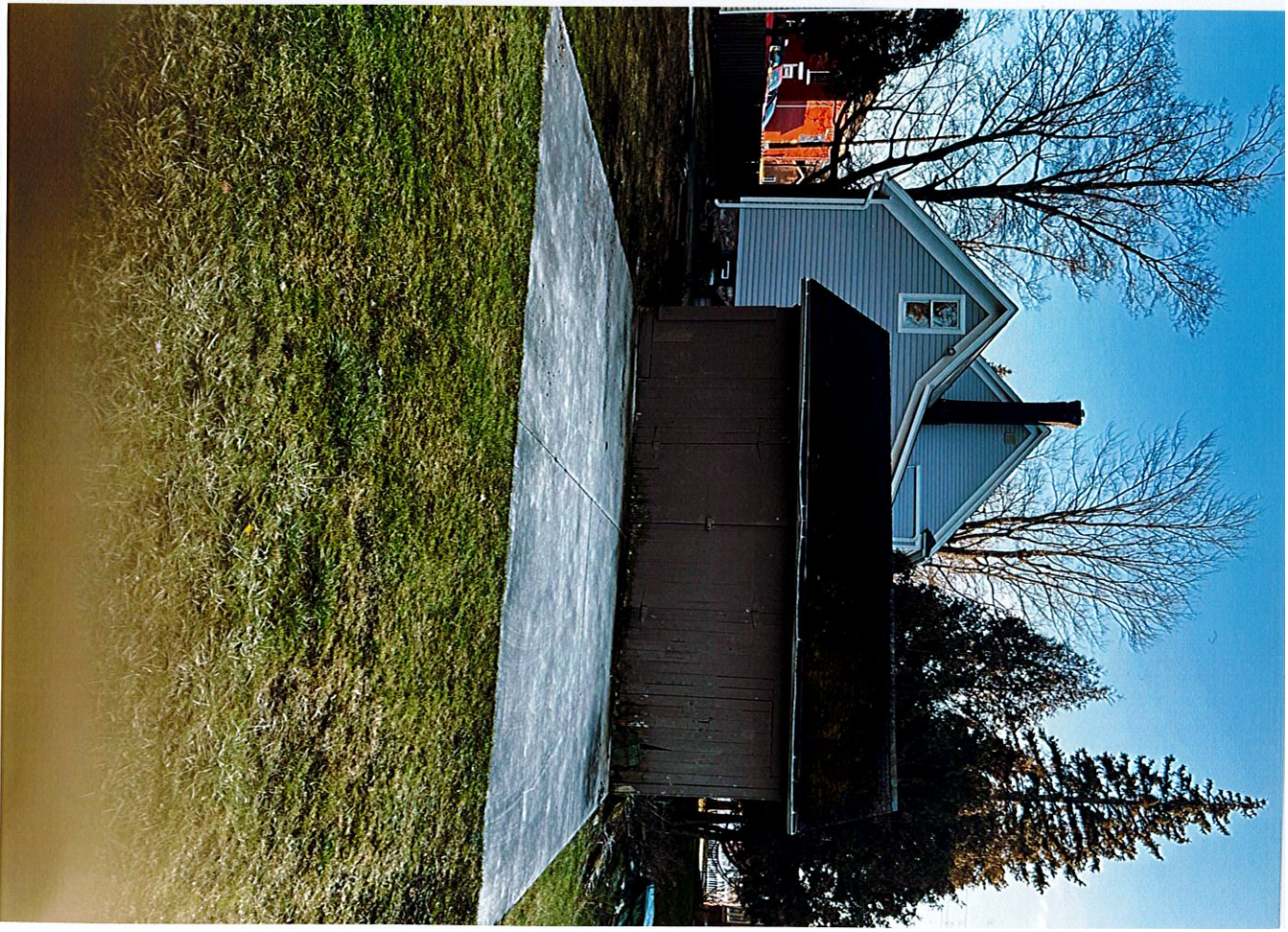


Project Highlight - Joe and Andrew

Commercial Center Planning / ADA - for







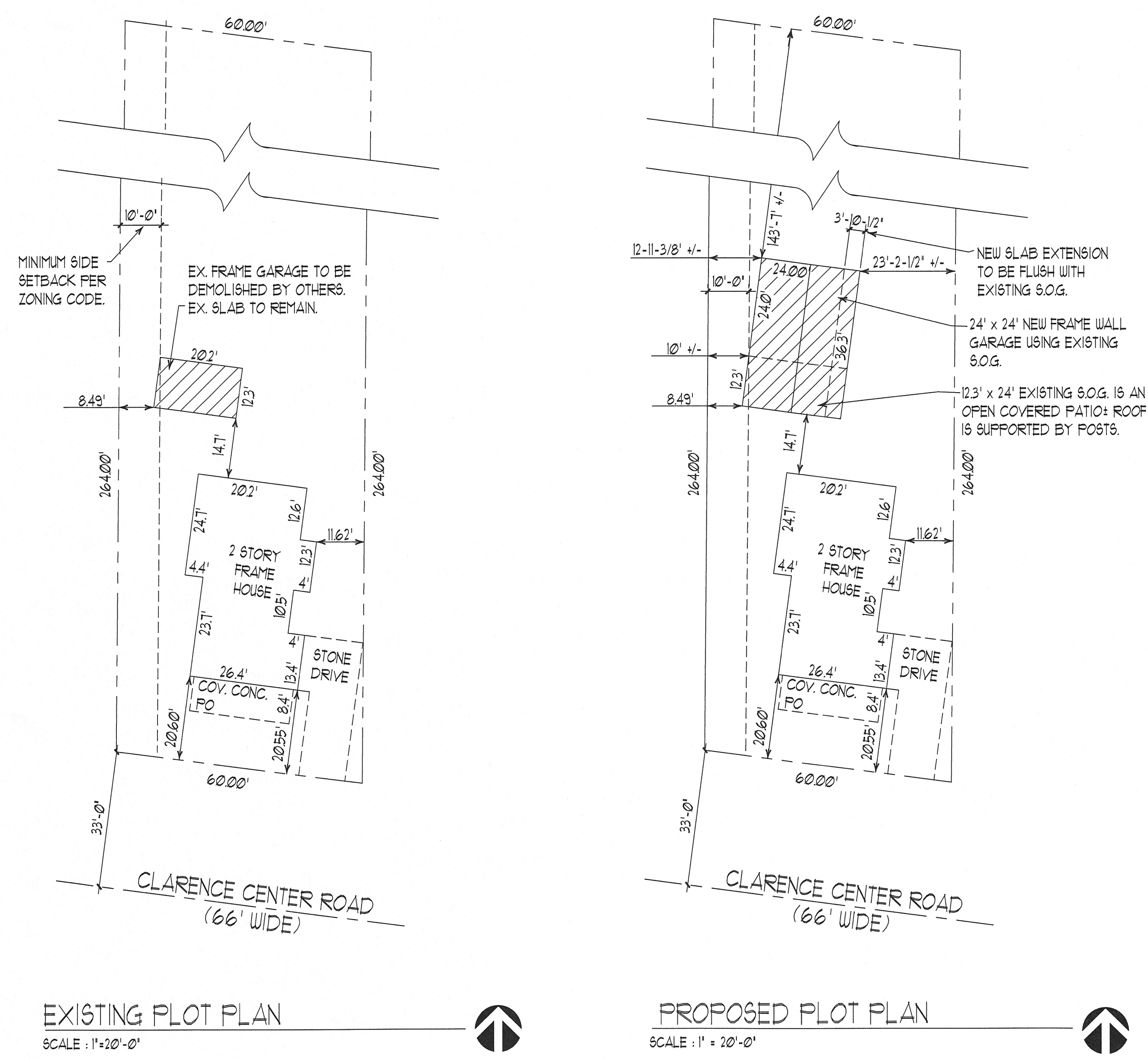
Young Code Update - Jan

Commercial Contact Planning / 10A - Jan





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**EXISTING PLOT PLAN**  
SCALE: 1" = 20'-0"

**PROPOSED PLOT PLAN**  
SCALE: 1" = 20'-0"

**SITE NOTES**

1. THE EXISTING FLOOR PLAN WAS PREPARED BASED ON INFORMATION SHOWN ON THE PROPERTY SURVEY PROVIDED TO BY THE OWNER. THE SURVEY WAS DATED 02 / 11 / 2011 AND PREPARED BY LANDMARK LAND SURVEYING CO.
2. THE GENERAL CONTRACTOR SHALL ESTABLISH THE 10'-0" MINIMUM SIDE SETBACK. THE EXISTING SLAB ON GRADE WILL BE UTILIZED FOR THE NEW TWO CAR GARAGE. THE EXISTING FACE OF SLAB ON THE WEST SIDE SHALL BE THE FACE OF NEW TRENCH FOUNDATION. THE EXISTING S.O.G. WILL NEED TO BE CUT. THE EXISTING S.O.G. WILL BE EXTENDED ON THE OTHER EDGES AS REQUIRED FOR THE NEW 24' X 24' GARAGE.
3. NEW 4" THICK, 3500 PSI CONCRETE SLAB ON GRADE WITH MESH SHALL BE INSTALLED OVER A 6 MIL. MINIMUM VAPOR RETARDER MEMBRANE OVER 4" MINIMUM BASE COURSE OVER 2" CRUSHER RUN STONE AT NEW SLAB AREAS. THE NEW S.O.G. SHALL BE FLUSH WITH THE EXISTING.
4. THE GENERAL CONTRACTOR SHALL CUT THE EXISTING SLAB ON GRADE OF THE SINGLE CAR GARAGE THAT IS TO BE DEMOLISHED AS REQUIRED FOR THE NEW PIER FOUNDATIONS THAT WILL SUPPORT THE STRUCTURAL POSTS FOR THE NEW ROOF OVER THE SLAB. THIS WILL BECOME A COVERED PATIO. REFER TO DEMOLITION AND FOUNDATION PLANS.

**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2010 RESIDENTIAL BUILDING CODE OF NYS & REFERENCED STANDARDS.
2. ALL WORK TO CONFORM TO THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL CODES. THESE CODES SHALL TAKE PRECEDENCE OVER THE DRAWINGS & SPECIFICATIONS. IF DISCREPANCY IS FOUND, INFORM OWNER BEFORE PROCEEDING WITH WORK.
3. THESE DESIGN & CONSTRUCTION DOCUMENTS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF L. A. HAUER-LADUCA ARCHITECT P.C. AND MAY NOT BE REPRODUCED OR USED FOR OTHER PROJECTS EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT. THESE DRAWINGS ARE PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS.
4. CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND THE FABRICATION OF ANY MATERIALS. NOTIFY ARCHITECT OF ANY EXISTING CONDITION OR DISCREPANCIES. ALL DIMENSION SHOWN FOR THE EXISTING STRUCTURE ARE BASED ON RECORD DRAWINGS AND FIELD MEASUREMENTS. THE CONTRACTOR IS ADVISED THAT REFERENCED DRAWINGS MAY NOT REFLECT AS-BUILT CONDITIONS. ACCURATE FIELD MEASUREMENTS SHALL BE MADE PRIOR TO ORDERING AND BE IDENTIFIED ON SHOP DRAWINGS AS APPLICABLE.
5. DESIGN AND CERTIFICATION OF CIVIL, PLUMBING, MECHANICAL AND ELECTRICAL ENGINEERING DESIGN & SYSTEMS ARE BY OTHERS AS HIRED BY THE OWNER OR GC.  
THE CONTRACTOR SHALL COORDINATE ALL FRAMING WITH ELECTRICAL, PLUMBING AND MECHANICAL WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL SYSTEMS AND THE COORDINATION OF ALL SYSTEMS AND TRADES. ALL WORK SHALL COMPLY WITH THE 2020 M.E.P. CODES OF NYS.
6. EXTERIOR MATERIALS AND COLORS SHALL BE SELECTED AND APPROVED BY OWNER.
7. CONTRACTOR SHALL PROVIDE FOR HIS OWN CLEAN-UP, REMOVAL AND LEGAL DISPOSAL OF ALL RUBBISH ON A DAILY BASIS AND CONFIRM STAGING OF MATERIALS WITH OWNER IF NEEDED.
8. CONTRACTOR TO FULLY COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS AND THE OWNER.
9. CONTRACTOR TAKES FULL RESPONSIBILITY OF ANY CHANGES, MODIFICATIONS, DEVIATIONS OR REVISIONS TO THESE CONTRACT DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY MEASUREMENTS, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
10. DO NOT SCALE THE DRAWINGS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR SECURING THE SITE AND ADHERING TO SAFETY STANDARDS SUCH AS PRESCRIBED BY OSHA AND STANDARD OF THE TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING INCOMPLETE WORK AND PROVIDING OVERALL STABILITY OF THE STRUCTURE UNTIL COMPLETION.
12. ALL PRODUCTS AND MATERIALS TO BE INSTALLED PER THE 2020 RESIDENTIAL & BUILDING CODES OF NYS AND PER MANUFACTURER'S GUIDELINES AND RECOMMENDATIONS FOR INSTALLATION OF THEIR PRODUCTS AND MATERIALS FOLLOWING THE INDUSTRY'S BEST PRACTICES.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE WORK REQUIRED IN THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS FOR EXECUTING IT PROPERLY AND IN CONFORMANCE WITH APPLICABLE STATE AND LOCAL CODES.
14. TYPICAL FOUNDATION DESIGN SATISFYING MINIMUM LOADING CONDITIONS FOR THIS PROJECT ARE BASED ON 1500 PSF SOIL BEARING CAPACITY UNLESS SUBSTANTIATED BY A SOIL BORING TEST.

**PROJECT DATA**

PROJECT SCOPE : TO DEMOLISH AN EXISTING SINGLE CAR GARAGE AND SALVAGE ITS CONCRETE FLOOR FOR USE AS A PATIO THAT WILL HAVE A ROOF. THE ADJACENT OPEN CONCRETE SLAB WILL BE UTILIZED FOR THE FLOOR OF A NEW TWO-CAR GARAGE. THE ROOF OF THE NEW GARAGE WILL COVER THE 24' X 24' TWO CAR GARAGE AREA AS WELL AS THE 12'-3-5/8' X 24' PATIO. THE ROOF IS A SIMPLE, GABLE ROOF FORM.

CLASSIFICATION OF WORK PER RCNY: NEW CONSTRUCTION

ALL WORK SHALL COMPLY WITH CHAPTER 22 OF THE 2020 EBCNY AND RCNY. ELECTRICAL INSTALLATION SHALL BE PER THE 2020 ELECTRICAL CODES OF NEW YORK STATE AND SHALL BE DESIGNED, INSTALLED AND CERTIFIED BY OTHERS HIRED BY THE OWNER OR G.C.

PROJECT AREA : 864 SQUARE FEET (516 SF GARAGE + COVERED SLAB 288 SF)

**DESIGN LOADS**

DESIGNED PER THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK DESIGN RISK CATEGORY: I

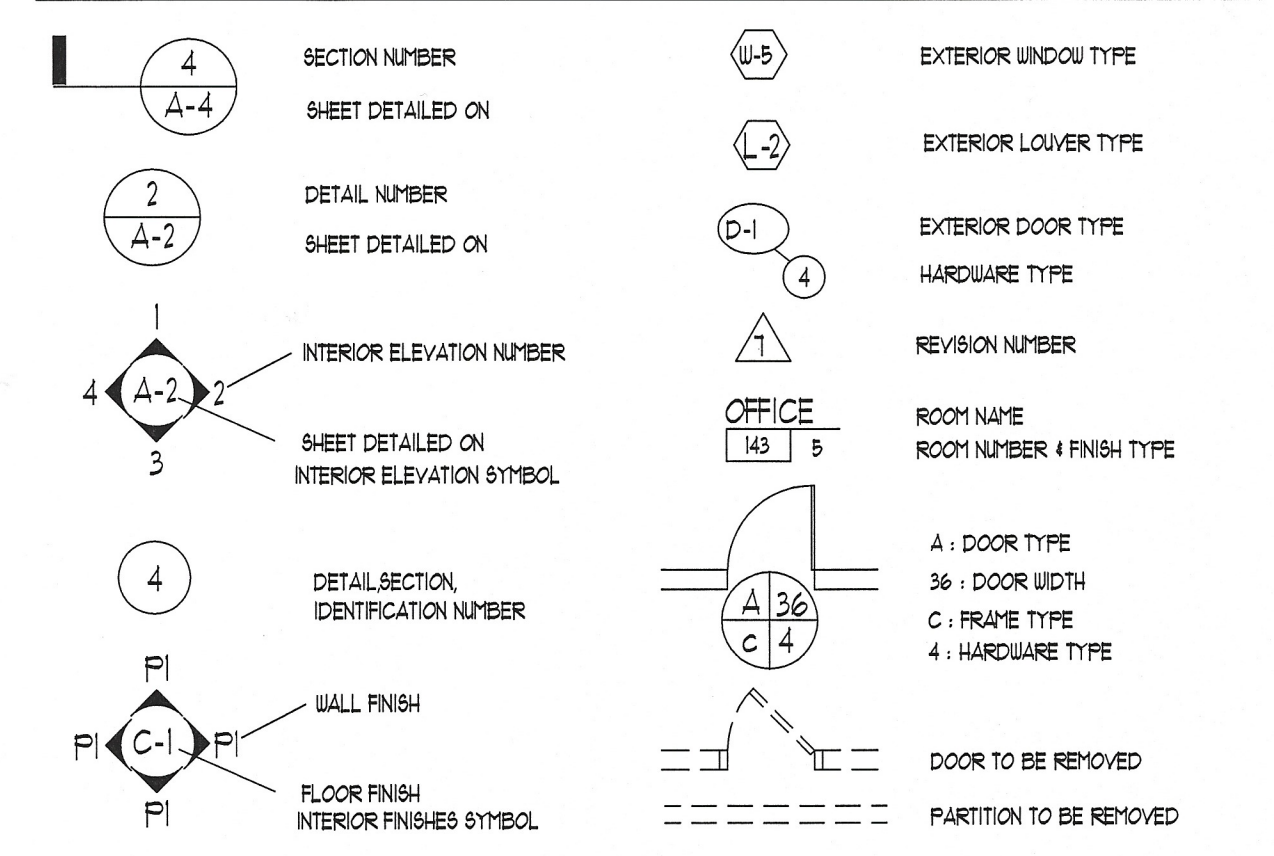
TRENCH FOUNDATION - DESIGN PRESSURE: 1500 PSF  
(TO BE CONFIRMED BY SOIL TEST DURING CONSTRUCTION)

ROOF: DEAD LOAD: 10 PSF  
LIVE LOAD: 10 PSF  
GROUND - SNOW LOAD: 50 PSF  
WIND LOAD: 115 MPH

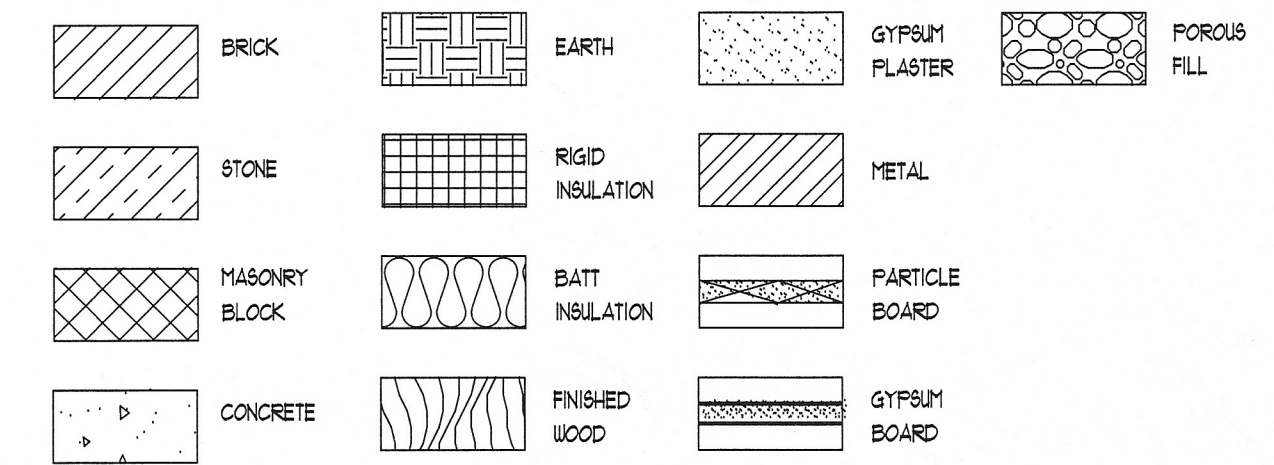
**LIST OF DRAWINGS**

- COVER EXISTING & PROPOSED PLOT PLANS, SITE & BUILDING DATA, DRAWING LIST, SYMBOLS & MATERIALS KEY.
- A-1 DEMOLITION & FOUNDATION PLANS, FLOOR PLAN AND STRUCTURAL NOTES, PIER SCHEDULE.
- A-2 EXTERIOR ELEVATIONS, AND BUILDING SECTION, WINDOW AND DOOR SCHEDULE
- S-1 FRAMING & BRACED WALL PLAN, ROOF FRAMING PLAN, TRUSS DATA AND POST SCHEDULE.
- S-2 WALL SECTION AND DETAILS.

**KEY TO SYMBOLS**



**KEY TO MATERIALS**



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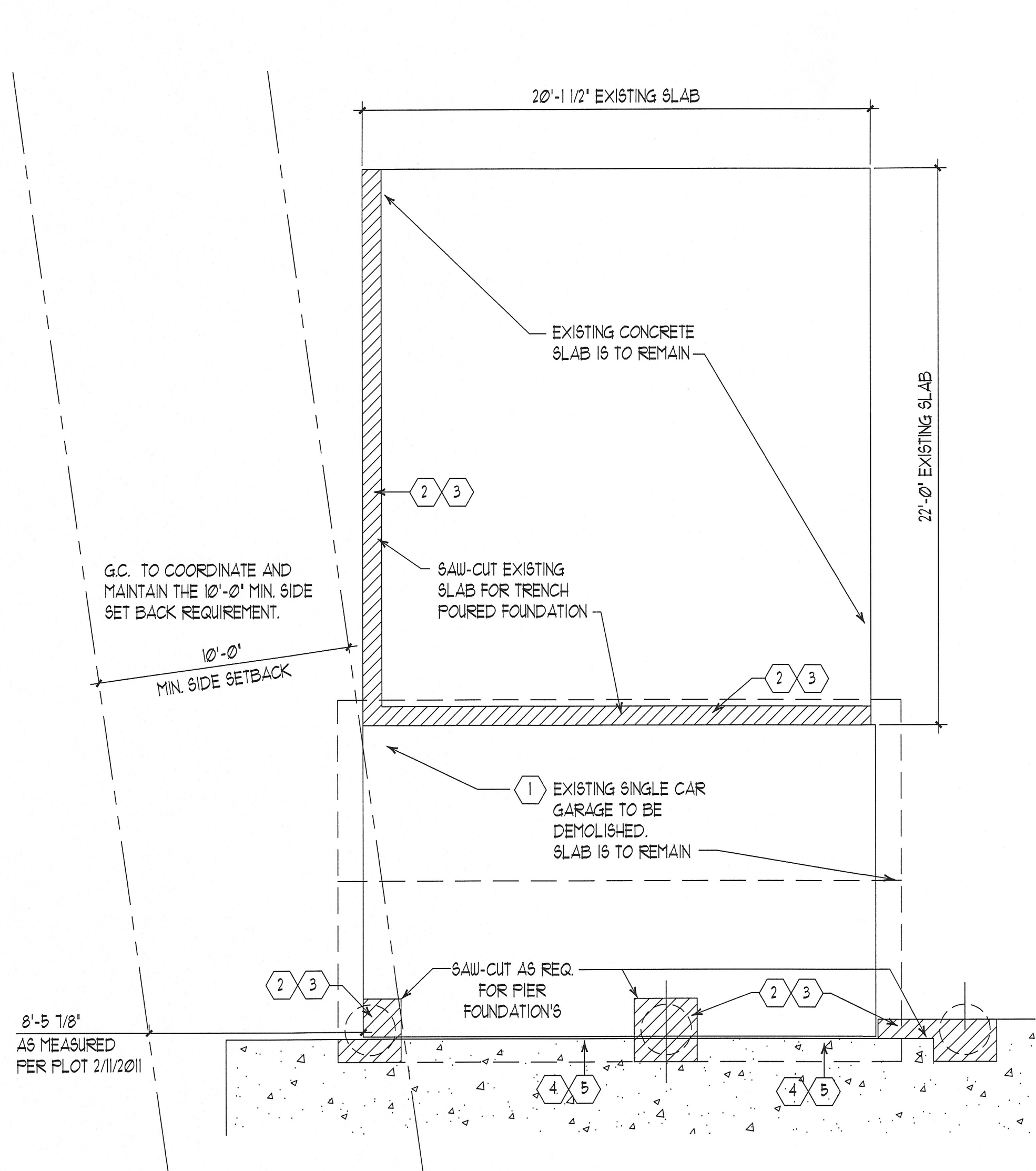
**Michele & Paul Beiter**  
**New Detached Garage**  
9450 Clarence Center Rd., Clarence, N.Y. 14032

PROJECT NUMBER	24-218
REVISION	DATE BY
DATE	4-2-24
DRAWN BY	LH
APPROVED	
CHECKED BY	

EXISTING AND PROPOSED PLOTS, PROJECT SCOPE, SITE & BUILDING DESIGN DATA  
SHEET NUMBER  
**COVER**



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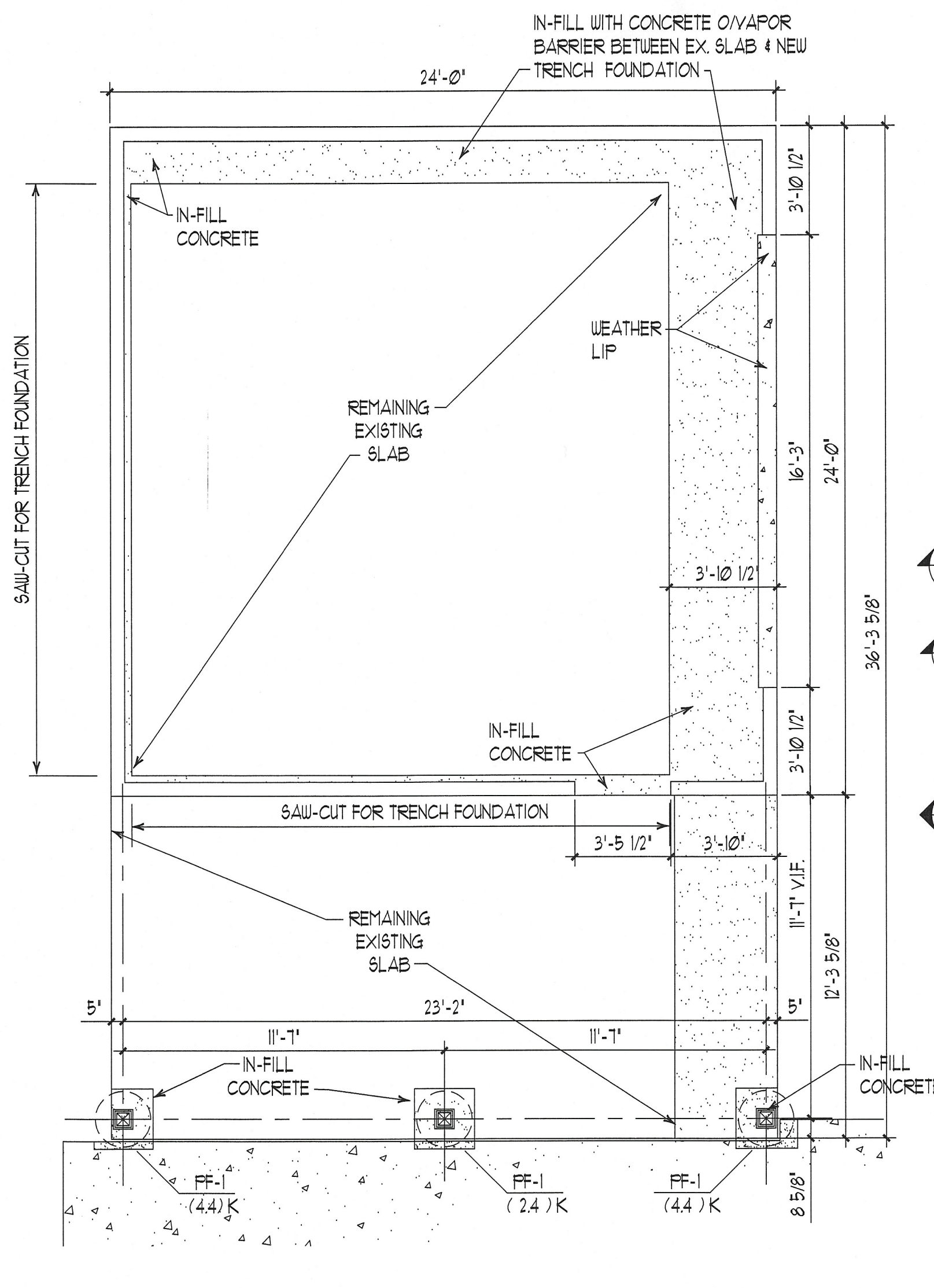


**DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES:**

- 1 EXISTING SINGLE CAR GARAGE TO BE REMOVED FROM IT'S EXISTING SLAB / FOUNDATION, SLAB IS TO REMAIN.
- 2 G.C. TO VERIFY 10'-0" MIN SIDE SETBACK AND ESTABLISH PLACEMENT OF NEW GARAGE SO THAT IT DOES NOT INTERFERE WITH MINIMUM SIDE YARD SETBACK.
- 3 G.C. IS TO SAW-CUT ANY EXISTING CONCRETE SLAB OR FOUNDATION AS NEEDED TO ACCOMPLISH THE INSTALLATION OF THE NEW TRENCH FOUNDATIONS AND PIER FOUNDATIONS.
- 4 G.C. TO VERIFY SIDEWALK CONDITION ADJACENT TO EXISTING SINGLE CAR GARAGE.
- 5 THE DEMOLITION OF THE SINGLE CAR GARAGE WILL EXPOSE THE EXISTING UNDER SLAB CONDITIONS. OWNER AND G.C. TO EVALUATE IF REMEDIATION OR BOLSTERING IS REQUIRED FOR THE SIDEWALK EDGE CONDITION. ( DESIGN, ENGINEERING METHODOLOGY OF REMEDIATION BY OTHERS.)



**FOUNDATION PLAN**

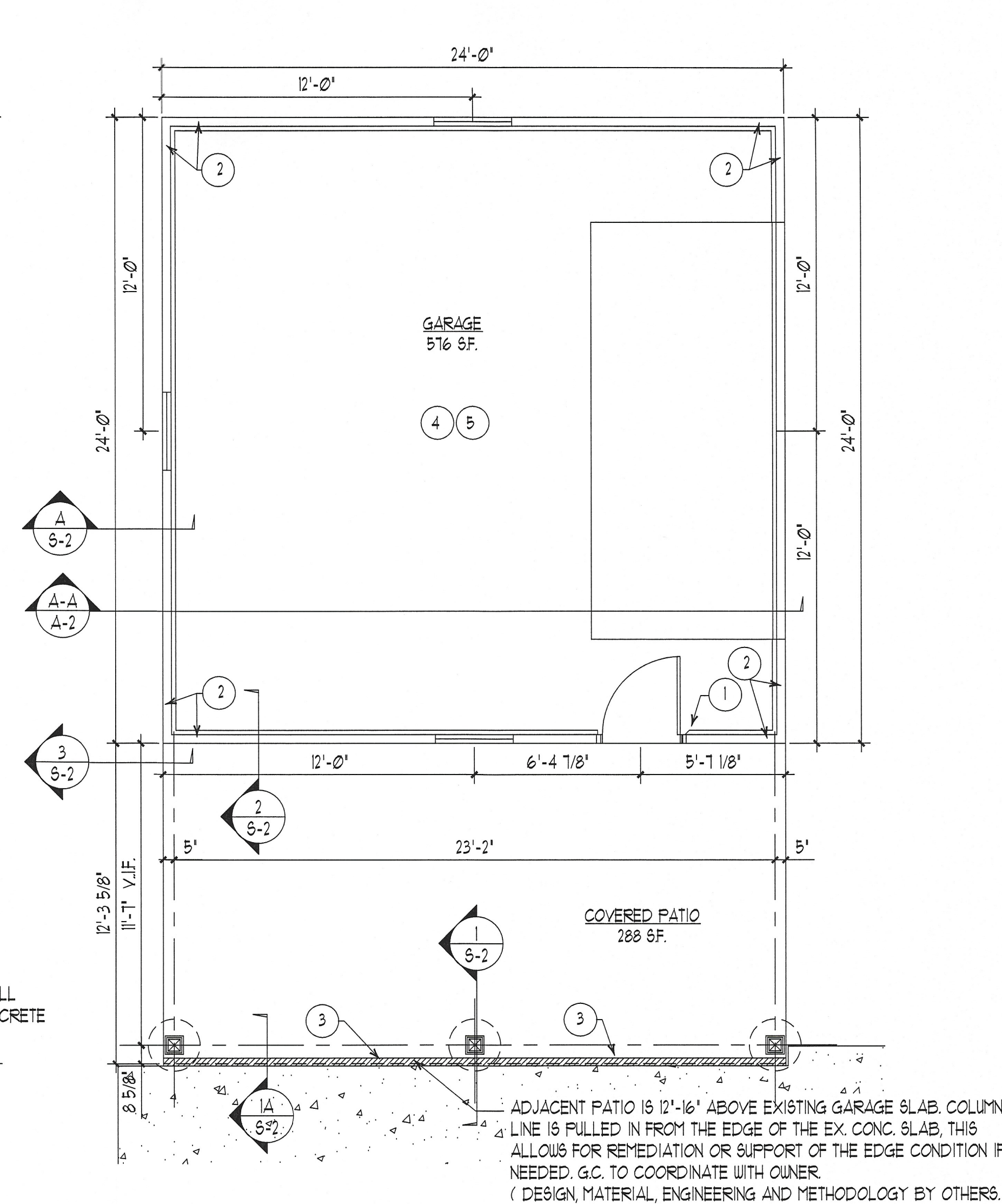
SCALE: 1/4" = 1'-0"

**CONCRETE PIER SCHEDULE**

MARK	LOADING	SOIL BEARING	REMARKS
FF-1	AS NOTED ON FOUND. PLAN	1500 P.S.F. (DEFAULT)	24" DIA., 3000 PSI CONC. MIX. (MIN 48" BELOW GRADE) ABU 66Z BASE, P66Z CAP

**CONCRETE PIER NOTES:**

1- SOIL BEARING CAPACITY IS BASED ON 1500 P.S.F.



**PLAN**

SCALE: 1/4" = 1'-0"

**PLAN NOTES:**

- 1 CHAMFER / FIELD DRESS REMAINING CONCRETE FOUNDATION SO THAT THE FOUND. DOES NOT INTERFERE WITH THE DOOR SWING.
- 2 SEE BRACED WALL DETAIL PLAN ON 6-1.
- 3 REMEDIATION MAY BE REQUIRED TO THE EDGE OF THE EXPOSED SIDEWALK CONDITION OR SUB-GRADE CONDITION- ADDITIONAL SUPPORT OR BOLSTERING MAY BE REQUIRED. (DESIGN, MATERIAL, ENGINEERING AND METHODOLOGY BY OTHERS.)
- 4 G.C. TO PROVIDE J-BOX'S & LIGHT FIXTURES AS SHOWN ON ELEVATIONS AND PLANS. SWITCHES TO BE LOCATED AT ENTRY DOOR- COORDINATE WITH OWNER.
- 5 G.C. TO PROVIDE OUTLET FOR OVERHEAD DOOR AND ANY CONVENIENCE OUTLET'S AND LIGHTING AS DIRECTED BY OWNERS.

**STRUCTURAL NOTES:**

ALL WORK SHALL BE INSTALLED/EXECUTED PER THE REGULATIONS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

**WOOD FRAME:**

- 1 ALL NEW WOOD STUDS SHALL BE STANDARD GRADE. (UTILITY GRADE STUDS NOT ACCEPTABLE). ALL WOOD JOISTS, RAFTERS, HEADERS AND BEAMS TO BE HEM FIR #2, SFF #1 & SFF #2. SEE SECTION FOR SPECIES & GRADE- UNLESS NOTED OTHERWISE AS DOUGLAS FIR OR OTHER.
- 2 ALL WOOD POSTS SHALL BE SFF #1 OR #2 OR HEM FIR #2. DO NOT USE STUD GRADE.
- 3 ALL COMPOSITE WOOD BEAMS AND HEADERS TO BE CONSTRUCTED WITH CONTINUOUS MEMBERS WITH NO SPACERS. (UNLESS NOTED OTHERWISE) SEE L.V. MEMBER CONNECTION NOTES FOR 2-PLY & 3-PLY NAILING PATTERN.
- 4 AT INSTALLATION OF POSTS, BLOCK TO ADJACENT STUDS AT 3'-0" 4'-0" SPACING IN EXISTING WALLS.
- 5 RAFTERS, JACKS AND KING'S, HEADERS AND BEAMS TO BE HEM FIR #2, SFF #1 & SFF #2 UNLESS NOTED OTHERWISE.
- 6 RAFTERS/ WOOD ROOF TRUSSES: AS NOTED ON FRAMING PLANS, SPACING IS 24" O.C. UNLESS NOTED OTHERWISE.
- 7 JOISTS & RAFTER : DRILLING, NOTCHING, CUTTING OF JOISTS & RAFTERS MINIMUM 2" FROM EITHER TOP & BOTTOM OF ANY MEMBER PER FIG. R802.8 & R802.1 OF THE 2020 N.Y.S. RESIDENTIAL BUILDING CODE.
- 8 JOIST/RAFTER CONNECTION & CEILING JOIST LAPPED- PER TABLE'S R802.5.1(9) & R802.3.2 OF THE 2020 N.Y.S. RESIDENTIAL BUILDING CODE. PROVIDE (8) 16d COMMON NAILS PER RAFTER.
- 9 EXTERIOR WALL SHEATHING NAILING PATTERN- FOLLOW NAILING PATTERN AS DESCRIBED. 8d COMMON NAILS 1 1/2" MIN. PENETRATION- 6" AT EDGES & 12" AT FIELD.

**ROOFING / SIDING:**

- 1 ROOF DECK SHEATHING: IS 1/2" CDX, APA RATED PLYWOOD SHEATHING- (UNLESS NOTED OTHERWISE).
- 2 INSTALL ONE ROW OF ICE & WATER BARRIER AT THE EAVES, ONE LAYER 15 \* TAR PAPER OR EQUAL AT ALL OTHER AREA'S. ASPHALT SHINGLES STYLE AND COLOR TO BE DETERMINED- G.C. TO COORDINATE WITH HOME OWNER.
- 3 SIDING SHALL BE INSTALLED PER MANUFACTURER'S GUIDELINES AND 2020 N.Y.S. RESIDENTIAL CODE SECTION R103. THE STYLE AND COLOR TO BE DETERMINED- G.C. TO COORDINATE WITH HOME OWNER.
- 4 INSTALL HURRICANE STRAPS AT EACH END OF PREFABRICATED WOOD TRUSSES & RAFTERS. UNLESS NOTED OTHERWISE (UNO).
- 4 INSTALL 'P&CA' PANEL SHEATHING CLIPS AT ROOF SHEATHING UNSUPPORTED EDGES.
- 6 TRUSS MANUFACTURER TO MANUFACTURER TRUSSES PER THE DESIGN DATA AND COMPLIANCE WITH 2020 RECNYS( RESIDENTIAL BUILDING CODE NEW YORK STATE). TRUSS MANUFACTURER SHALL PROVIDE TRUSS DIAGRAMS THAT ARE CERTIFIED/SIGNED BY NY'S REGISTERED ENGINEER.

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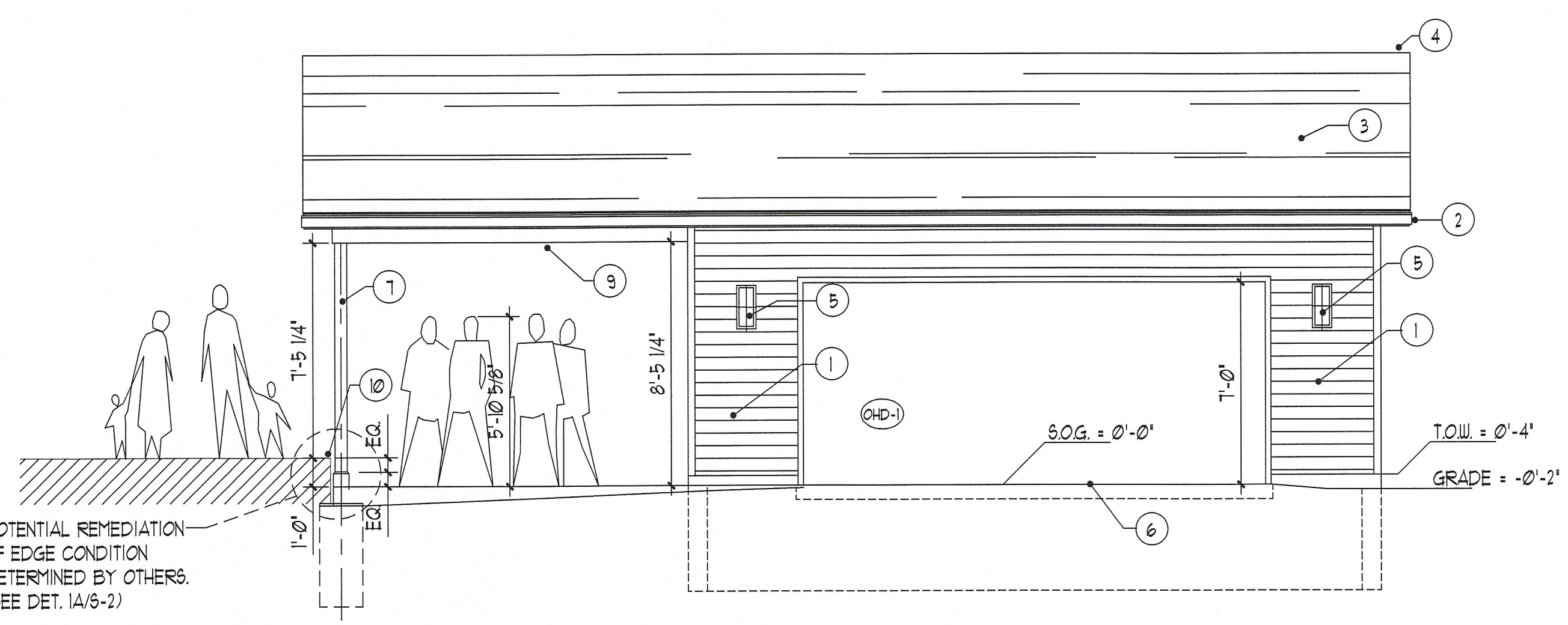
**Michele & Paul Beiter**  
**New Detached Garage**  
 9450 Clarence Center Rd., Clarence, N.Y. 14032

PROJECT NUMBER	24-28
REVISION	DATE BY
DATE	4-2-24
DRAWN BY	D.L.
APPROVED	
CHECKED BY	
DEMO PLAN FOUNDATION PLAN & NOTES	
SHEET NUMBER	
A-1	

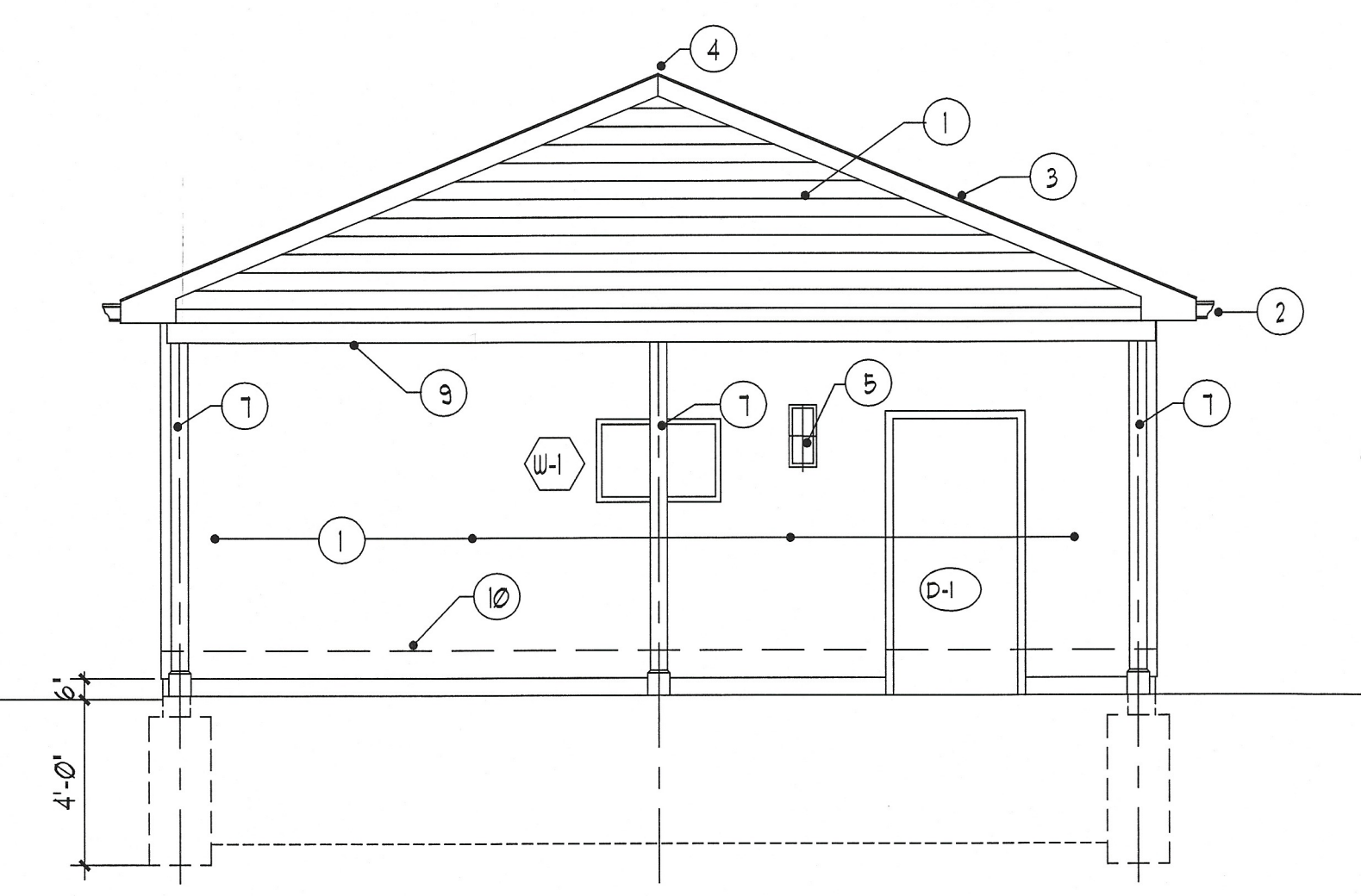


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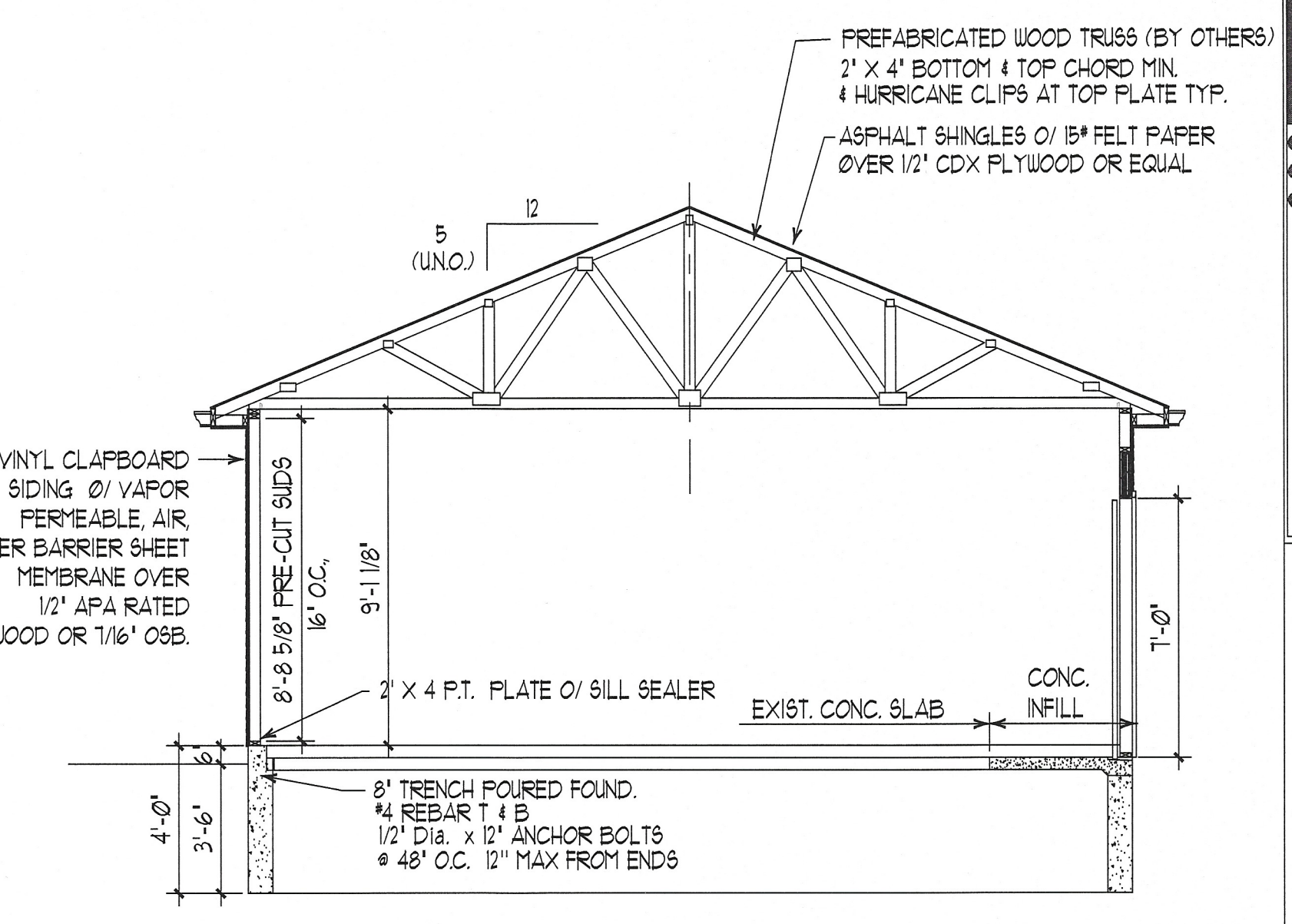
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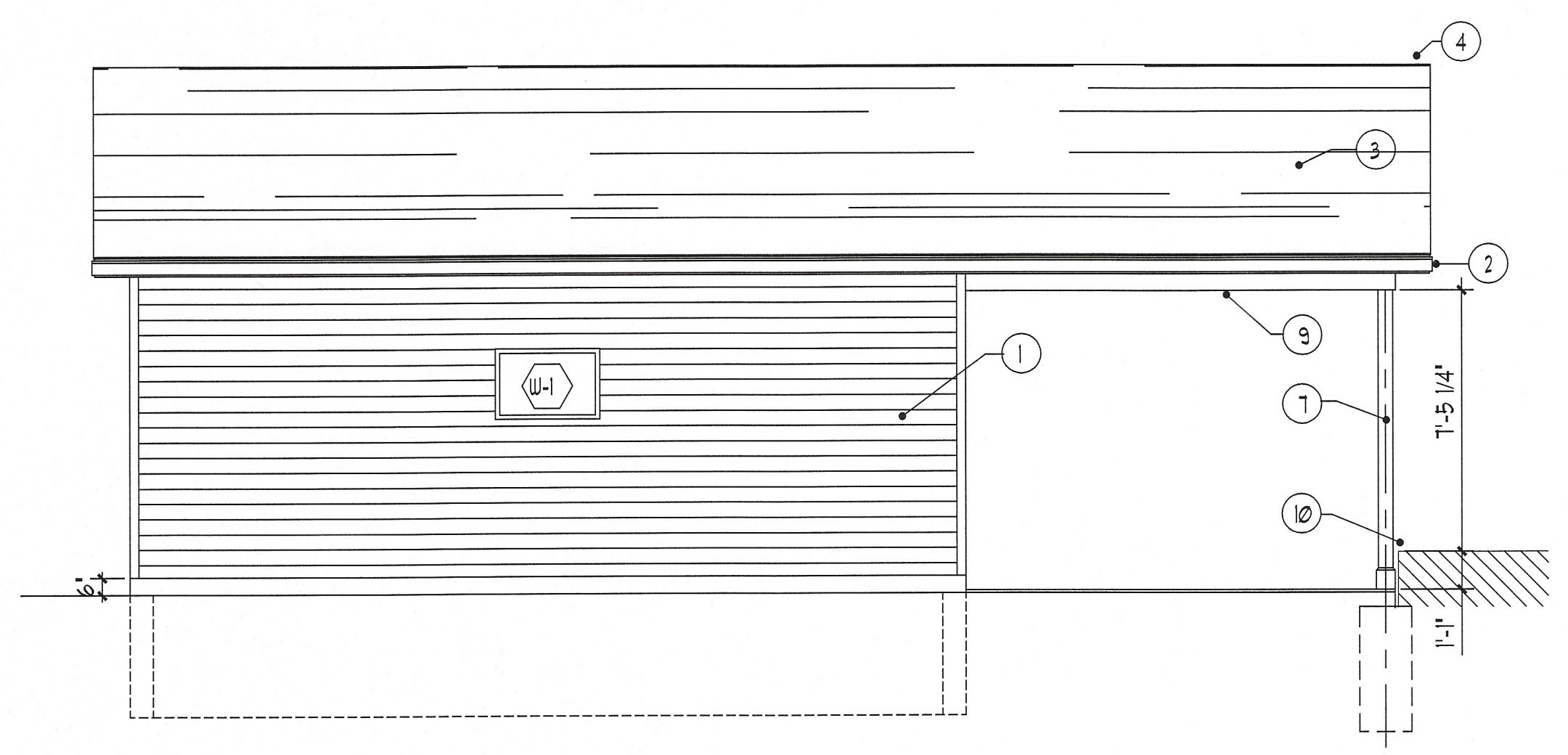
**FRONT ELEVATION (EAST)**  
 SCALE : 1/4" = 1'-0"



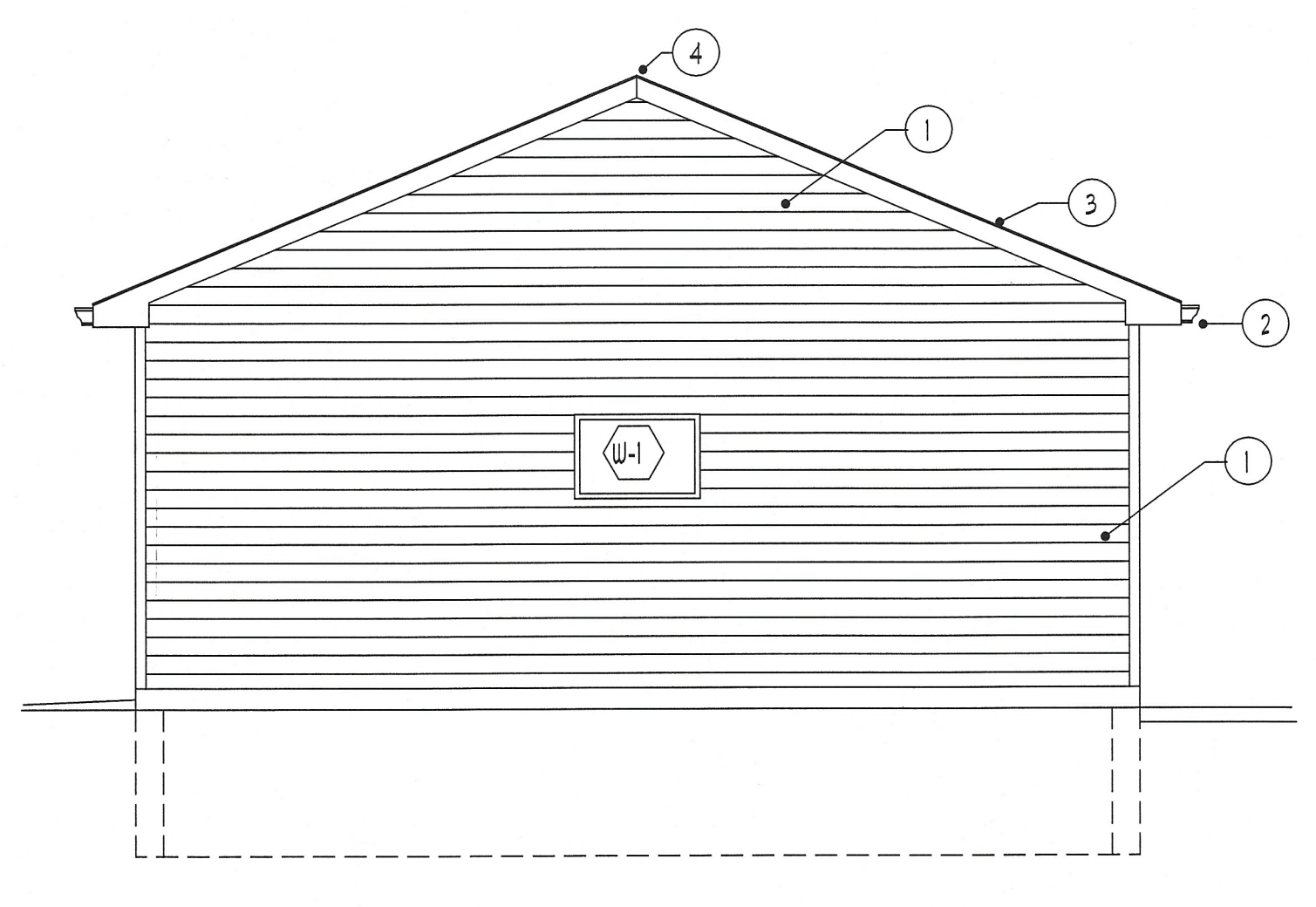
**SIDE ELEVATION (SOUTH)**  
 SCALE : 1/4" = 1'-0"



**SECTION A-A**  
 SCALE : 1/4" = 1'-0"



**REAR ELEVATION (WEST)**  
 SCALE : 1/4" = 1'-0"



**SIDE ELEVATION (NORTH)**  
 SCALE : 1/4" = 1'-0"

**ELEVATION NOTES**

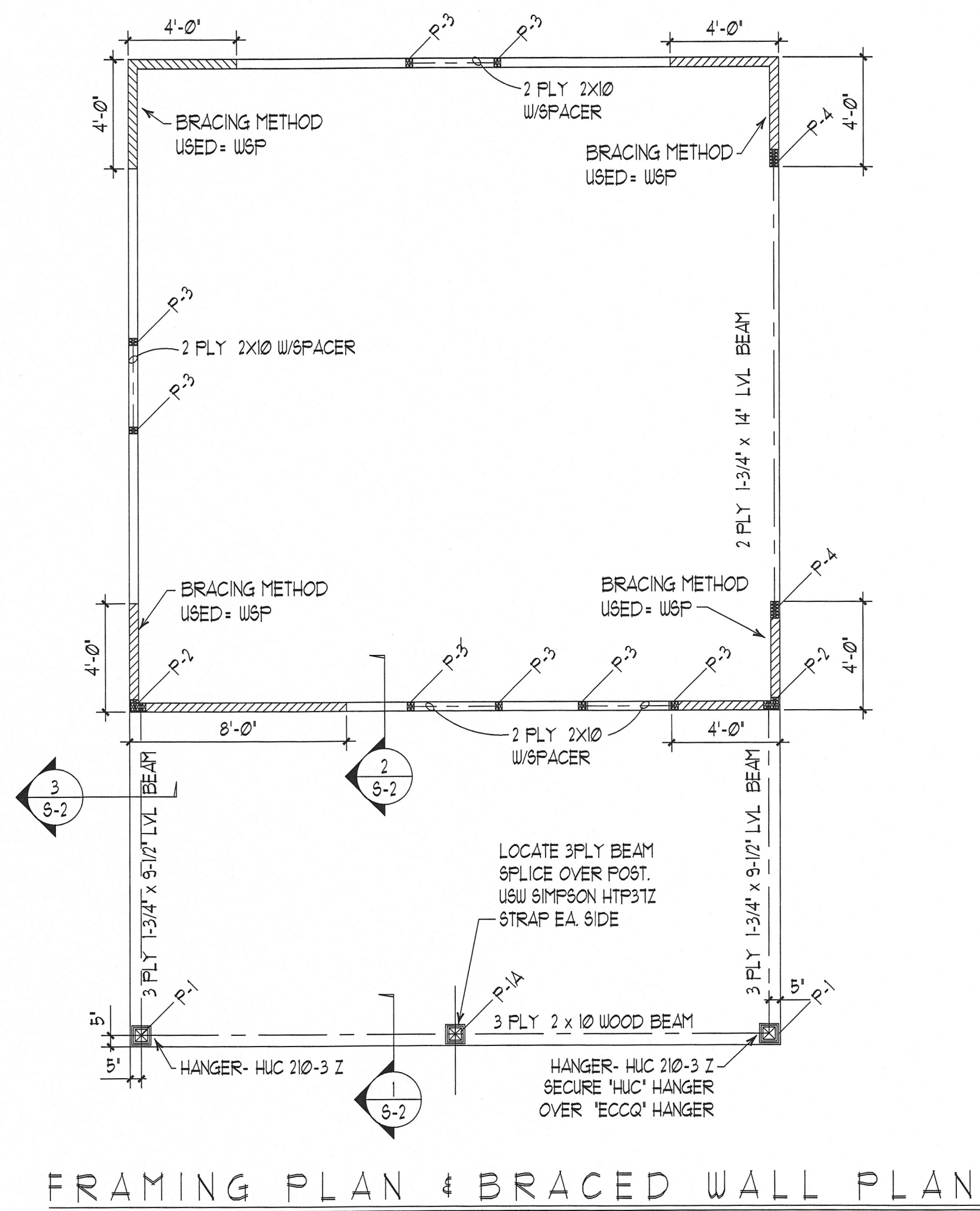
- 1 VINYL SIDING OVER VAPOR PERMEABLE AIR & WATER BARRIER. G.C. TO VERIFY SIDING SELECTION & COLOR WITH OWNER.
- 2 VINYL VENTED SOFFIT MATERIAL, ALUMINUM FASCIA WITH AL. GUTTERS AND DOWNSPOUT, USE SPLASH BLOCKS FOR DOWNSPOUT DISCHARGE.
- 3 ASPHALT SHINGLES OVER 15# FELT PAPER WITH ICE & WATER-SHIELD AT EAVES.
- 4 CONTINUOUS RIDGE VENT AT RIDGE.
- 5 ELECTRICAL FIXTURES AS SHOWN. PROVIDE SIDING BLOCKS FOR EACH FIXTURE. MODEL & TYPE PER OWNER.
- 6 PROVIDE A WEATHER LIP AT OVER-HEAD DOOR.
- 7 6X6 P.T. POSTS WRAP WITH PVC IX TRIM BOARDS. SEE POST SCHEDULE FOR STAND-OFF POST BASES & POST CAPS.
- 8 INFILL PIER FOUNDATION ACCESS HOLES WITH CONCRETE.
- 9 PROVIDE SOLID SOFFIT MATERIAL AT UNDERSIDE OF COVERED PATIO AREA.
- 10 POTENTIAL REMEDIATION OF EDGE CONDITION DETERMINED BY OTHERS. (SEE DET. 1A/6-2)

WINDOW & DOOR SCHEDULE										FINISHES			LITE SF	VENT SF	
TAG	QTY.	MODEL*	EGRESS	DESCRIPTION	GLASS	U-Value	SHGC	MANUFACTURER & SERIES	FRAME & ROUGH OPENING	EGRESS	EXTERIOR	INTERIOR	HARDWARE	EACH	EACH
(W-1)	3		NO	2'-0" x 3'-0" VINYL SLIDER (FINAL SELECTION BY OWNER)	N/A	N/A	N/A	TBD	G.C. TO VERIFY ALL ROUGH OPENINGS WITH FINAL PRODUCT SELECTIONS.	NO				N/A	N/A
(D-1)	1		YES	INSULATED MAN-DOOR W/ 3/4 LITE (FINAL SELECTION BY OWNER)	INSULATED paneled man-door style selected by owner	N/A	N/A	TBD		YES	SELECTED BY OWNER	SELECTED BY OWNER	SELECTED BY OWNER	N/A	N/A
(OHD-1)	1		YES	16'-0" x 7'-0" OVERHEAD DOOR (FINAL SELECTION BY OWNER)	INSULATED panel & window style selected by owner	N/A	N/A	TBD		YES				N/A	N/A

PROJECT NUMBER	24-218	
REVISION	DATE	BY
	4-2-24	DL
DRAWN BY	DL	
APPROVED		
CHECKED BY		



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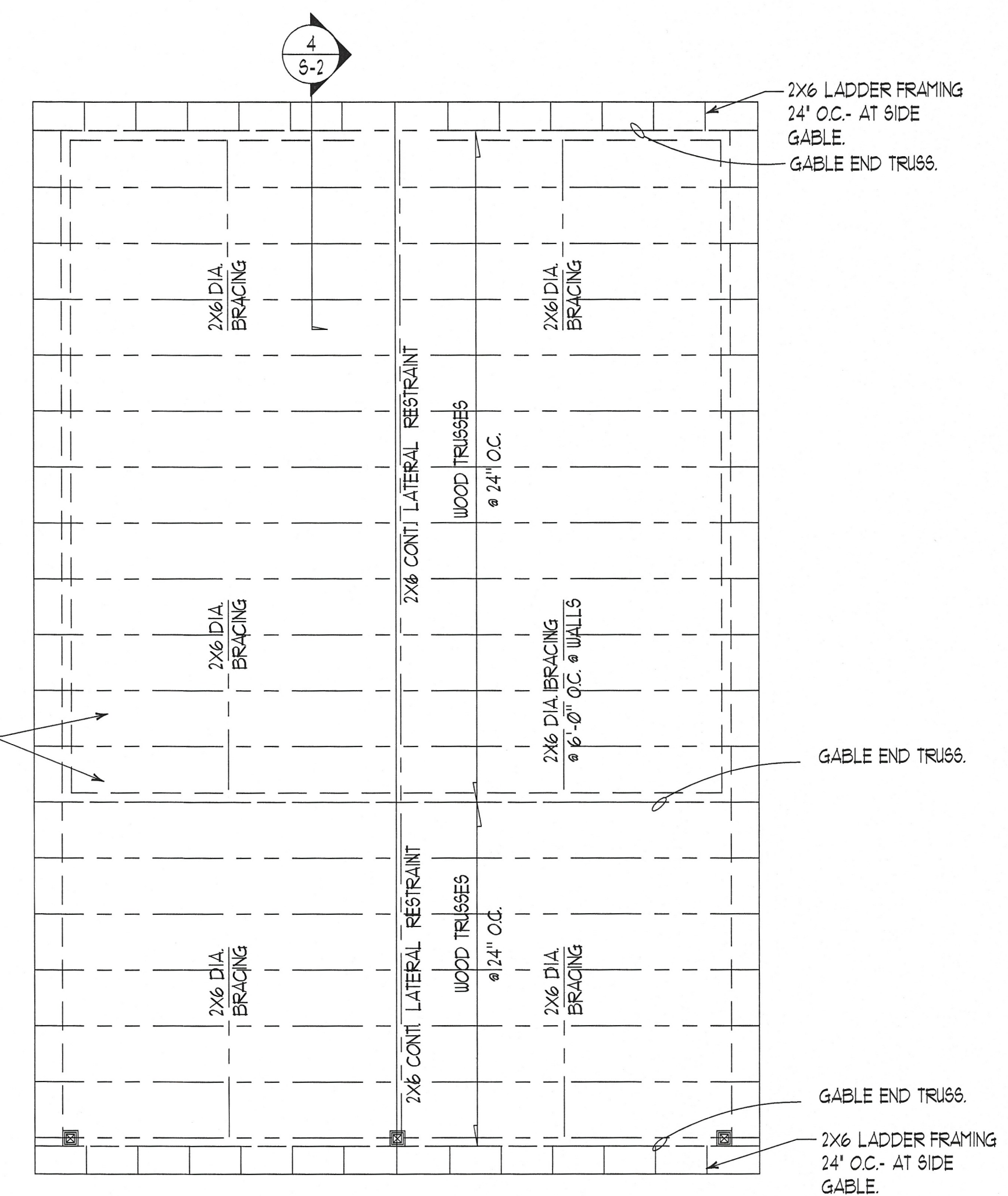


### GENERAL NOTES: BRACED WALL PANEL METHODS WSP, CS-WSP, ABW & PFG

- EXTERIOR WALL SHEATHING - 1/2" OSB OR 15/32" PLYWOOD (APA RATED).
- NAIL SHEATHING WITH 8d COMMON NAILS (OR GALVANIZED 8d BOX NAILS). 6" O.C. AT EDGES, 12" O.C. AT FIELD. AT METHOD ABW, NAIL EDGES AT 4" O.C. SPECIAL NAILING REQUIRED AT METHOD PFG PORTAL FRAME BRACING. RE 2020 NYSRBC, FIGURE R 602.10.6.3.
- BLOCK ALL HORIZONTAL SHEATHING PANEL JOINTS AT BRACED PANELS.
- EXTEND BRACED WALL PANEL CONSTRUCTION TO ROOF AT GABLE ENDS.
- AT METHODS WSP AND CS-WSP, RE NYSRBC TABLE R 602.3 (1) (FASTENING SCHEDULE) AND FIGURE R 602.10.8 (1) BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR / CEILING FRAMING. FOR SPECIAL NAILING AT TOP AND BOTTOM PLATES, AND BLOCKING BETWEEN FLOOR TRUSSES AND RAFTERS.
- TOE NAIL GABLE END TRUSSES TO TOP PLATE WITH 8d COMMON NAILS @ 6" O.C.

#### KEY: BRACING METHODS

- = METHOD: WSP
- = METHOD: CS-WSP (NOT USED)
- = METHOD: ABW (NOT USED)
- = METHOD: PFG (NOT USED)



### ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

POST SCHEDULE		
MARK	SIZE	REMARKS / SIMPSON CONNECTORS
P-1	6 X 6 5YP #2 OR BETTER (P.T.)	ECC666 SDS 25 Z COLUMN CAP BASE= ABW66Z
P-1A	6 X 6 5YP #2 OR BETTER (P.T.)	PC66Z COLUMN CAP BASE= ABW66Z
P-2	3- 2 X 4 JACKS 2- 2 X 4 KING	3 JACKS & SPACER & KING UNDER SPECIFIED BEAM, SECOND KING AT ADJACENT PERPENDICULAR WALL
P-3	1- 2 X 4 JACKS 1- 2 X 4 KING	
P-4	3- 2 X 4 JACKS 3- 2 X 4 KING	

#### POST NOTES:

- ALL SINGLE PLY POSTS SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE - (5YP#2) (UNLESS NOTED OTHERWISE (UNO)).
- ALL MULTIPLE PLY POSTS 5FP #1 / #2 OR HEM-FIR #2 UNLESS NOTED OTHERWISE (UNO).
- NAIL EACH PLY W/ 10d NAILS @ 12" O.C. (Ø.131" MIN. DIAMETER)

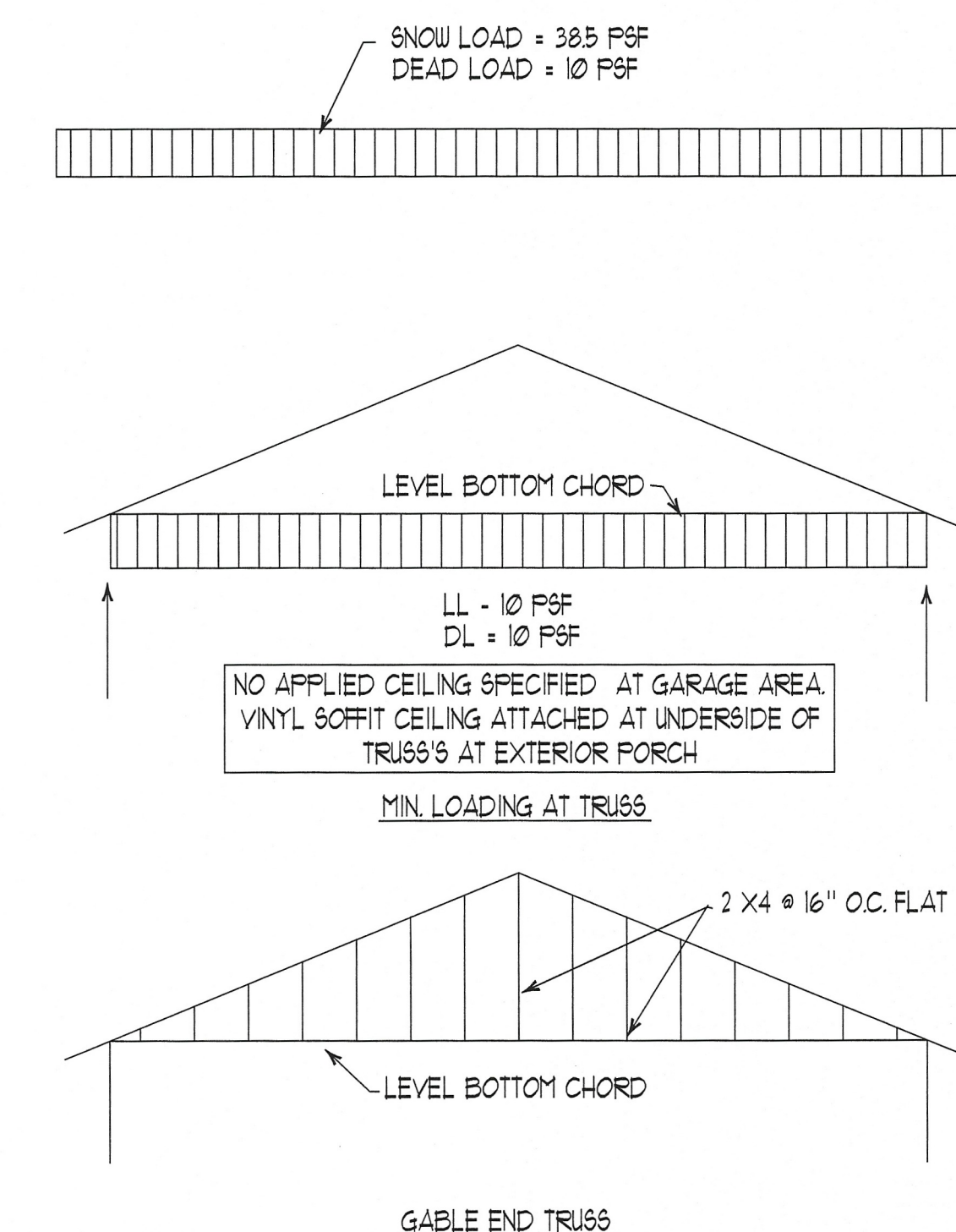
#### LVL MEMBER CONNECTIONS

3 PLYS - 10d HD. GALV. (128" DIA. MIN) 2 ROWS @ 12" O.C. EA. ROW & FACE

### WOOD TRUSS - GENERAL NOTES

- TRUSSES TO BE DESIGNED FOR 50#/SQFT. GROUND SNOW LOAD IN ACCORDANCE WITH THE 2020 NEW YORK BUILDING CODE.
- UNBALANCED SNOW LOADS MUST BE ACCOUNTED FOR. SEE TRUSS DIAGRAMS FOR MINIMUM TRUSS LOADING REQUIREMENTS.
- TRUSSES TO BE DESIGNED FOR WIND LOADS IN ACCORDANCE WITH THE 2020 NEW YORK STATE BUILDING CODE: 115 MPH, EXPOSURE C.
- TOP CHORD OF TRUSS PROFILE TO FOLLOW THE ROOF SLOPES AND BOTTOM CHORD PROFILE AS SHOWN ON THE ROOF PLAN AND BUILDING SECTIONS.
- TRUSSES MUST BE DESIGNED AND BUILT BY A REPUTABLE TRUSS MANUFACTURER. ALL TRUSS DESIGN AND DETAILS MUST BE STAMPED AND SIGNED BY A NEW YORK STATE PROFESSIONAL ENGINEER.
- STRUCTURAL CALCULATIONS: SUBMIT STRUCTURAL CALCULATIONS PREPARED BY THE MANUFACTURER FOR APPROVAL BY THE PROJECT ENGINEER. CALCULATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
  - DESCRIPTION OF DESIGN CRITERIA.
  - ENGINEERING ANALYSIS DEPICTING STRESS AND DEFLECTION (STIFFNESS) REQUIREMENTS FOR EACH FRAMING APPLICATION.
  - SELECTION OF FRAMING COMPONENTS AND ACCESSORIES.
  - VERIFICATION OF ATTACHMENTS TO STRUCTURE AND FOR ADJACENT FRAMING COMPONENTS.
  - FASTENERS: PROVIDE NUTS, BOLTS, WASHERS, SCREWS AND OTHER FASTENERS WITH CORROSION-RESISTANT PLATED FINISH.
  - SHALL SHOW REQUIRED DOWNWARD & UPLIFT REACTIONS AT ALL SUPPORT LOCATIONS, INCLUDING CONNECTIONS AT SUPPORTING TRUSSES.
- TRUSS MANUFACTURER TO SUPPLY BRACING REQUIREMENTS FOR TRUSSES MATERIAL AND ATTACHMENT BY GENERAL CONTRACTOR.
- TRUSS DESIGN SHALL CONFORM TO THE REQUIREMENTS OF THE A.I.T.C.
- DEFLECTION SHALL NOT EXCEED 1/240TH SPAN FOR TOTAL LOAD NOR 1/360TH SPAN FOR LIVE LOAD.
- CONTRACTOR SHALL PROVIDE MUNICIPALITY WITH TRUSS DRAWINGS AS REQUIRED.
- INSTALL ALL TRUSSES AS PER MANUFACTURER'S INSTRUCTIONS.
- DO NOT INSTALL ROOF TRUSSES UNTIL AFTER STUD WALLS ARE FULLY BRACED AND STABILIZED.
- DESIGN FOR JOINT CONNECTORS SHALL CONFORM TO THE REQUIREMENTS OF THE TRUSS PLATE INSTITUTE.
- TRUSSES TO ALIGN WITH STUD SPACING. WHERE TRUSSES ARE 2'-0" O.C. AND STUDS ARE 1'-4" O.C., TRUSS SPACES AT 4'-0" O.C. MUST ALIGN WITH STUDS.
- PROVIDE TEMPORARY AND PERMANENT TRUSS BRACING AS PER BC91-B3.
- PROVIDE TRUSS IDENTIFICATION PLACARD AS PER APPENDIX H OF FIRE CODE.

### WOOD TRUSS DIAGRAM-DESIGN LOADS



# LA

Hauer-LaDuca

ARCHITECT P.C.  
Architecture & Design

10940 Main Street  
Clarence, NY 14031  
Phone: 716-759-1965  
Fax: 716-759-1966

**Michele & Paul Beiter**  
**New Detached Garage**  
9450 Clarence Center Rd., Clarence, N.Y. 14032

PROJECT NUMBER 24-218

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REVISION DATE BY

DATE 4-2-24

DRAWN BY D.L.

APPROVED

CHECKED BY

WALL & ROOF FRAMING PLANS  
WALL SECTION TRUSS DATA  
PIER & POST SCHED.

SHEET NUMBER

S-1



# LA

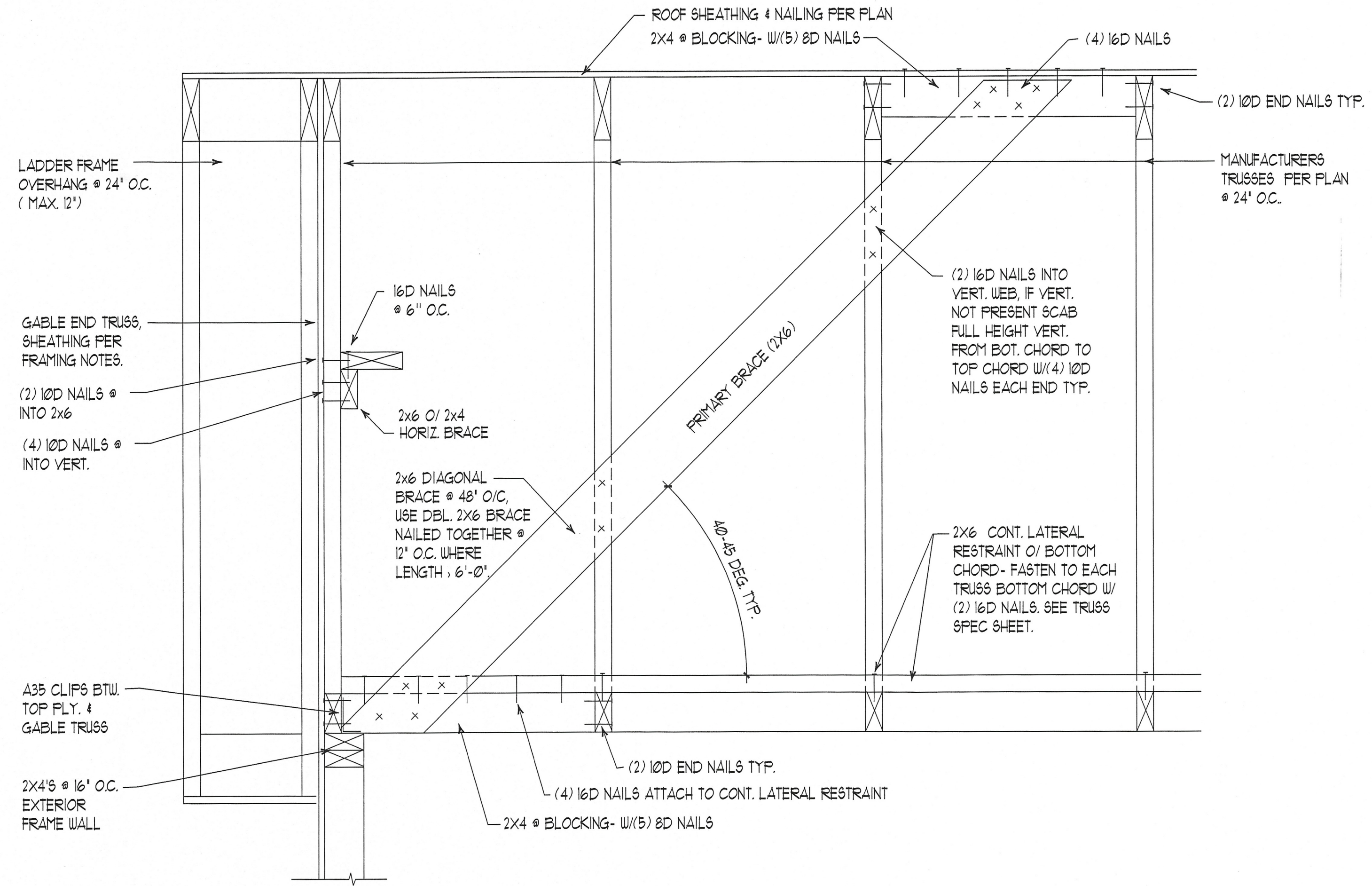
Hauer-LaDuca

ARCHITECT P.C.  
Architecture & Design

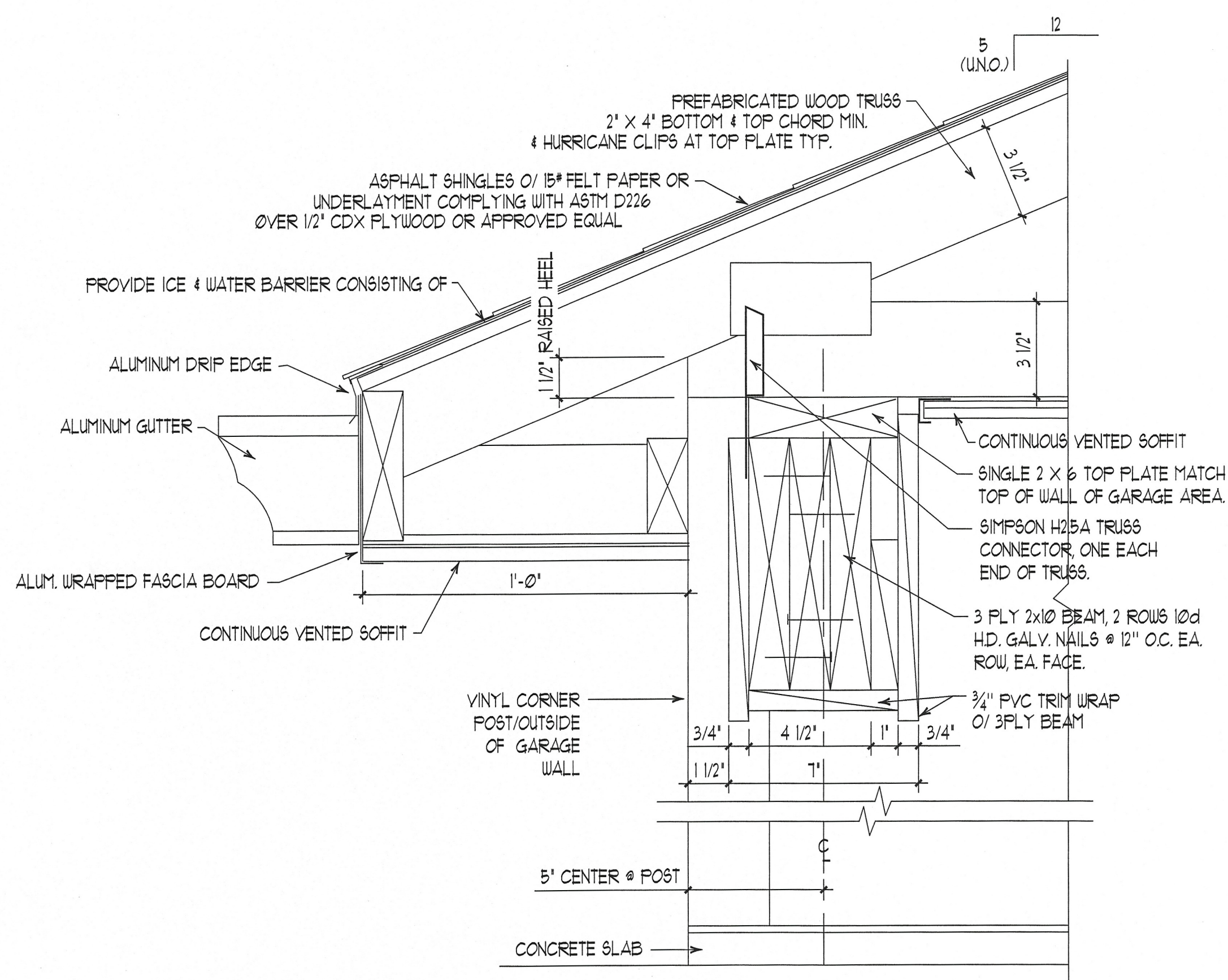
10940 Main Street  
Clarence, NY 14031  
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Fax: 716-759-1966

## Michele & Paul Beiter New Detached Garage

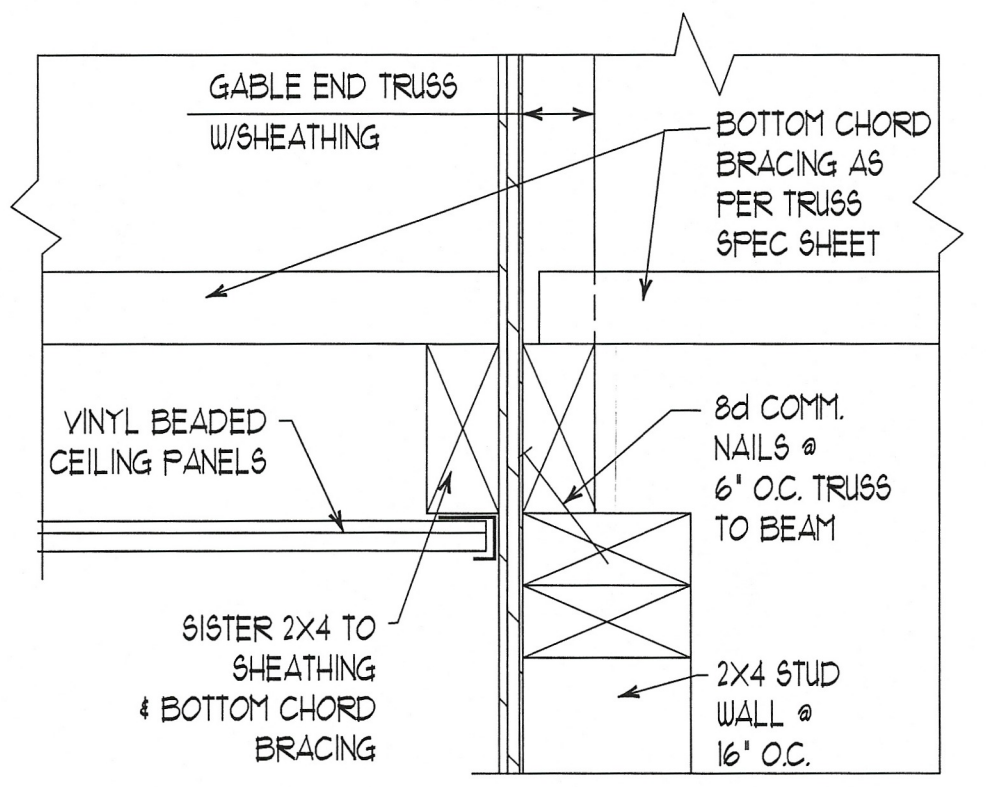
9450 Clarence Center Rd., Clarence, N.Y. 14032



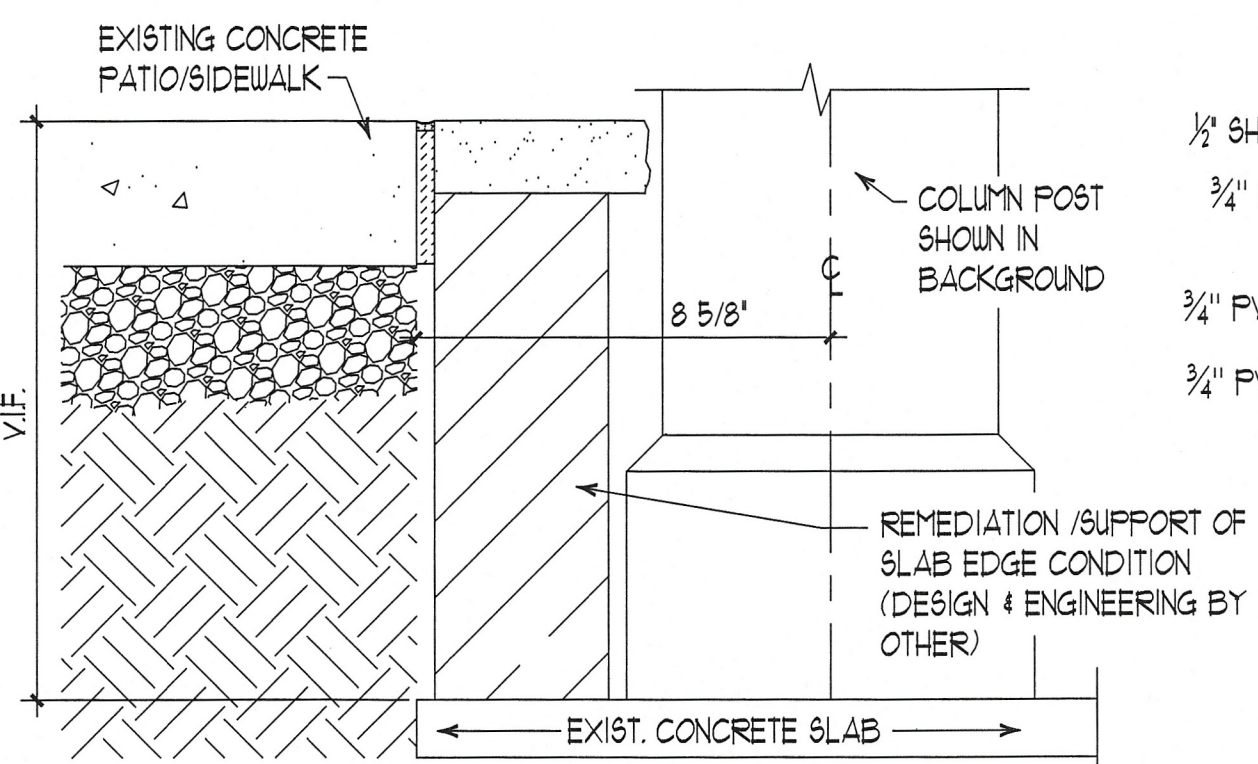
GABLE END WALL & INT. GABLE BRACE DETAIL  
SCALE: 1-1/2" = 1'-0" 4



DETAIL  
SCALE: 3" = 1'-0" 3

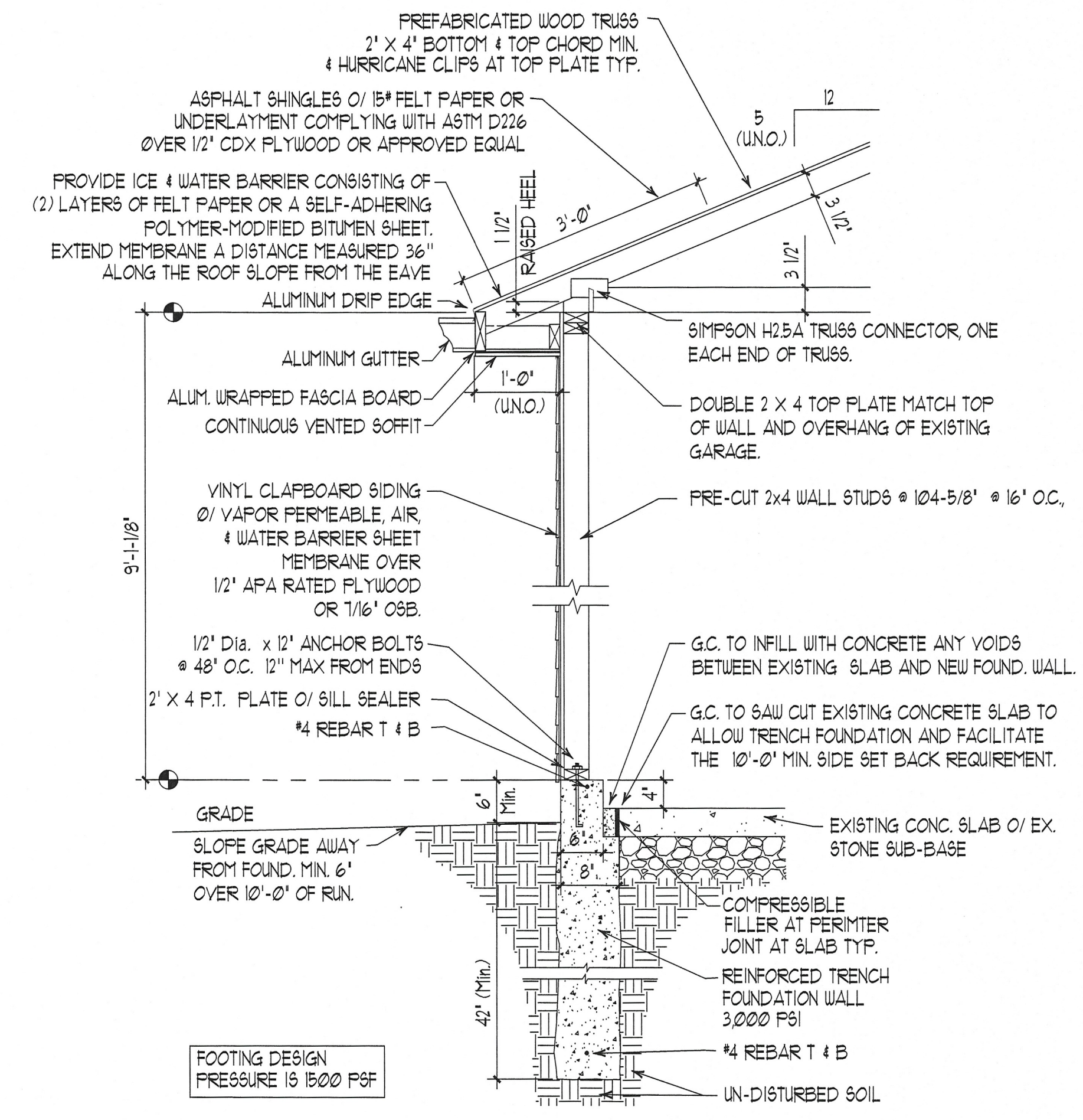


DETAIL  
SCALE: 3" = 1'-0" 2

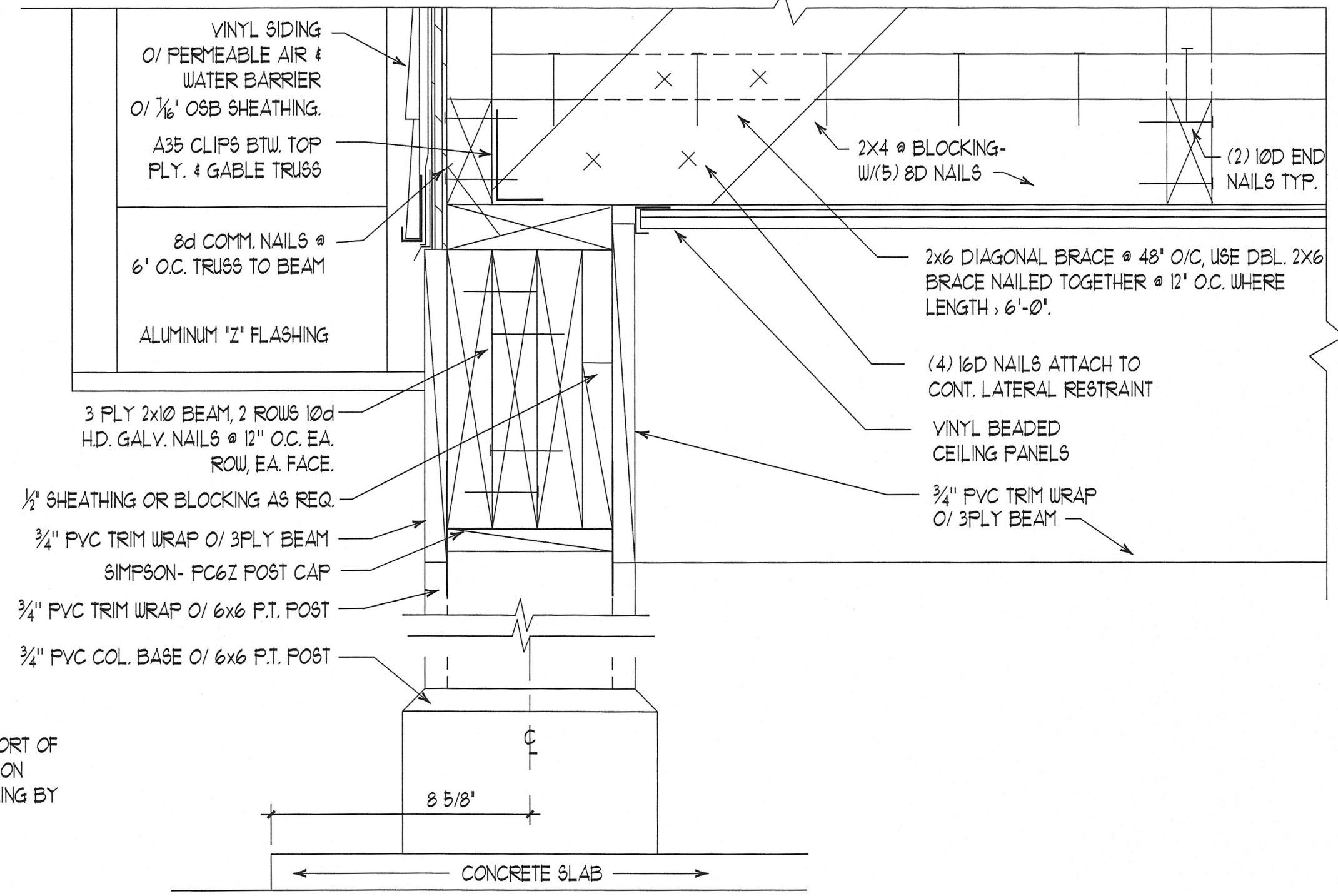


ADJACENT PATIO IS 12"-16" ABOVE EXISTING GARAGE SLAB. COLUMN LINE IS PULLED IN FROM THE EDGE OF THE EX. CONC. SLAB, THIS ALLOWS FOR REMEDIATION OR SUPPORT OF THE EDGE CONDITION IF NEEDED. G.C. TO COORDINATE WITH OWNER.  
(DESIGN, MATERIAL, ENGINEERING AND METHODOLOGY BY OTHERS.)

DETAIL  
SCALE: 3" = 1'-0" 1A



SECTION  
SCALE: 3/4" = 1'-0" A



DETAIL  
SCALE: 3" = 1'-0" 1

PROJECT NUMBER	24-218
REVISION	DATE BY
DATE	4-3-24
DRAWN BY	DJL
APPROVED	
CHECKED BY	

SECTIONS & DETAILS

SHEET NUMBER  
S-2