 APARTMENTS, FIRST FLOOR COMMERCIAL SPACE AND GARAGES

**BUILDING AND FIRE CODES:**  
2020 INTERNATIONAL BUILDING CODE (IBC)  
2020 INTERNATIONAL MECHANICAL CODE (IMC)  
2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2021 NFPA 70 NATIONAL ELECTRICAL CODE (NEC)  
2011 ICC ANS A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

**OCCUPANCY CLASSIFICATION:** RESIDENTIAL - R-2  
RESIDENTIAL - A2 (RESTAURANT/ (TRD)  
MERCANTILE - M (S)

**TYPE OF CONSTRUCTION:** TYPE 5A (RESIDENTIAL BUILDING)  
TYPE 5B (GARAGES AND POOL HOUSE)

**FULLY SPARKLE:** YES (NFPA 13 IN ALL AREAS)

**BUILDING HEIGHT AND AREA:**  
ACTUAL BUILDING HEIGHT: 47'-2" 3 STORES  
ALLOWABLE BUILDING HEIGHT: 50'-0" 3 STORES

**ACTUAL BUILDING AREA:** 27,800 SF/FLOOR  
ALLOWABLE BUILDING AREA: 24,000 SF/FLOOR (40,000 SF / 40,000 SF) (100% OF ALLOWABLE AREA)  
\*AREA IN GARAGES NOT NECESSARY (SINCE ALL BUILDING AREAS ARE LESS THAN ALLOWABLE AREAS)

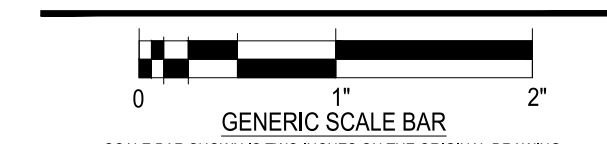
**\*SQUARE FOOTAGE OF FIRST FLOOR SPACES ARE PLACEHOLDERS FOR POTENTIAL TENANTS:**  
1ST FLOOR - A2 - RESTAURANT - 11,875 SF (15,000 SF BUILDOUT NOT PART OF PERMIT)  
M - MERCANTILE - 1,500 SF (10,000 SF BUILDOUT NOT PART OF PERMIT)  
R - RESIDENTIAL - 4,500 SF (500 - 50 OCCUPANTS)  
2ND FLOOR - R - RESIDENTIAL - 27,800 SF (200 - 140 OCCUPANTS)  
3RD FLOOR - R - RESIDENTIAL - 27,800 SF (200 - 140 OCCUPANTS)

**NUMBER OF EXITS PER FLOOR REQUIRED:**  
A2 - RESTAURANT REQUIRED - 3 PROVIDED; 3 (BUILDOUT NOT PART OF PERMIT)  
M - MERCANTILE REQUIRED - 2 PROVIDED; 2 (BUILDOUT NOT PART OF PERMIT)  
R2 - RESIDENTIAL REQUIRED - 2 PROVIDED; 2 (BUILDOUT NOT PART OF PERMIT)  
MAXIMUM ALLOWABLE EXIT DISTANCE: 150' - 225' / 2'

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NO.	REVISIONS	DATE

FIRST LEVEL CONCEPT PLAN



**GENERIC SCALE BAR**  
SCALE BAR SHOWN IN THIS SHEET IS ON THE ORIGINAL DRAWING.  
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY.

DATE: 10/30/2023  
SCALE: AS NOTED  
DWN: RKA CHK: DJP  
PROJ. No: 621002  
DWG. No:













Centerpointe Corporate Park  
375 Essay Road, Suite 200  
Williamsville, NY 14221  
www.wendelcompanies.com  
p:716.688.0766 f:877.293.6335

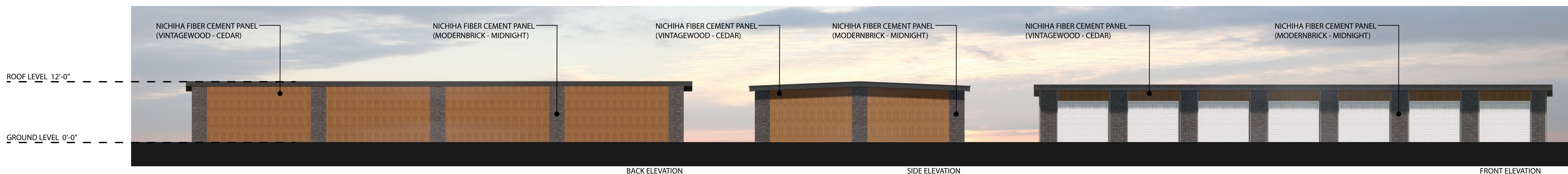
Wendel WD Architecture, Engineering, Surveying and  
Landscape Architecture, P.C.



1 EAST ELEVATION  
SCALE: N.T.S.



2 NORTH ELEVATION  
SCALE: N.T.S.



3 TYPICAL GARAGE ELEVATION  
SCALE: N.T.S.

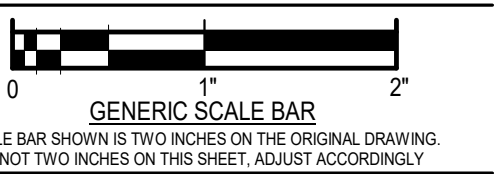
\*GARAGES ARE GROUPED IN BAYS OF SEVEN, EIGHT, AND NINE.  
ALL ELEVATIONS AND MATERIALS ARE TYPICAL OF ALL.

PROGRESS  
PRINT  
10/24/23  
NOT FOR  
CONSTRUCTION

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NO.	REVISIONS	DATE

BUILDING ELEVATIONS



DATE	
SCALE	
DWN	RKA
CHK	DJP
PRJ	No. 621002
DWG	No.











