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585-317-5784

Town of Clarence Town Board
1 Town Place
Clarence NY 14031
Attn: Jonathan C. Bleuer, Director of Community Development

December 21, 2023

Re: Shimerville Road Marinaccio Subdivision

DEAR TOWN BOARD MEMBERS,

On behalf of Paul Marinaccio, I am pleased to submit the following information for Conceptual Review of the referenced proposed subdivision:

Five (5) copies of Request for Action form

Five copies of Conceptual Plan Sets drawings 2302-01 through 2302-04

- Cover Sheet
- Vicinity Plan
- Conceptual Subdivision Plan
- Conceptual Grading and Drainage Plan

Five (5) copies of completed Long Form EAF

Five (5) copies of a Soils Map with Soils Map Unit Legend

Five (5) copies of Concept Plan Approval Checklist for a Major Residential Subdivision

The proposed subdivision is located on the west side of Shimerville Road approximately 750 feet south of Roll Road. An access strip extends from Shimerville Road to the proposed lots. The proposal is to subdivide the 26.11-acre parcel into 8 single family home lots. Four of the lots are just over 1 acre in size and 4 of the lots are just over 5 acres in size. The proposed plan conforms to the requirements of the Residential Zoning Code and Subdivision Regulations.

The property includes a mix of mowed lawn, wooded areas, and a small pond. There are federally regulated wetland areas mostly within the wooded areas as shown on the plans. The wetlands were delineated in early November this year by a wetland specialist. Overall, the property has an attractive environmental setting.

The lots will be accessed from a single road from Shimerville Road that ends in a cul-de-sac. The road will be offered to the Town for dedication. A second access strip extends to Roll Road at the northwest corner of the property. The access strip can be used to provide a second emergency access to the contiguous properties and the proposed

subdivision road providing an overall community benefit. One of the contiguous properties is owned by the Town that includes a wetland and nature sanctuary.

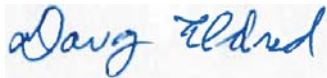
A water main will be extended from an existing water main on Shimerville Road to supply potable water and fire protection for the homes in the subdivision. Sanitary sewer service is not available so individual sewage disposal systems are proposed for each lot. Review of the online soils and preliminary percolation tests indicate that the soils are suitable for leach field disposal of the septic tank treated domestic sewage effluent. The lots that back up to existing lots along Shimerville Road are nearly 350' deep and some landscaping further buffers them from the existing homes. Nearly all the existing woodlot and all the wetland areas will be preserved.

Site runoff will be discharged to a permanent desiltation basin and bioretention basin before discharging to the existing pond. The existing pond will be used to control stormwater management to reduce runoff rates to or below existing conditions. Drywells are proposed for lots that cannot discharge to the desiltation basin and bioretention area. The intent is to comply with the NYS Stormwater discharge and green infrastructure standards.

Please place this matter on the Town Board Agenda at the next possible meeting.

Thank You.

Sincerely

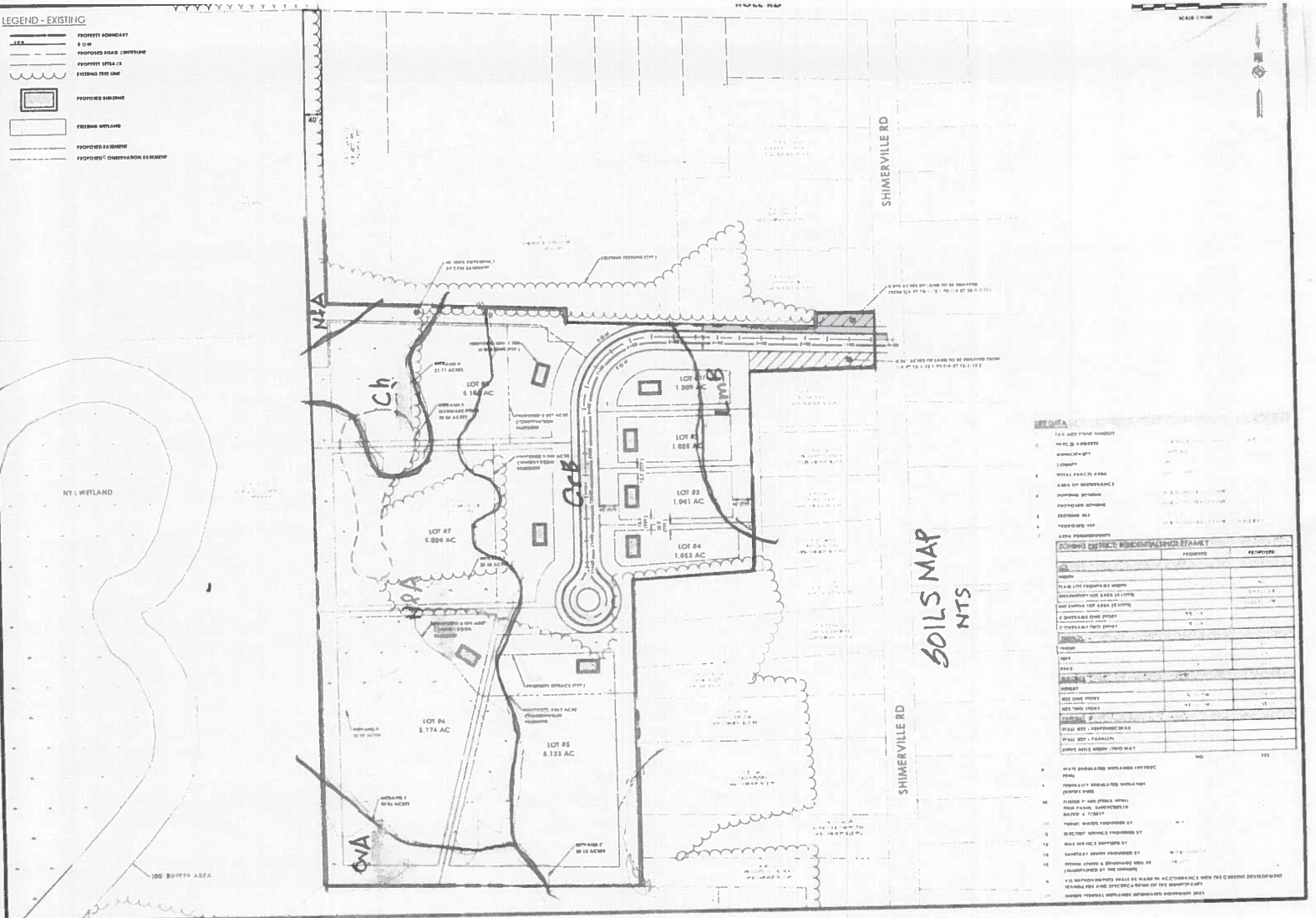
A handwritten signature in blue ink that reads "Doug Eldred". The signature is written in a cursive style and is placed over a light gray rectangular background.

Doug Eldred PE

c: Paul Marinaccio w encl.

LEGEND - EXISTING

	PROPERTY BOUNDARY
	5' G.P.
	PROPOSED ROAD CENTERLINE
	PROPOSED UTILITY LINE
	EXISTING UTILITY LINE
	PROPOSED BUILDING
	EXISTING WETLAND
	PROPOSED BARRIERS
	PROPOSED CHIMNEY/BOILER BARRIERS



SOILS MAP
NTS

SOILS DATA

NO.	SOIL SYMBOL	PERCENTAGE	REMARKS
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Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ch	Cheektowaga fine sandy loam	1.6	3.1%
CrA	Claverack loamy fine sand, 0 to 3 percent slopes	0.1	0.3%
CrB	Claverack loamy fine sand, 3 to 8 percent slopes	16.8	33.4%
LmB	Lima loam, 3 to 8 percent slopes	5.6	11.2%
NfA	Niagara silt loam, 0 to 3 percent slopes	10.4	20.6%
OvA	Ovid silt loam, 0 to 3 percent slopes	15.8	31.5%
Totals for Area of Interest		50.4	100.0%

Concept Plan Approval Checklist for a Major Residential Subdivision

1. Fill out Request For Action Form available in the Planning and Zoning Department.
2. Indicate current zoning classification and any proposed changes.
3. Show the concept plan to sufficient scale including :
 - All sublots proposed
 - Parking plan
 - Setbacks must be indicated on all lots
 - Total acreage of project and sublots
 - Existing streams and ditches
 - Drainage plan
 - All streets and traffic flows
 - Existing or new curb cuts
 - Property lines with owners noted
 - Floodplains, wetlands, soils
 - Utility locations
 - Survey and deed description
4. Identify adjacent properties and existing buildings within 500' of the proposed project area to give the Planning Board a better perspective of adjoining uses.
5. Indicate what utilities are available to the site including water, sewer, electric, gas, etc. indicating any future expansion of these services through the proposed site.
6. Provide the proposed building construction type, materials, size, and usage.
7. Owner of land must be present at Town Board Work Session or give written approval for the project to the applicant and the Planning and Zoning Department.

Grading & Drainage Plan
- 2' contours

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Shimerville Road - Marianccio Property		
Project Location (describe, and attach a general location map): West Side of Shimerville Road - 750' south of Roll Road		
Brief Description of Proposed Action (include purpose or need): Subdivide 26.11 ac property into 8 single family home lots. Four lots approximately 1 ac in size and 4 lots approximately 5 ac in size.		
Name of Applicant/Sponsor: Paul Marinaccio		Telephone: 716-316-1407
		E-Mail: flory.bodami@accadiasite.com
Address: 8905 Lapp Road		
City/PO: Clarence Center	State: NY	Zip Code: 14032
Project Contact (if not same as sponsor; give name and title/role): Doug Eldred, P.E. (Douglas Eldred Site Engineering PLLC)		Telephone: 585-317-5784
		E-Mail: eldreddouglas@gmail.com
Address: 6163 Holly Creek Drive		
City/PO: Ontario	State: NY	Zip Code: 14519
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Clarence Town Board	12/18/2023
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Clarence Planning Board	2/1/2024
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Clarence Municipal Review Committee	1/1/2024
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Clarence Review Departments	12/18/2024
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Environment and Planning Erie County Health Dept.	4/1/2024
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Erie County Water Authority	4/1/2024
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	US Army Corps of Engineers	3/1/2024
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Clarence Central School District

b. What police or other public protection forces serve the project site?
NYS Police, Erie County Sheriff

c. Which fire protection and emergency medical services serve the project site?
Clarence Center Volunteer Fire Company

d. What parks serve the project site?
Glennwood Park, Escarpment Sanctuary and 7 Others

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Single Family Residential

b. a. Total acreage of the site of the proposed action? 26.11 acres
b. Total acreage to be physically disturbed? 6.0 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 26.11 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 8

iv. Minimum and maximum proposed lot sizes? Minimum 1.0 AC Maximum 5.2 AC

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: 4 months Site Work

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	8			
At completion of all phases	8			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: Stormwater Management
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ 0.02 million gallons; surface area: _____ 0.9 acres
 v. Dimensions of the proposed dam or impounding structure: _____ 4 height; _____ 700 length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Potentially 0.03 Ac of disturbance of Federal Wetland to install pipe

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
Pipe crossing - restored to original conditions

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 2,800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Erie County Water Authority
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
Install approximately 1600 lf of 8" watermain to serve the 8 lots
- Source(s) of supply for the district: Existing watermain on Shimerville Road

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 2,800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____
 NONE

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 57.5K Square feet or 1.3 acres (impervious surface)
 1.1M Square feet or 26.11 acres (parcel size)
 ii. Describe types of new point sources. Storm sewer discharge to stormwater management pond

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 On-site stormwater management facility

 • If to surface waters, identify receiving water bodies or wetlands: _____
 Existing on-site pond to also be used for stormwater management

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
 Heavy Equipment during construction

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
 NONE

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
 Individual home heating and cooling

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7 AM - 6 PM • Saturday: _____ 7AM-6 PM • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>Exterior home lighting, greater than 400' from existing homes</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Wetland

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	1.3	+1.3
• Forested	8.51	8.0	-0.51
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	10.15	9.36	- 0.79
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.88	0.88	0
• Wetlands (freshwater or tidal)	6.57	6.57	0
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >10' feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Sand Loam	_____	65 %
Silt Loam	_____	35 %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: 71 % of site
 Poorly Drained 29 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name Unnamed _____ Classification _____
- Wetlands: Name Unnamed _____ Approximate Size 6.57 ac
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
Squirrels _____	Deer _____	Various Common Bird Species _____
Racoons _____	Rabbits _____	Groundhogs _____
Chipmunks _____	Common Toads and Frogs _____	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p> <p>_____</p>		
<p>E.3. Designated Public Resources On or Near Project Site</p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? <u>Unknown</u></p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Douglas Eldred-Agent Date 12/18/23

Signature  Title Project Engineer

DRAWING INDEX

01	COVER
02	VICINITY PLAN
03	SUBDIVISION PLAN
04	GRADING & DRAINAGE PLAN

OVERALL SITE DEVELOPMENT PLANS FOR SHIMERVILLE RD SUBDIVISION TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

**DOUGLAS ELDRED SITE
ENGINEERING PLLC
6163 HOLLY CREEK DRIVE
ONTARIO, NY 14519**

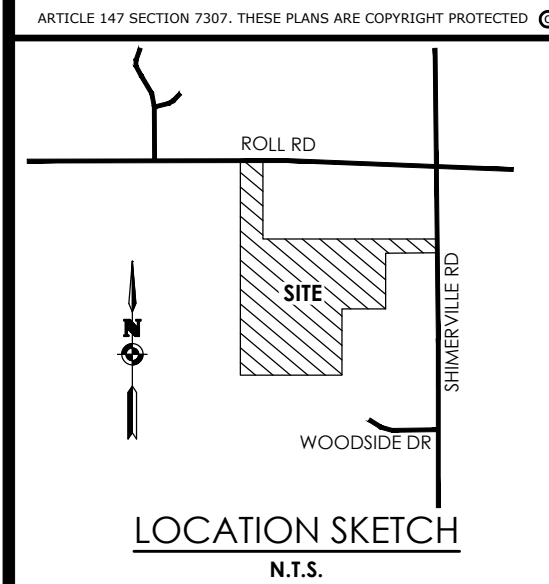


SITE DATA

- | | |
|------------------------|---------------------------------------|
| 1. TAX ACCOUNT NUMBER: | 57.12-1-12.1 |
| 2. PARCEL ADDRESS: | 0 SHIMERVILLE RD, CLARENCE NY 14031 |
| MUNICIPALITY: | CLARENCE |
| COUNTY: | ERIE |
| 3. TOTAL PARCEL AREA: | 26.92 ACRES |
| AREA OF DISTURBANCE: | |
| 4. EXISTING ZONING: | RESIDENTIAL SINGLE FAMILY |
| PROPOSED ZONING: | RESIDENTIAL SINGLE FAMILY |
| 5. EXISTING USE: | VACANT |
| 6. PROPOSED USE: | RESIDENTIAL SINGLE FAMILY SUBDIVISION |
| 7. AREA REQUIREMENTS: | |

ZONING DISTRICT: RESIDENTIAL SINGLE FAMILY		
	REQUIRED	PROPOSED
LOT		
WIDTH	125'	125'
FLAG LOT FRONTAGE WIDTH	60'	60'
UNSEWERED LOT AREA (LOTS 1-4)	1.0 AC	1.000 AC (MIN.)
UNSEWERED LOT AREA (INCENTIVE LOTS 5-8)	5.0 AC	5.024 AC (MIN.)
COVERAGE ONE STORY	18% (MAX.)	<18%
COVERAGE TWO STORY	13% (MAX.)	<13%
SETBACK		
FRONT	45'	45'
SIDE	12.5'	12.5'
REAR	45'	45'
BUILDING		
HEIGHT	35'	≥ 35'
SIZE ONE STORY	1350 SF (MIN.)	≤ 1350 SF
SIZE TWO STORY	1500 SF (MIN.)	≤ 1500 SF

- | | | |
|--|-----------------------------------|-----|
| 8. STATE REGULATED WETLANDS (NYSDEC ERM): | NO | YES |
| | X | |
| 9. FEDERALLY REGULATED WETLANDS (USFWS NWI): | X | |
| 10. NON JURISDICTIONAL WETLANDS (DELINEATED) | | X |
| 11. FLOOD PLAIN (FEMA NFHL): | | |
| FIRM PANEL: 36029C0231H | X | |
| DATED: 6/7/2019 | | |
| 12. PUBLIC WATER PROVIDED BY: | ECW A | |
| 13. ELECTRIC SERVICE PROVIDED BY: | | |
| 14. GAS SERVICE SUPPLIED BY: | | |
| 15. SANITARY SEWER PROVIDED BY: | SEPTIC SYSTEM | |
| 16. PROPOSED ROAD & DRAINAGE WILL BE: | DEDICATED TO THE TOWN OF CLARENCE | |
| 17. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY | | |
| 18. ONSITE FEDERAL WETLANDS DELINEATED NOVEMBER 2023 | | |



Client:
**PAUL MARINACCIO
8905 LAPP ROAD
CLARENCE CENTER, NY**

Revisions			
No.	Date	By	Description
1			

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COVER

SHIMERVILLE RD

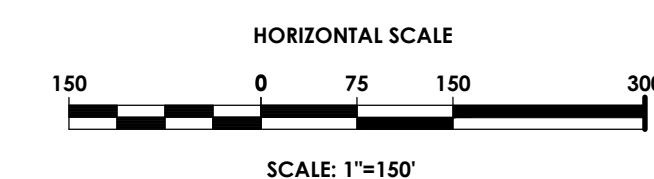
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County: ERIE State: NY

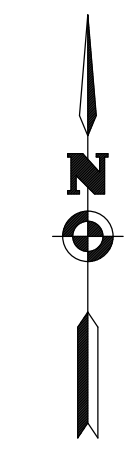
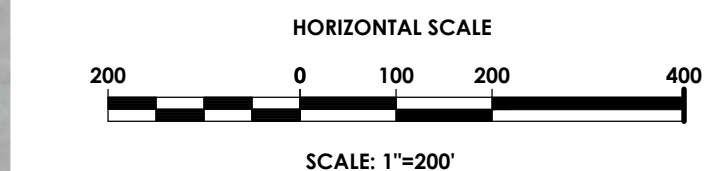
Project No. **2301**

Drawing No. **01**

Scale: **1" = 150'**

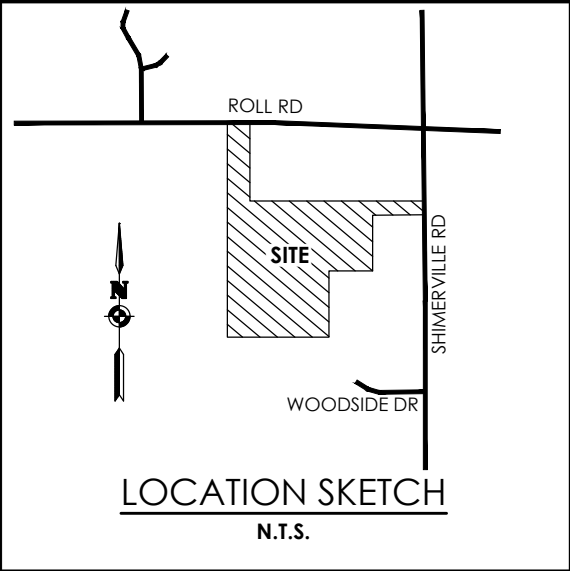
Date **JANUARY 2024**





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ONTARIO, NY 14519

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No.	Date	By	Description
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VICINITY PLAN

SHIMERVILLE RD

Municipality: CLARENCE
 County: ERIE State: NY

Project No. **2301**

Drawing No. **02**



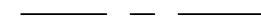


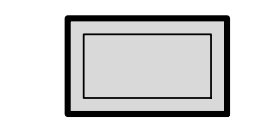

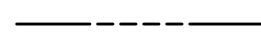

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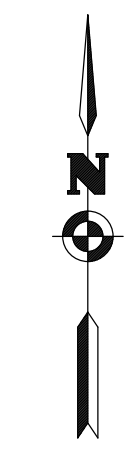
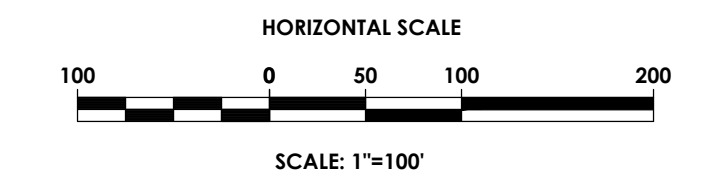
Date **JANUARY 2024**

NOT FOR CONSTRUCTION

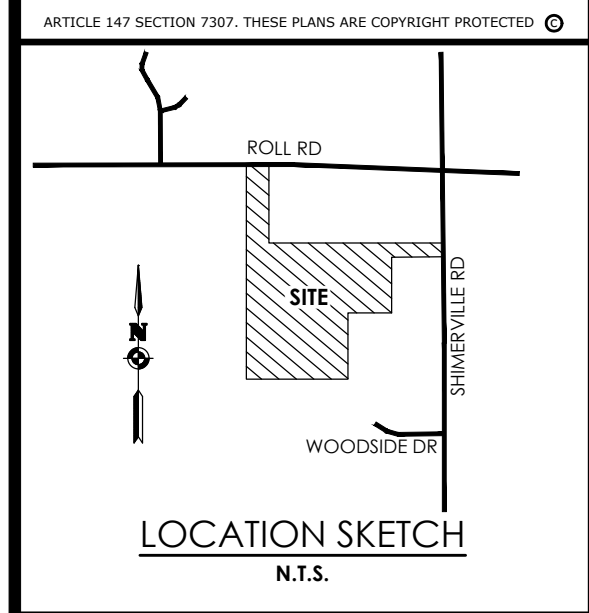
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LEGEND - EXISTING:

-  PROPERTY BOUNDARY
-  R.O.W.
-  PROPOSED ROAD CENTERLINE
-  PROPERTY SETBACK
-  EXISTING TREE LINE
-  PROPOSED BUILDING
-  EXISTING WETLAND
-  PROPOSED EASEMENT
-  LEACH FIELD



DOUGLAS ELDRED SITE
ENGINEERING PLLC
6163 HOLLY CREEK DRIVE
ONTARIO, NY 14519



Client:
PAUL MARINACCIO
8905 LAPP ROAD
CLARENCE CENTER, NY

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No.	Date	By	Description
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CONCEPTUAL SUBDIVISION PLAN

SHIMERVILLE RD

Municipality: CLARENCE
 County: ERIE State: NY

Project No. **2301**

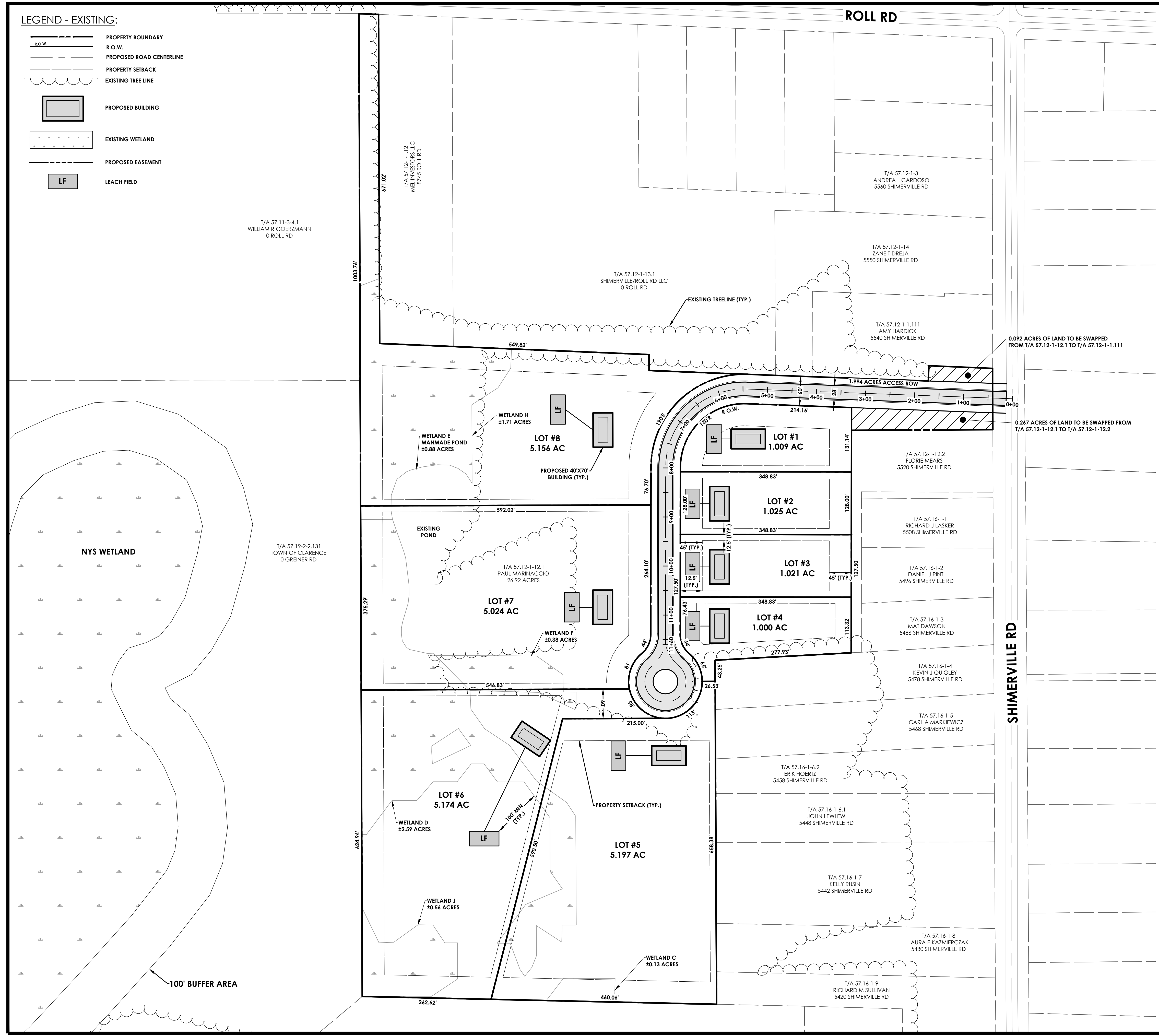
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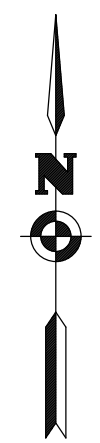
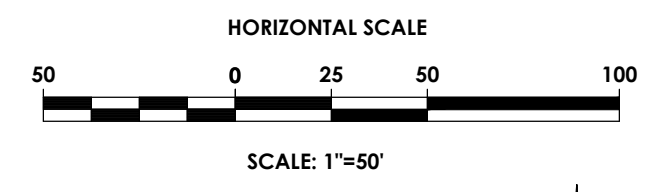
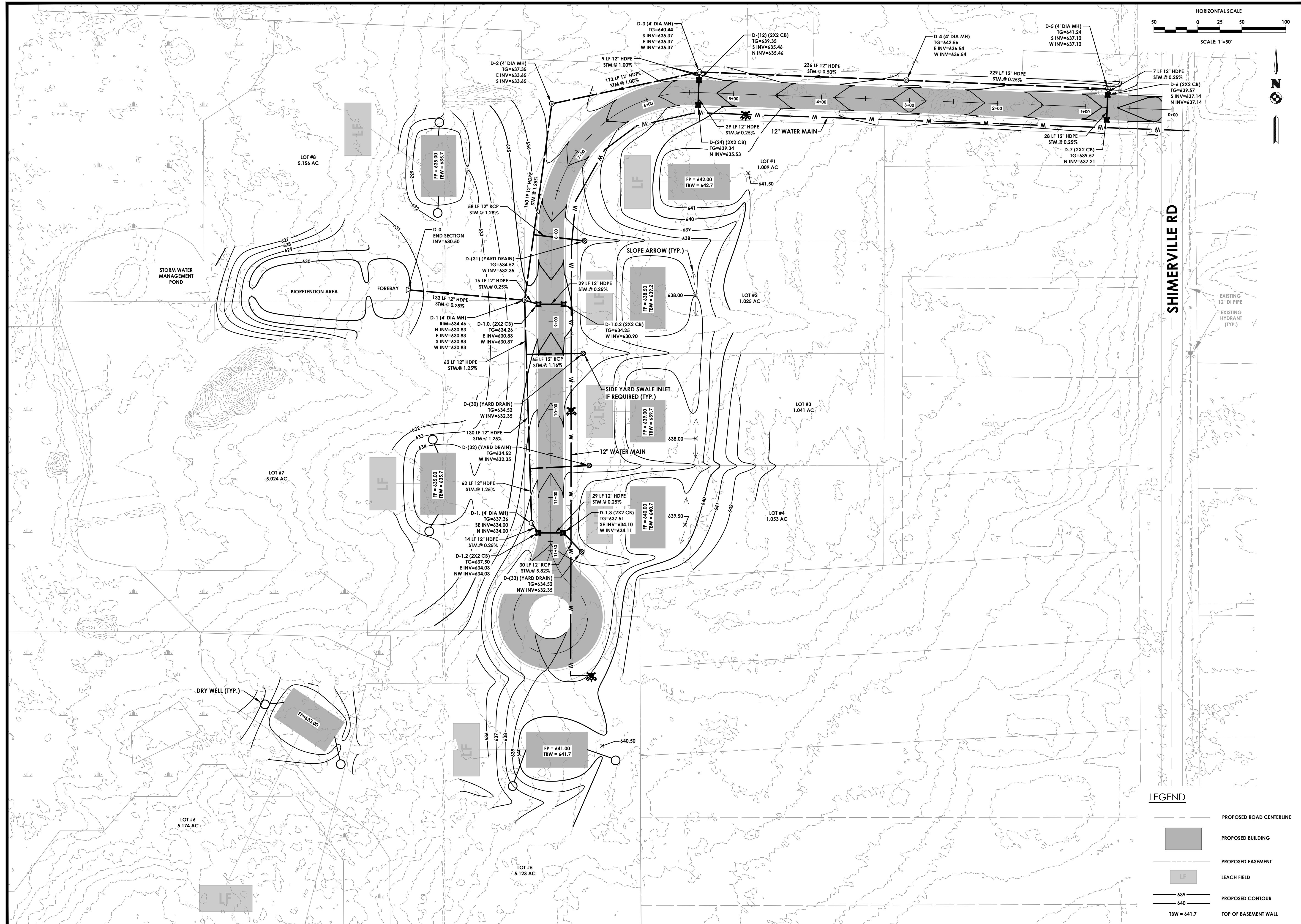
Date **JANUARY 2024**

NOT FOR CONSTRUCTION

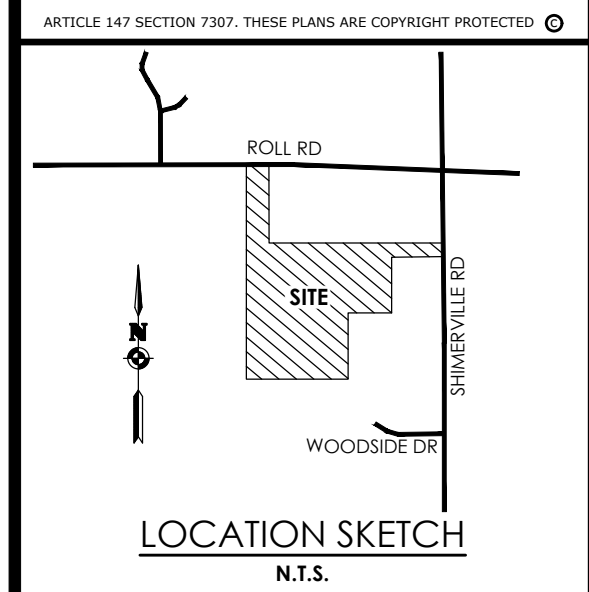
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Client:
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 8905 LAPP ROAD
 CLARENCE CENTER, NY

Revisions			
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1			

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CONCEPTUAL GRADING & DRAINAGE PLAN
SHIMMERVILLE RD

Municipality: CLARENCE County: ERIE State: NY
Project No. 2301
Drawing No. 04
Scale: 1" = 50'
Date JANUARY 2024

NOT FOR CONSTRUCTION

**Full Environmental Assessment Form
Part 1 - Project and Setting**

RECEIVED

Instructions for Completing Part 1

MAR 1 2024

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

ZONING OFFICE

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Proposed Single Family Subdivision		
Project Location (describe, and attach a general location map): 5774 Salt Road		
Brief Description of Proposed Action (include purpose or need): The Owner is proposing development of a single family residential subdivision on a 112.8+/- acre parcel located at 5774 Salt Road in the Town of Clarence. The parcel presently includes an existing house and barn along a portion of the property frontage. Pending approval of the subdivision development by the Town and other involved agencies, a 2.6 +/- acre area associated with the existing house and barn will be subdivided from the remaining parcel intended for the single family residential development. The site is zoned A-RR, Agricultural Rural Residential. Aside from the existing residence and barn, the remaining project area is vacant with the south side consisting of a mix of trees and brush. The remaining north side of the property is farmland. The south side the site includes 44.6+/- acres of federally regulated wetland. Minimal wetland disturbance may be necessary, if expansion of the existing on-site pond (wetland W1) is required for stormwater management purposes. Each lot will be equipped with a private wastewater septic system. The proposed public road system consists of a "U" section of road, connecting to Salt RD at two locations, with a single cul-de-sac extending off the west side of the "U". It is proposed to install public waterlines along the future roads.		
Name of Applicant/Sponsor: 5774 Salt Road, LLC , Bryan Schaefer and Randy Schaefer	Telephone: 716-432-5793	E-Mail: wmsbryans@msn.com
Address:		
City/PO: PO Box 471, Clarence	State: NY	Zip Code: 14032
Project Contact (if not same as sponsor; give name and title/role): Same as Applicant	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same as Applicant	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board - Subdivision Referral	TBD
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Subdivision Approval	TBD
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ECDPW - Highway Permit, ECHD - septic System/Water, ECWA - water	TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC - Water Quality Certification	TBD
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	USACOE Wetland/Water Quality Certification	TBD
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): NYS Heritage Areas: West Erie Canal Corridor	
<hr/> <hr/> <hr/>	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
<hr/> <hr/> <hr/>	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Site is zoned A RR, Agricultural Rural Residential

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Clarence Central School District

b. What police or other public protection forces serve the project site?
Erie County Sheriff and NYS Police

c. Which fire protection and emergency medical services serve the project site?
Clarence Fire District

d. What parks serve the project site?
Memorial Park, Town Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Single family residential lots

b. a. Total acreage of the site of the proposed action? 112.9+/- acres
b. Total acreage to be physically disturbed? 18.0+/- acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 112.9+/- acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 18

iv. Minimum and maximum proposed lot sizes? Minimum 1.7 acres Maximum 19.9 acres

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated 2
- Anticipated commencement date of phase 1 (including demolition) March month 2025 year
- Anticipated completion date of final phase Sept month 2028 year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	11			
At completion of all phases	18			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures _____
 ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: Stormwater Management Pond
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: stormwater runoff
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: 1.1+/- ac acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):
Native soil excavated to enlarge existing pond on site for increased stormwater detention

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:
 i. What is the purpose of the excavation or dredging? excavation of stormwater pond, roads, installation of water/storm sewer lines
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.
Excavated material to be re-used on site where fill is needed for construction of roads and future residential homes and driveways
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____
 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): The site includes a federally regulated wetland. Steps will be taken to avoid any wetland impact. Minor wetland impact may be needed at the area of the existing pond, (W1) and outfall stream, to provide proper stormwater management on site. A Joint Application for permit will be submitted if deemed necessary

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
If disturbance of federally regulated wetland area is involved in the future site development, excavated material from the wetland area and stream will be removed and placed outside of the wetland boundary, to be used for future grading purposes.

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____
Any proposed wetland or stream disturbance is expected to be authorized thru issuance of a Joint Application for Permit.

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: est. avg daily demand = 6,000 gpd gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: ECWA direct service area
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
Extension of public 8-inch PVC waterline thru the site, including associated valves and hydrants
- Source(s) of supply for the district: existing 8-inch public watermain along the west side of Salt Road

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: avg daily = 6000 gpd gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
domestic wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

- iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

- v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

Each proposed residential lot within the development will install their own privately owned and maintained septic system to treat domestic wastewater

- vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

- e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or 4.6+/- acres (impervious surface)
_____ Square feet or 112.8 acres (parcel size)

- ii. Describe types of new point sources. Proposed site development includes public roads with curbs, single family residences with driveways, and associated catch basin/stormwater collection system directing collected runoff to an on-site detention area.

- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

Collected stormwater runoff will be directed to an on-site detention pond with a controlled discharge to an existing culvert crossing Salt Rd. Runoff directed to Salt Rd flows in an easterly and then north/northwesterly direction

- If to surface waters, identify receiving water bodies or wetlands: _____
Beeman Creek

- Will stormwater runoff flow to adjacent properties? Yes No

- iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

- f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No

If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

Temporarily during construction with heavy equipment and delivery vehicles

- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

Temporarily during construction using portable generators

- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

- g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

- ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
 Proposed public road extension, with two points of access off of Salt Road (County Rte 560)
 vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes: N/A
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____ 7 am - 5 pm
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
During construction operation hours, project site will generate noise levels above ambient due to operation of heavy equipment

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Existng site tree lines will be maintained along the west and south areas of the property

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Public roads will be equipped with street lights, installed in accordance with Town requirements

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Existing tree lines to be maintained along west and south areas of property.

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:
During construction, operation of heavy equipment will generate exhaust fumes

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes: N/A
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes: N/A
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____
 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____
 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.6+/-	7.2+/-	4.6+/-
• Forested	44.6	44.6	0.0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.0	0.0	0.0
• Agricultural (includes active orchards, field, greenhouse etc.)	65.0	0.0	65.0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.3	1.1	0.8
• Wetlands (freshwater or tidal)	44.6	44.6	0.0
• Non-vegetated (bare rock, earth or fill)	0.0	0.0	0.0
• Other Describe: green space	0.0	59.6+/-	59.6+/-

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ > 7 ft feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Ovid Silt Loam	_____	40 %
Lakemont silt loam	_____	40 %
Churchville	_____	20 %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: 20 % of site
 Poorly Drained 80 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 837-50 Classification C _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size 44.6+/- _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____
 Name - Pollutants - Uses: Ransom Creek, Upper, and tribs - Pathogens; D.O./Oxygen Demand - Recreation; Aquatic Life, Name - Pollut...

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 deer, fox, coyote, rabbit, squirrels _____
 bird species _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: ERIE014

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: Eligible property: The Light House 1844 Local Landmark, Eligible property: J.H. Magoffin House and Farm

iii. Brief description of attributes on which listing is based:
 A 2.6+/- acre area is being preserved around the structures referenced above. This 2.6 acre area is not part of the proposed development area

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): A Phase 1a/1b and Phase 2 archaeological study have been completed on the project site, with a letter

ii. Basis for identification: issued by the NYS OPRHP stating that project site is not eligible for inclusion in the NYS register of historic places

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

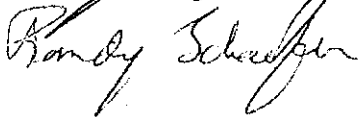
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name 5774 Salt Rd LLC (Bryan and Randy Schaefer) Date 2/29/24

Signature  Title Owners

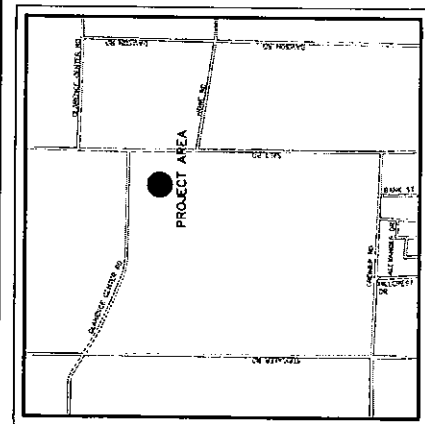
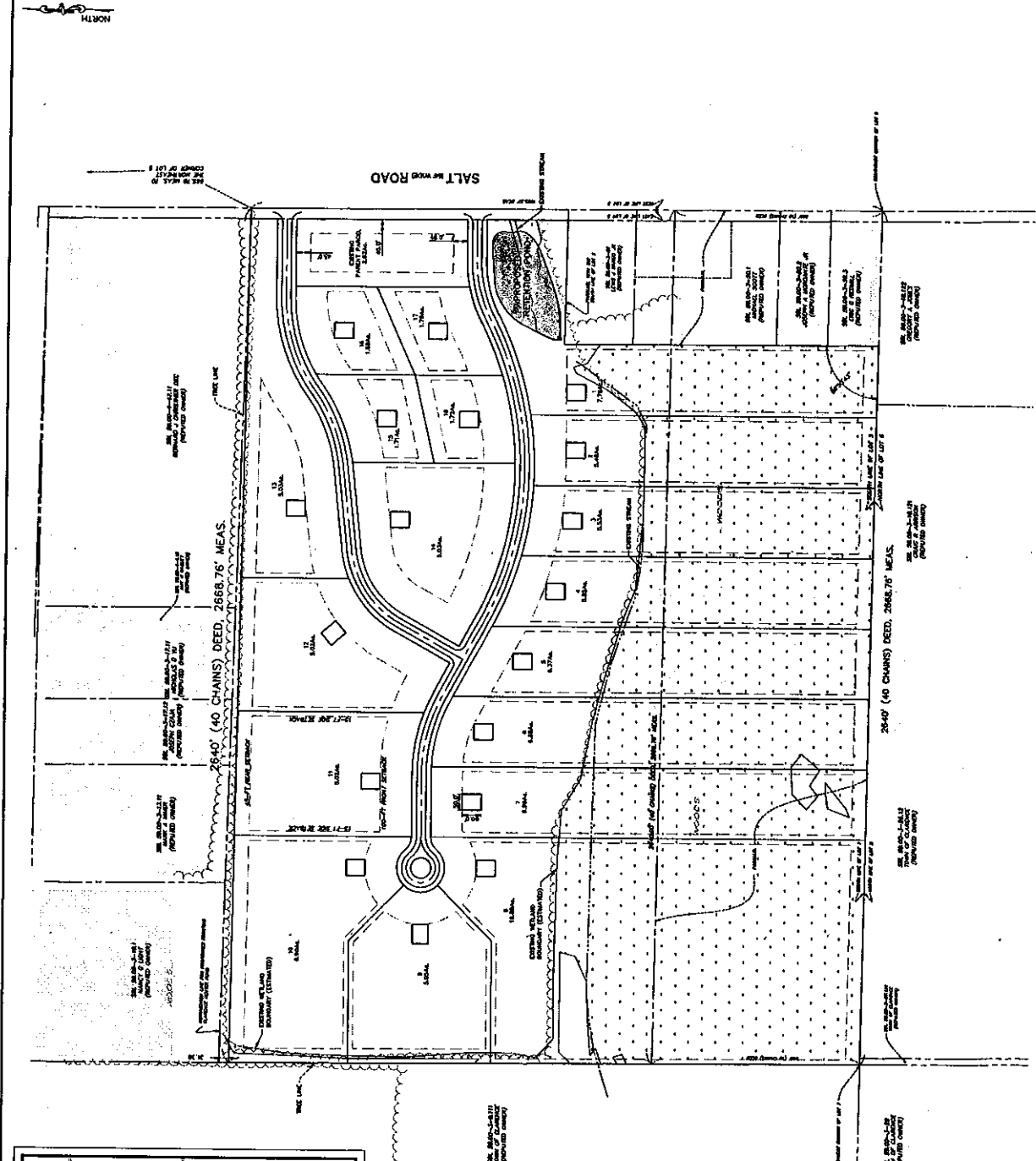


SUBDIVISION CONCEPTUAL LAYOUT PLAN

5774 SALT ROAD LLC
 SALT ROAD
 TOWN OF CLARENCE - ERIE COUNTY - NEW YORK
 CONCEPTUAL PLAN

WM SCHUTT ASSOCIATES
 37 CENTRAL AVE.
 LANCASTER, NY 14068-2143
 PH: 716-683-0188
 FAX: 716-683-0188
 WWW.WMSCHUTT.COM

DATE:	JANUARY 2020
DRAWN BY:	MEB
CHECKED BY:	MEB
DATE:	
DESIGNED BY:	
DATE:	
PROJECT NO.:	
PROJECT NAME:	
PROJECT LOCATION:	
PROJECT DESCRIPTION:	
PROJECT STATUS:	
PROJECT OWNER:	
PROJECT CONTACT:	
PROJECT PHONE:	
PROJECT FAX:	
PROJECT EMAIL:	
PROJECT WEBSITE:	
PROJECT ADDRESS:	
PROJECT CITY:	
PROJECT STATE:	
PROJECT ZIP:	
PROJECT COUNTY:	
PROJECT TOWN:	
PROJECT VILLAGE:	
PROJECT SCHOOL DISTRICT:	
PROJECT FIRE DEPARTMENT:	
PROJECT POLICE DEPARTMENT:	
PROJECT HEALTH DEPARTMENT:	
PROJECT ENVIRONMENTAL AGENCY:	
PROJECT PLANNING BOARD:	
PROJECT ZONING BOARD:	
PROJECT BOARD OF SUPERVISORS:	
PROJECT BOARD OF ESTIMATES:	
PROJECT BOARD OF HEALTH:	
PROJECT BOARD OF SOCIAL SERVICES:	
PROJECT BOARD OF TRADING:	
PROJECT BOARD OF WATER:	
PROJECT BOARD OF WORKERS COMPENSATION:	
PROJECT BOARD OF APPEALS:	
PROJECT BOARD OF TAXES:	
PROJECT BOARD OF ELECTIONS:	
PROJECT BOARD OF LAND USE:	
PROJECT BOARD OF PUBLIC WORKS:	
PROJECT BOARD OF UTILITIES:	
PROJECT BOARD OF TRANSPORTATION:	
PROJECT BOARD OF CULTURE AND RECREATION:	
PROJECT BOARD OF SENIORS:	
PROJECT BOARD OF YOUTH SERVICES:	
PROJECT BOARD OF COMMUNITY DEVELOPMENT:	
PROJECT BOARD OF ECONOMIC DEVELOPMENT:	
PROJECT BOARD OF HOUSING:	
PROJECT BOARD OF INFRASTRUCTURE:	
PROJECT BOARD OF LABOR RELATIONS:	
PROJECT BOARD OF LEGAL SERVICES:	
PROJECT BOARD OF MEDICAL SERVICES:	
PROJECT BOARD OF NURSING:	
PROJECT BOARD OF OCCUPATIONAL SAFETY AND HEALTH:	
PROJECT BOARD OF PROFESSIONAL SERVICES:	
PROJECT BOARD OF REAL ESTATE:	
PROJECT BOARD OF RETAIL:	
PROJECT BOARD OF SECURITY:	
PROJECT BOARD OF TECHNOLOGY:	
PROJECT BOARD OF TOURISM:	
PROJECT BOARD OF UTILITIES:	
PROJECT BOARD OF VETERANS SERVICES:	
PROJECT BOARD OF VOLUNTEER SERVICES:	
PROJECT BOARD OF WORKERS COMPENSATION:	
PROJECT BOARD OF YOUTH SERVICES:	



LOCATION MAP

DETAILS OF DEVELOPMENT

ZONE	USE	MINIMUM SETBACK	MINIMUM FRONT SETBACK
LOT 10	RESIDENTIAL	10'-0"	10'-0"
LOT 11	RESIDENTIAL	10'-0"	10'-0"
LOT 12	RESIDENTIAL	10'-0"	10'-0"
LOT 13	RESIDENTIAL	10'-0"	10'-0"
LOT 14	RESIDENTIAL	10'-0"	10'-0"
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LOT 97	RESIDENTIAL	10'-0"	10'-0"
LOT 98	RESIDENTIAL	10'-0"	10'-0"
LOT 99	RESIDENTIAL	10'-0"	10'-0"
LOT 100	RESIDENTIAL	10'-0"	10'-0"



PROPERTY LOCATION MAP



Clarence

Clarence Center Rd

Davison Rd

Clarence Center Rd



Iron and Stone Strength

Davison Rd



ShrubCoat



Kreher's Farm Fresh Eggs

Davison Rd



Brookfield Farms Equestrian

Salt Rd

Salt Rd

Clarence Center Rd

5774 Salt Rd,
Clarence, NY 14031



Clarence Center Rd - Clarence Center Rd



Valerie A. Heer, LMIT

Strickler Rd

Strickler Rd

Strickler Rd

Greiner Rd

Greiner Rd

Greiner Rd

Google



School

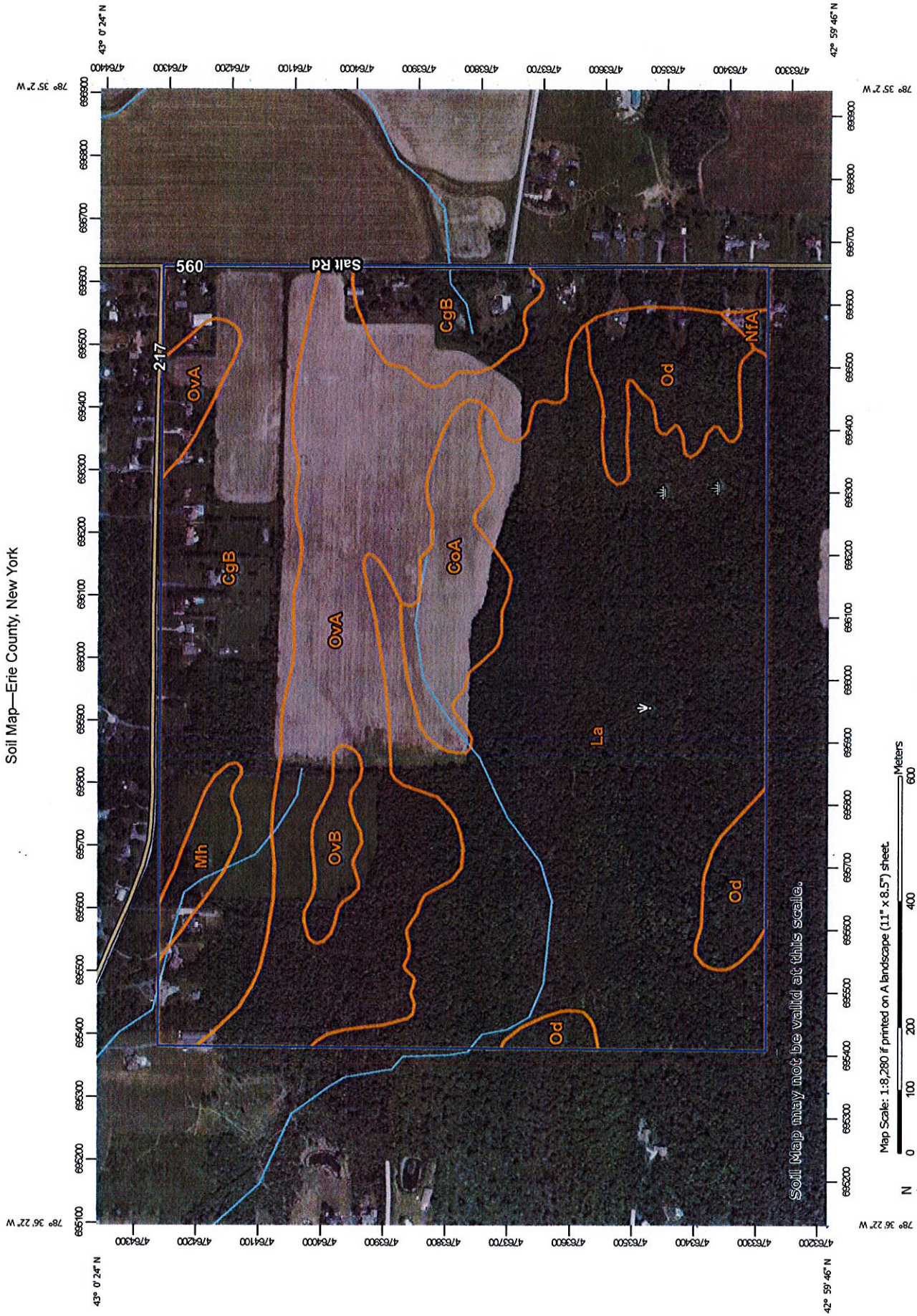


The United Methodist Church

Perry's Ice Cream Warehouse

SOILS MAP

Soil Map—Erie County, New York



Map Scale: 1:8,280 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

- Area of Interest (AOI)
 - Area of Interest (AOI)
- Soils
 - Soil Map Unit Polygons
 - Soil Map Unit Lines
 - Soil Map Unit Points
- Special Point Features
 - Blowout
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gravelly Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Perennial Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features
 - Streams and Canals
- Transportation
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background
 - Aerial Photography
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Erie County, New York
 Survey Area Data: Version 21, Aug 29, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 4, 2020—Jul 10, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CgB	Cazenovia silt loam, 3 to 8 percent slopes	63.3	20.9%
CoA	Churchville silt loam, 0 to 3 percent slopes	13.8	4.6%
La	Lakemont silt loam, 0 to 3 percent slopes	123.3	40.8%
Mh	Minco very fine sandy loam	4.4	1.5%
N/A	Niagara silt loam, 0 to 3 percent slopes	0.7	0.2%
Od	Odessa silt loam, 0 to 3 percent slopes	18.9	6.3%
OvA	Ovid silt loam, 0 to 3 percent slopes	73.6	24.3%
OvB	Ovid silt loam, 3 to 8 percent slopes	4.2	1.4%
Totals for Area of Interest		302.3	100.0%

Erie County, New York

CgB—Cazenovia silt loam, 3 to 8 percent slopes

Map Unit Setting

National map unit symbol: 9rkl
Elevation: 570 to 870 feet
Mean annual precipitation: 36 to 48 inches
Mean annual air temperature: 45 to 50 degrees F
Frost-free period: 115 to 195 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Cazenovia and similar soils: 75 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Cazenovia

Setting

Landform: Reworked lake plains, till plains
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Loamy till that contains limestone with an admixture of reddish lake-laid clays or reddish clay shale

Typical profile

H1 - 0 to 11 inches: silt loam
H2 - 11 to 32 inches: silty clay loam
H3 - 32 to 60 inches: gravelly silty clay loam

Properties and qualities

Slope: 3 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: About 24 to 48 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 15 percent
Available water supply, 0 to 60 inches: Moderate (about 8.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: C
Ecological site: F101XY013NY - Moist Till

Hydric soil rating: No

Minor Components

Lima

Percent of map unit: 5 percent

Hydric soil rating: No

Churchville

Percent of map unit: 5 percent

Hydric soil rating: No

Odessa

Percent of map unit: 5 percent

Hydric soil rating: No

Honeoye

Percent of map unit: 5 percent

Hydric soil rating: No

Ovid

Percent of map unit: 5 percent

Hydric soil rating: No

Data Source Information

Soil Survey Area: Erie County, New York

Survey Area Data: Version 21, Aug 29, 2021

Erie County, New York

La—Lakemont silt loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2spjx
Elevation: 260 to 1,210 feet
Mean annual precipitation: 31 to 57 inches
Mean annual air temperature: 41 to 50 degrees F
Frost-free period: 100 to 190 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Lakemont and similar soils: 85 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Lakemont

Setting

Landform: Depressions
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Tread
Down-slope shape: Concave
Across-slope shape: Concave
Parent material: Red clayey glaciolacustrine deposits derived from calcareous shale

Typical profile

Ap - 0 to 9 inches: silt loam
Eg - 9 to 13 inches: silty clay loam
Btg1 - 13 to 18 inches: silty clay
Btg2 - 18 to 29 inches: silty clay
C - 29 to 79 inches: silty clay loam

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Poorly drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.14 in/hr)
Depth to water table: About 0 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 25 percent
Available water supply, 0 to 60 inches: High (about 10.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: D
Ecological site: F101XY010NY - Wet Lake Plain Depression
Hydric soil rating: Yes

Minor Components

Odessa

Percent of map unit: 5 percent
Landform: Lake plains
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Tread
Down-slope shape: Concave
Across-slope shape: Linear
Hydric soil rating: No

Fonda

Percent of map unit: 4 percent
Landform: Depressions
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Tread
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Canandaigua

Percent of map unit: 3 percent
Landform: Depressions
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Tread
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Barre

Percent of map unit: 2 percent
Landform: Depressions
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Base slope, tread
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Cheektowaga

Percent of map unit: 1 percent
Landform: Depressions
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Tread
Down-slope shape: Concave
Across-slope shape: Concave

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Erie County, New York
Survey Area Data: Version 21, Aug 29, 2021

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant: Bryan Schaefer 5774 Salt Road LLC	File Number: 2021-01313	Date: January 5, 2024
Attached is:		See Section below
<input type="checkbox"/>	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
<input type="checkbox"/>	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
<input type="checkbox"/>	PERMIT DENIAL WITHOUT PREJUDICE	C
<input type="checkbox"/>	PERMIT DENIAL WITH PREJUDICE	D
<input type="checkbox"/>	APPROVED JURISDICTIONAL DETERMINATION	E
<input checked="" type="checkbox"/>	PRELIMINARY JURISDICTIONAL DETERMINATION	F

SECTION I

The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <https://www.usace.army.mil/Missions/Civil-Works/Regulatory-Program-and-Permits/appeals/> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C. PERMIT DENIAL WITHOUT PREJUDICE: Not appealable

You received a permit denial without prejudice because a required Federal, state, and/or local authorization and/or certification has been denied for activities which also require a Department of the Army permit before final action has been taken on the Army permit application. The permit denial without prejudice is not appealable. There is no prejudice to the right of the applicant to reinstate processing of the Army permit application if subsequent approval is received from the appropriate Federal, state, and/or local agency on a previously denied authorization and/or certification.

D: PERMIT DENIAL WITH PREJUDICE: You may appeal the permit denial

You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information for reconsideration

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice means that you accept the approved JD in its entirety and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.
- **RECONSIDERATION:** You may request that the district engineer reconsider the approved JD by submitting new information or data to the district engineer within 60 days of the date of this notice. The district will determine whether the information submitted qualifies as new information or data that justifies reconsideration of the approved JD. A reconsideration request does not initiate the appeal process. You may submit a request for appeal to the division engineer to preserve your appeal rights while the district is determining whether the submitted information qualifies for a reconsideration.

F: PRELIMINARY JURISDICTIONAL DETERMINATION: Not appealable

You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also, you may provide new information for further consideration by the Corps to reevaluate the JD.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision you may contact:

Martin Crosson
U.S. Army Corps of Engineers
478 Main St
Buffalo, NY 14202
Martin.h.crosson@usace.army.mil
716-954-9048

If you have questions regarding the appeal process, or to submit your request for appeal, you may contact:

Katherine McCafferty
Regulatory Appeals Officer
US Army Corps of Engineers
Great Lakes and Ohio River Division
550 Main Street, Room 10780
Cincinnati, Ohio 45202-3222
Phone: 513-684-2699 Fax: 513-684-2460
e-mail: katherine.a.mccafferty@usace.army.mil

SECTION II – REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. Use additional pages as necessary. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15-day notice of any site investigation and will have the opportunity to participate in all site investigations.

_____ Signature of appellant or agent.	Date:
Email address of appellant and/or agent:	Telephone number:

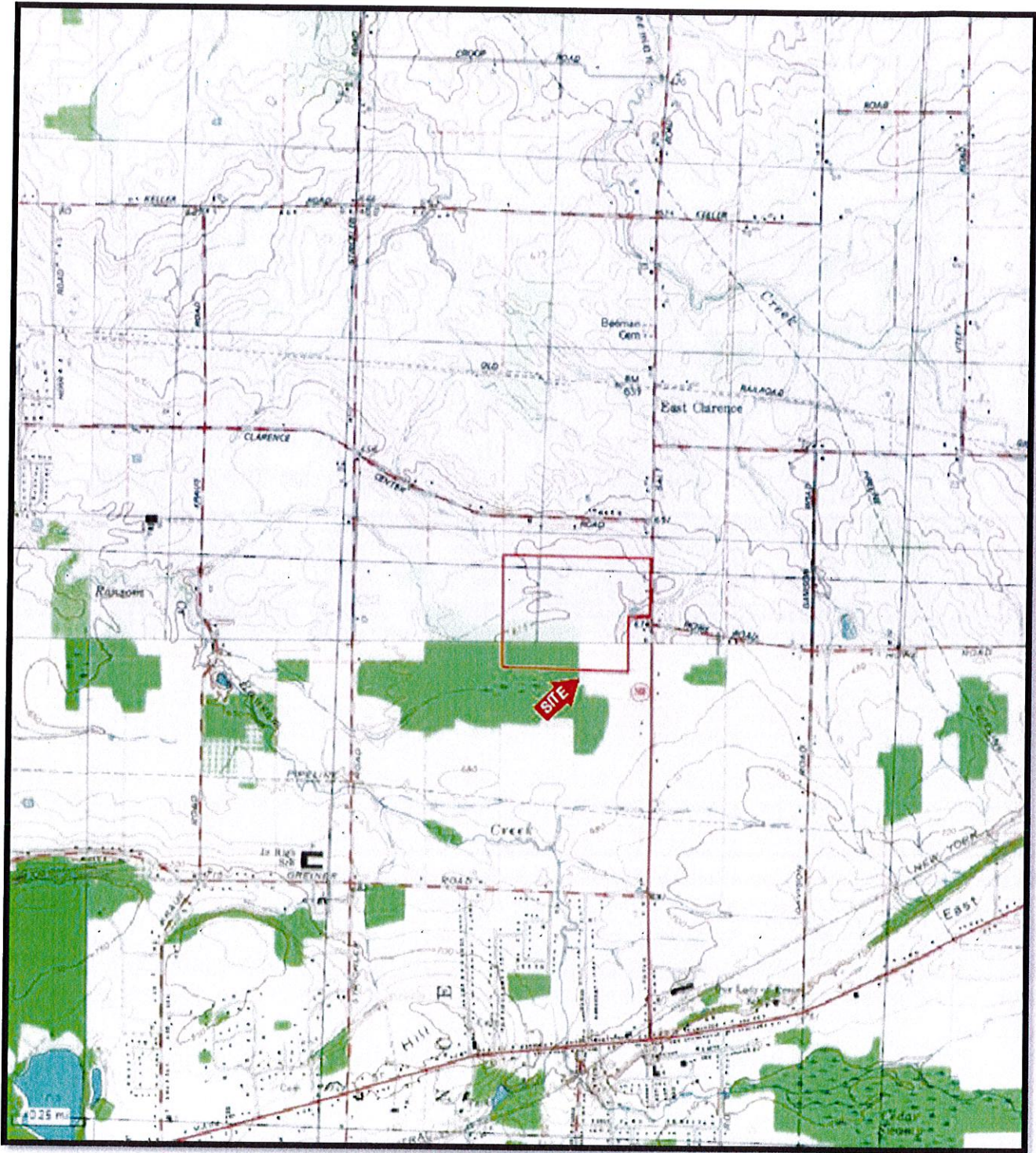


FIGURE 1: USGS 7.5 MINUTE TOPOGRAPHICAL MAP

Wolcottsville Quadrangle / U.S. Geological Survey

5774 Salt Road

Town of Clarence, Erie County, New York

Bryan Schaefer (5774 Salt Road LLC)

USACE D/A File No.: 2021-01313

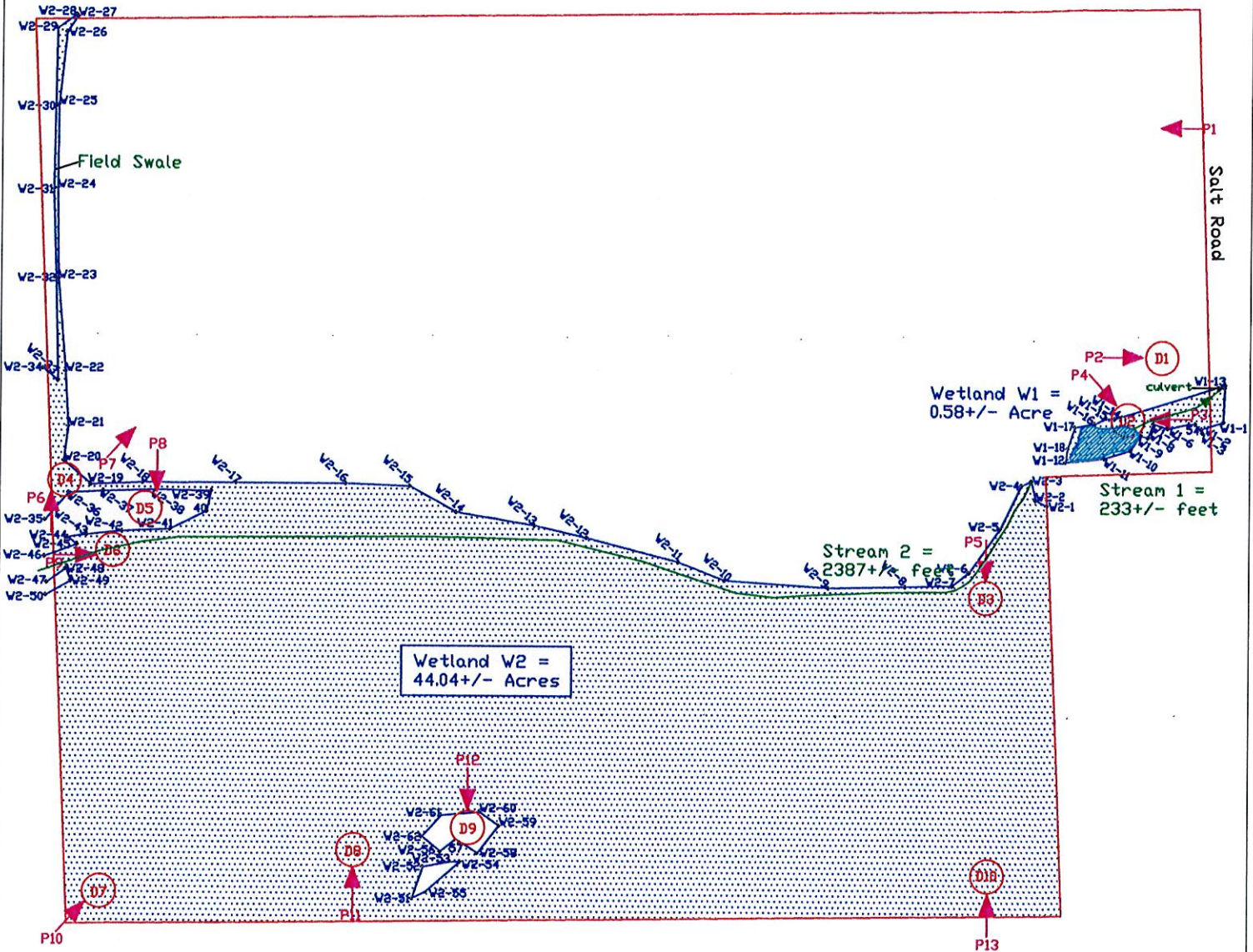
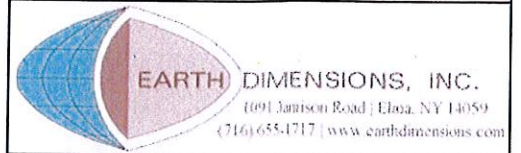
Erie County New York

Sheet 1 of 2



Figure 6 - Wetland Delineation Map

Town of Clarence Erie County, New York



5774 Salt Road
LEGEND

- Limits of Investigation
- Drainages
- Wetland Boundary Flag
- Wetland Area
- Photo Location
- Data Point Location

Scale: 0 200' 400'

Map Date: July 12, 2021/ TJS for EDI
 Revised:

Base Map Provided By: Trimble Geo 7X

File Name: Delineation map.dwg

EDI Project Code: W9F21

PRELIMINARY JURISDICTIONAL DETERMINATION (PJD) FORM

BACKGROUND INFORMATION

A. REPORT COMPLETION DATE FOR PJD: January 5, 2024

B. NAME AND ADDRESS OF PERSON REQUESTING PJD: Bryan Schaefer, 5774 Salt Road, LLC., P.O. Box 471, Clarence Center, New York 14032

C. DISTRICT OFFICE, FILE NAME, AND NUMBER: Buffalo District, Bryan Schaefer (5774 Salt Road LLC) USACE Project No.: 2021-01313

**D. PROJECT LOCATION(S) AND BACKGROUND INFORMATION:
(USE THE TABLE BELOW TO DOCUMENT MULTIPLE AQUATIC RESOURCES AND/OR
AQUATIC RESOURCES AT DIFFERENT SITES)**

State: New York County: Eire County City: Clarence

Center coordinates of site (lat/long in degree decimal format):

Lat.: 43.00004° Long.: -78.59261°

Universal Transverse Mercator: 17

Name of nearest waterbody: unnamed tributary to Ransom Creek

E. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):

(x) Office (Desk) Determination. Date: January 5, 2024

(x) Field Determination. Date(s): May 13, 2022

TABLE OF AQUATIC RESOURCES IN REVIEW AREA WHICH "MAY BE" SUBJECT TO REGULATORY JURISDICTION.

Site number	Latitude (decimal degrees)	Longitude (decimal degrees)	Estimated amount of aquatic resource in review area	Type of aquatic resource	Geographic authority to which the aquatic resource may be regulated
Stream 1	43.0017°N 43.0019°N	-78.5884°W -78.5875°W	223 linear feet	Intermittent Tributary	404 of CWA
Stream 2	43.0014°N 43.0012°N	-78.5973°W -78.5894°W	2378 linear feet	Intermittent Tributary	404 of CWA
Wetland 1	43.00164°N	-78.58836°W	0.58 acres	Palustrine Forested-Open Water	404 of CWA
Wetland 2	43.99991°N	-78.59286°W	44.04 acres	Palustrine Forested	404 of CWA
Pond 1	43.0016°N	-78.5886°W	0.19 acres	Palustrine Open Water	404 of CWA

- 1) The Corps of Engineers believes that there may be jurisdictional aquatic resources in the review area, and the requestor of this PJD is hereby advised of his or her option to request and obtain an approved JD (AJD) for that review area based on an informed decision after having discussed the various types of JDs and their characteristics and circumstances when they may be appropriate.
- 2) In any circumstance where a permit applicant obtains an individual permit, or a Nationwide General Permit (NWP) or other general permit verification requiring "pre-construction notification" (PCN), or requests verification for a non-reporting NWP or other general permit, and the permit applicant has not requested an AJD for the activity, the permit applicant is hereby made aware that: (1) the permit applicant has elected to seek a permit authorization based on a PJD, which does not make an official determination of jurisdictional aquatic resources; (2) the applicant has the option to request an AJD before accepting the terms and conditions of the permit authorization, and that basing a permit authorization on an AJD could possibly result in less compensatory mitigation being required or different special conditions; (3) the applicant has the right to request an individual permit rather than accepting the terms and conditions of the NWP or other general permit authorization; (4) the applicant can accept a permit authorization and thereby agree to comply with all the terms and conditions of that permit, including whatever mitigation requirements the Corps has determined to be necessary; (5) undertaking any activity in reliance upon the subject permit authorization without requesting an AJD constitutes the applicant's acceptance of the use of the PJD; (6) accepting a permit authorization (e.g., signing a proffered individual permit) or undertaking any activity in reliance on any form of Corps permit authorization based on a PJD constitutes agreement that all aquatic resources in the review area affected in any way by that activity will be treated as jurisdictional, and waives any challenge to such jurisdiction in any administrative or judicial compliance or enforcement action, or in any administrative appeal or in any Federal court; and (7) whether the applicant elects to use either an AJD or a PJD, the JD will be processed as soon as practicable. Further, an AJD, a proffered individual permit (and all terms and conditions contained therein), or individual permit denial can be administratively appealed pursuant to 33 C.F.R. Part 331. If, during an administrative appeal, it becomes appropriate to make an official determination whether geographic jurisdiction exists over aquatic resources in the review area, or to provide an official delineation of jurisdictional aquatic resources in the review area, the Corps will provide an AJD to accomplish that result, as soon as is practicable. This PJD finds that there "may be" waters of the U.S. and/or that there "may be" navigable waters of the U.S. on the subject review area, and identifies all aquatic features in the review area that could be affected by the proposed activity, based on the following information:

SUPPORTING DATA. Data reviewed for PJD (check all that apply)

Checked items should be included in subject file. Appropriately reference sources below where indicated for all checked items:

- (X) Maps, plans, plots or plat submitted by or on behalf of the PJD requestor:
Map: Earth Dimensions Inc., Delineation Report dated July 13, 202.
- (X) Data sheets prepared/submitted by or on behalf of the PJD requestor.
 - (X) Office concurs with data sheets/delineation report.
 - () Office does not concur with data sheets/delineation report.
Rationale: _____
- () Data sheets prepared by the Corps: _____
- () Corps navigable waters' study:
- () U.S. Geological Survey Hydrologic Atlas: _____
 - () USGS NHD data.
 - () USGS 8 and 12 digit HUC maps.
- (X) U.S. Geological Survey map(s): Esri, Earthstar Geographics GIS; Wolcottsville Quad 7.5.
- (X) Natural Resources Conservation Service Soil Survey.
Citation: NRCS Web Soil Survey, Erie County.
- (X) National wetlands inventory map(s): Esri, Earthstar Geographics GIS, FWS Wetlands Data Mapper.
- () State/local wetland inventory map(s): _____
- () FEMA/FIRM maps: _____
- () 100-year Floodplain Elevation is: _____. (National Geodetic Vertical Datum of 1929)
- (X) Photographs:
 - (X) Aerial (Name & Date): Google Earth Pro years spanning 1985 to 2022
 - () Other (Name & Date): _____
- () Previous determination(s). File no. and date of response letter: _____
- (X) Other information (please specify): All supporting references contained in the wetland delineation report have been reviewed, and are made part of the administrative record of decision.

IMPORTANT NOTE: The information recorded on this form has not necessarily been verified by the Corps and should not be relied upon for later jurisdictional determinations.

Martin Crosson 1/5/2024

Signature and date of
Regulatory staff member
completing PJD

Signature and date of
person requesting PJD
(REQUIRED, unless obtaining
the signature is impracticable)¹

¹ Districts may establish timeframes for requestor to return signed PJD forms. If the requestor does not respond within the established time frame, the district may presume concurrence and no additional follow up is necessary prior to finalizing an action.

FEMA FLOODPLAIN MAP

National Flood Hazard Layer FIRMette



78°35'48"W 43°0'25"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

78°35'11"W 42°59'59"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) *Zone A, V, A99*
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with draining areas of less than one square mile *Zone 2*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS

- NO SCREEN *Zone X*
- Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone X*

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/26/2021 at 10:34 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

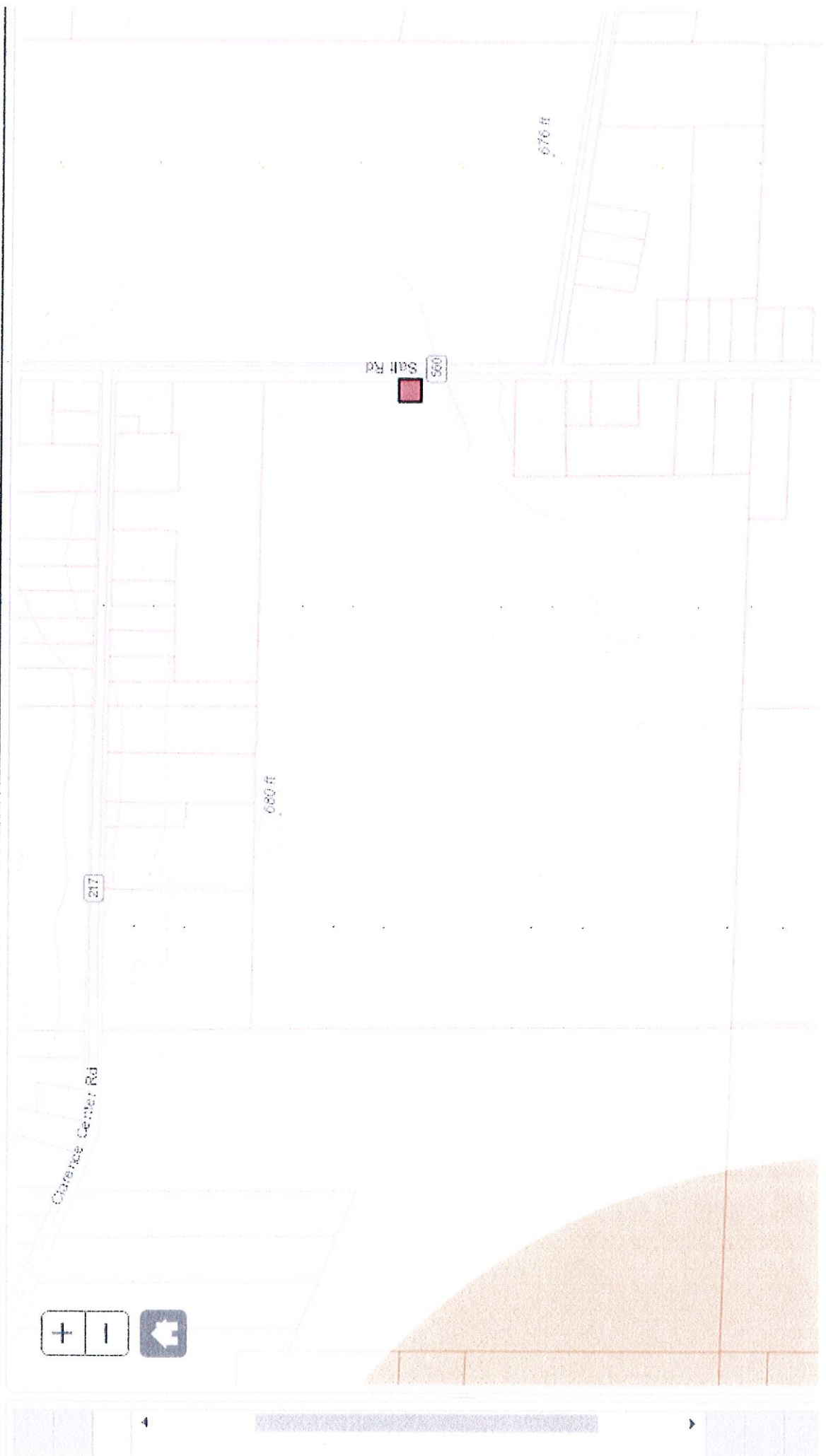
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

NYSDEC ENVIRONMENTAL RESOURCE MAP



MENTAL CONSERVATION

ice Mapper



NYS OPRHP LETTER OF NO HISTORICAL SIGNIFICANCE



**New York State
Parks, Recreation and
Historic Preservation**

KATHY HOCHUL
Governor

ERIK KULLESEID
Commissioner

February 12, 2024

Patricia Bittar
Wm. Schutt Associates
37 Central Avenue
Lancaster, NY 14086

Re: DEC
~112 Acre Residential Subdivision Development Project
5774 Salt Rd SBL #59.00-3-18.112, Clarence, Erie County, NY
21PR06137

Dear Patricia Bittar:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the submitted materials in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impact to New York State Parkland that may be involved in or near your project.

The OPRHP has reviewed the revised Phase II Archaeological Survey Report submitted to our office January 10, 2024. We are satisfied with the report revisions. Based on the survey's findings, it is the opinion of the OPRHP that the Salt Road 1 Indigenous Site (UB 4507, USN 02907.000678), the Salt Road 2 Indigenous Site (UB 4508, USN 02907.000679), and the Salt Road 3 Multicomponent Site (UB 4509, USN 02907.000680) are Not Eligible for inclusion on the New York State and National Registers of Historic Places (S/NRHP). No further archaeological work is recommended for the archaeological sites.

Please note that these comments pertain only to archaeological resources. Please continue to consult with Derek Rohde in the Technical Preservation Services Unit at Derek.Rohde@parks.ny.gov. If you have any questions concerning archaeology, I can be reached at Sydney.Snyder@parks.ny.gov.

Sincerely,

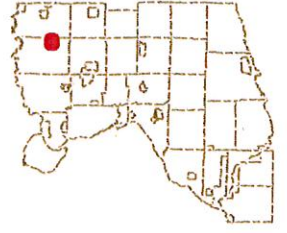
Sydney Snyder
Scientist - Archaeology

ECWA HYDRANT FLOW TEST DATA

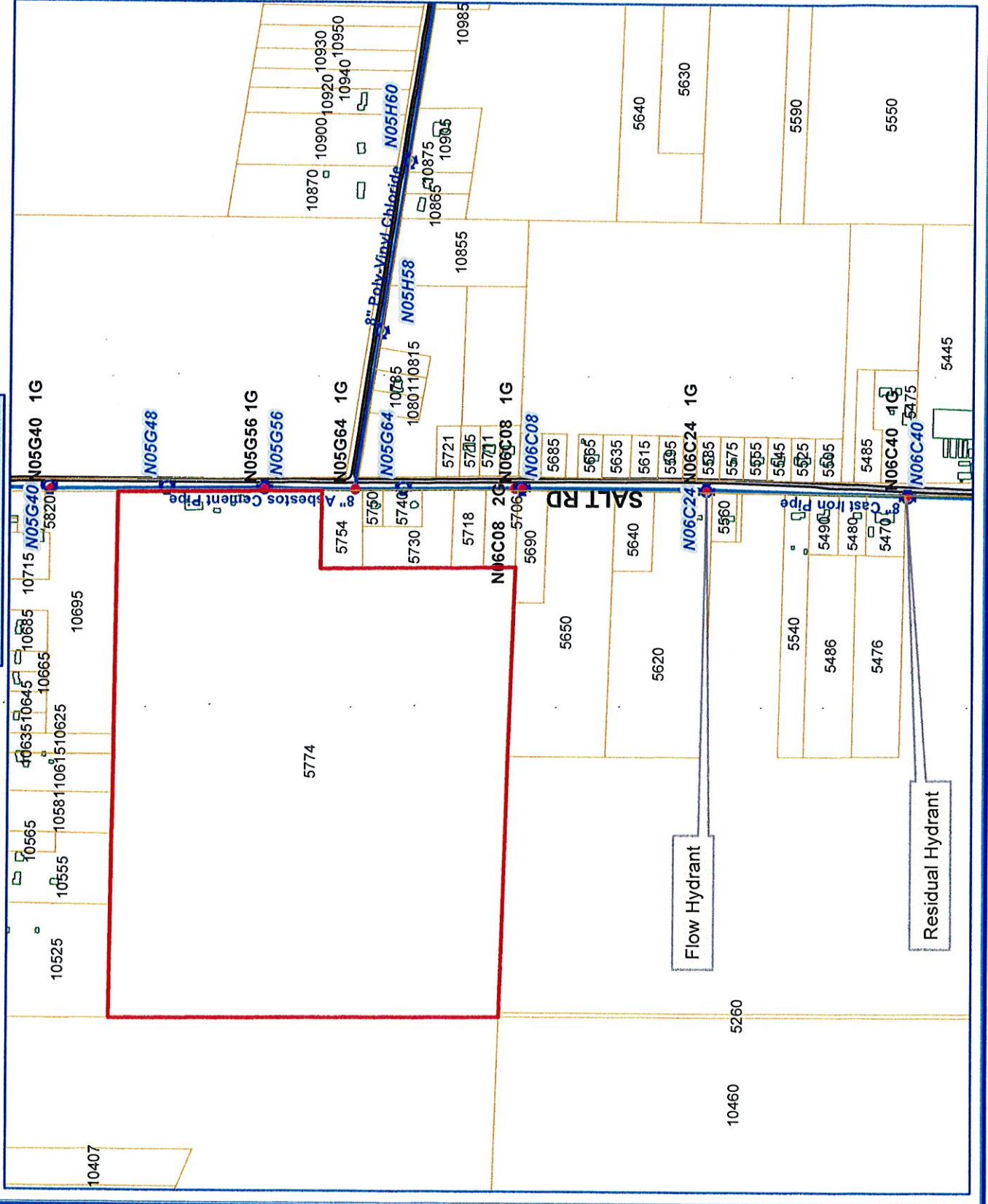
5774 Salt Rd., CLTN



1 inch = 700 feet



Legend:



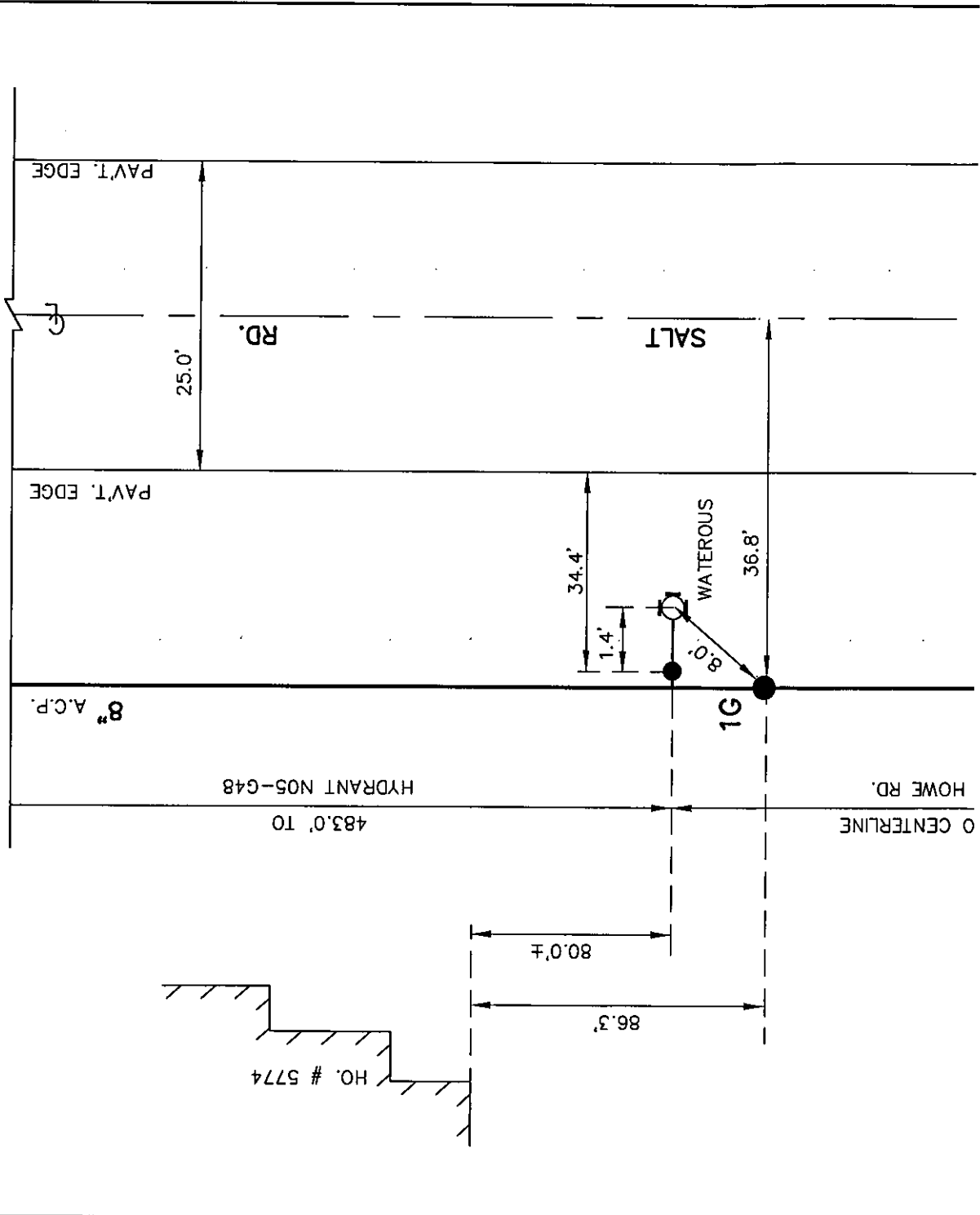
ERIC COUNTY
WATER AUTHORITY
 BUFFALO, NEW YORK

ERIC COUNTY
WATER AUTHORITY
 BUFFALO, NEW YORK

ERIC COUNTY
 WATER AUTHORITY
 BUFFALO, NEW YORK

ERIC COUNTY
 WATER AUTHORITY
 BUFFALO, NEW YORK

ERIC COUNTY
 WATER AUTHORITY
 BUFFALO, NEW YORK



DRAWN BY: D.K.C. DATE: 12/2/99	REVISED DR. R.B.B.	TOWN OF CLARENCE E.C.W.A.	N05-G56 DETAIL SHT. NO. 199900249 CURRENT PROJECT NO.
	FIELD		

Hydrant Flow Test

Print Date: 8/17/2021

Residual Hydrant: N06C40 Test Date/Time: 10/21/2020 15:00

Location.....: 5470 SALT RD
TOWN OF CLARENCE

4TH HYD S/O HOWE RD

Size of Main/Branch: 8"/6" Fire District: 32020 CLARENCE FIRE DIST Water District: 189 ECWA AREA IN CLARENCE

Performed By: DWP/MES Comments: HYDRANT FLOW TEST REQUESTED BY THOMAS YAGER, ISO
EMAIL: TYAGER@ISO.COM

CW #51856

Discharge Coef: 090 Elvtn Usqs(ft): Static(psi): 117 Residual(psi): 83 Required Residual Pressure(psi): 20
Gallons Used...: 4,080 Total Flow(gpm): 1,363 Flow at Reqd Resid Pressure: 2,401

Flow Hydrants:

Flow Hyd Location	Main/Branch	Nzle Size	Pitot	Flow	Comments
N06 C24	5620 SALT RD	8"/6"	1: 2.50	66.0	1,363
	3RD HYD S/O HOWE RD		2:		
			3:		
				Total Flow:	1,363

Erie County, New York

OvA—Ovid silt loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 9rp0
Elevation: 250 to 1,000 feet
Mean annual precipitation: 36 to 48 inches
Mean annual air temperature: 45 to 50 degrees F
Frost-free period: 115 to 195 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Ovid and similar soils: 75 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Ovid

Setting

Landform: Reworked lake plains, till plains
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Concave
Across-slope shape: Linear
Parent material: Loamy till with a significant component of reddish shale or reddish glaciolacustrine clays, mixed with limestone and some sandstone

Typical profile

H1 - 0 to 10 inches: silt loam
H2 - 10 to 20 inches: clay loam
H3 - 20 to 60 inches: gravelly loam

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: About 6 to 24 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 15 percent
Available water supply, 0 to 60 inches: Moderate (about 8.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3w
Hydrologic Soil Group: C/D

Ecological site: F101XY013NY - Moist Till
Hydric soil rating: No

Minor Components

Unnamed soils

Percent of map unit: 5 percent
Hydric soil rating: No

Ilion

Percent of map unit: 5 percent
Landform: Depressions
Hydric soil rating: Yes

Appleton

Percent of map unit: 5 percent
Hydric soil rating: No

Kendaia

Percent of map unit: 5 percent
Hydric soil rating: No

Churchville

Percent of map unit: 5 percent
Hydric soil rating: No

Data Source Information

Soil Survey Area: Erie County, New York
Survey Area Data: Version 21, Aug 29, 2021

ACOE PRELIMINARY JURISDICTION DETERMINATION



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS BUFFALO DISTRICT
478 MAIN STREET
BUFFALO, NY 14202-3278

January 5, 2024

Regulatory Branch

SUBJECT: Preliminary Jurisdictional Determination for Department of the Army Application
No.: 2021-01313

Bryan Schaefer
5774 Salt Road LLC
P.O. Box 471
Clarence Center, NY 14032

Dear Mr. Schaefer:

I have reviewed the aquatic resource delineation Earth Dimensions Inc. submitted on your behalf for your request for a jurisdictional determination (JD) for the approximately 112.07 acre parcel located at 5774 Salt Road, in the Town of Clarence, Erie County, New York.

I have evaluated your submitted aquatic resource delineation report and have determined that the aquatic resource boundaries shown on the map accurately represent on-site conditions. Please note that this is a preliminary JD. Preliminary JDs are non-binding written indications that there may be waters of the United States (WOUS) on your parcel and approximate locations of those waters. Preliminary JDs may not be appealed.

Pursuant to Regulatory Guidance Letter 16-01, any permit application made in reliance on this preliminary JD will be evaluated as though all aquatic resources on the site are regulated by the Corps. Further, all aquatic resources will be used for purposes of assessing the extent of project related impacts and compensatory mitigation.

I have enclosed the preliminary JD Form with this letter. The form and attached table identify the extent of aquatic resources on the site and specific terms and conditions of the preliminary JD. Please sign and return a copy of this form to my attention so that I may complete my evaluation of your file. If you do not respond within 15 days, I will presume concurrence and no additional follow-up is necessary prior to finalizing this action.

In accordance with Regulatory Guidance Letter 05-02, "Preliminary jurisdictional determinations are not definitive determinations of areas within regulatory jurisdiction and do not have expirations dates." However, I strongly recommend that the boundaries of all aquatic resources on the parcel be re-evaluated by a qualified wetland biologist after five years of the date of this letter. This will ensure that any changes are appropriately identified and you do not inadvertently incur a violation of Federal law while constructing your project or working on your project site.

Regulatory Branch

SUBJECT: Preliminary Jurisdictional Determination for Department of the Army Application
No.: 2021-01313

In addition, under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403), a permit is required for any structure or work that takes placed in, under, or over a navigable water, or wetlands adjacent to navigable waters of the United States (WOUS). Under Section 404 of the Clean Water Act (CWA), the U.S. Army Corps of Engineers regulates the discharge of dredged or fill material into WOUS, including freshwater wetlands. Certain types of excavation activities are defined as discharges of dredged material when they occur in WOUS. For instance, land clearing using mechanized equipment, ditching, channelization and other types of excavation when performed in such waters, including wetlands, would likely be regulated under Section 404 of the CWA.

Questions pertaining to this matter should be directed to me at 716-954-9048, by writing to the following address: U.S. Army Corps of Engineers, 478 Main Street, Buffalo, New York, 14202, or by e-mail at: martin.h.crosson@usace.army.mil.

Sincerely,

Martin Crosson 1/5/2024

Martin Crosson
Biologist

CLARENCE CENTER ROAD

SALT ROAD



BOUNDARY SURVEY
5752 SALT ROAD

PART OF LOTS 5, 4, 7 SECTION 3
 TOWNSHIP 12 RANGE 6
 TOWN OF CLARENCE
 COUNTY OF ERIE
 STATE OF NEW YORK

Hessbaum & Co., Inc.
 3554 Lake Shore Road
 Buffalo, New York 14219-1484
 (716) 857-9000
 www.hessbaum.com

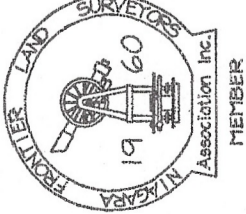
DRAWN BY: H.L.E.
 DATE: 7-06-04
 SCALE: 1" = 100'

REV. NO. _____ OF _____

NOTE: THIS SURVEY WAS PREPARED BY THE SURVEYOR OR HIS ASSISTANT AND THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS SURVEY. THIS SURVEY IS BASED ON THE RECORDS OF THE SURVEYOR AND THE SURVEYOR HAS NO KNOWLEDGE OF ANY ADVERSE CLAIMS OR INTERESTS IN THIS SURVEY.

FOR INFORMATION OF THE GRANTEE, THE GRANTEE IS ADVISED THAT THIS SURVEY IS NOT A GUARANTEE OF TITLE OR OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

CONTRACT NO. 03-02-0000000000000000



Application for Demolition

Property Address:
5774 Salt Road

Current Ownership:
5774 Salt Road, LLC

Applicant:
Bryan Schaefer

Historical Resources Survey:
Zoned:
Land Assessed Value:
Total Assessed Value:
Date of Original Construction:
Square feet Living Area:
Stories:
Number of bedrooms:
Number of baths:

Significant
Agricultural Rural Residential
\$ 862,600
\$ 912,600
1880 - Assessor Records
3,743
2
5
1



March 28, 2024

5774 Salt Road, LLC
PO Box 471
Clarence Center, New York 14032

Attn: Mr. Bryan Schaefer

Subject: **Structural Appraisal**
5774 Salt Road, Clarence, New York
GGEA 24-1030

Dear Mr. Schaefer:

Glynn Group Engineering & Architecture, PLLC (GGEA) performed a site visit to the property at 5774 Salt Road in the Town of Clarence, New York on March 8, 2024 to examine the condition of existing structures (house, barn, shed/garage, silo, milkhouse) and identify defects, integrity and safety concerns. This structural appraisal has been prepared to address the stability of each structure in the current condition and to provide recommendations for remediation or demolition.

PROJECT HISTORY

The property encompasses a total area of approximately 112 acres and is identified as SBL #59.00-3-18.112. The property is located on the west side of Salt Road approximately 0.23 miles south of Clarence Center Road and includes a total of five (5) structures, consisting of a house, barn, shed/garage, silo and milkhouse. The house was constructed in three phases, with the initial (south) portion constructed in the early 1800s sometime between 1820 and 1837. Two additions were constructed sometime thereafter. The oldest available historical aerial photo from 1958 identifies all structures as seen today, indicating that the additions and ancillary buildings were constructed sometime prior to 1958.

FINDINGS

The south end of the house has a footprint of approximately 500 square feet and is supported by a stone and mortar crawl space foundation. This portion of the house is just a shell, with the floor deck, floor joists, second story framing, chimney and interior wall planks missing. The foundation is in poor to fair condition with deteriorated mortar observed throughout the majority of the east wall, missing stones along the south wall near the southwest corner and a collapsed portion of the west wall. The roof shingles are in poor condition and covered by moss throughout approximately 90 % of the surface area. A significant portion of the exterior wood siding is missing beneath the second story windows on the east side of the house exposing daylight.

The center of the house has a footprint of approximately 500 square feet and is supported by a stone and mortar basement foundation. The majority of the first floor framing and deck are intact, however a portion of the floor has collapsed at the south end. The second floor is missing, the chimney has partially collapsed, siding is missing at several locations and some interior wall planks are missing. The stone and mortar

foundation has deteriorated mortar at several locations and missing stones at two locations, with a partial collapse along the south wall.

The north end of the house has a footprint of approximately 1,400 square feet and is supported by a CMU block basement foundation. The rear basement wall has collapsed and is no longer carrying the west end of the floor system steel support beams, resulting in the west end of the steel beams resting on the ground and the east end of the steel beams punching through the CMU. As a result, the floor system is compromised and unsafe. Also, much of the floor system is rotted and exhibits multiple improperly sistered floor joists and beam connections. The north entrance vestibule has settled considerably and the wall/roof framing at the north east corner of the house is sagging. The chimney has collapsed and the roof shingles are deteriorated and covered in moss.

The barn is leaning to the east and is prevented from racking by steel cables that span the interior from east to west at the base of the gable roof, some of which have detached and are laying on the ground. Interior wood columns are rotted at the connection to the floor at several locations and portions of the wall sill plates have shifted off the concrete foundation, specifically at the southwest corner and near the east door. A recent wind storm during the winter of 2024 has collapsed the west wall at the southwest corner. It appears that several attempts have been made in the past to reinforce the structure of the barn.

The concrete foundation for the silo has deteriorated significantly along the south side. Rocks have been wedged into the voided areas to prevent collapse.

The milkhouse appears to be structurally sound, however the roof requires new shingles.

The gutter and fascia are hanging off the north east end of the garage/shed, there is a hole in the roof by the east window and the fascia and siding are missing from the west side. The roof is bowed as a result of foundation settlement and there is a significant crack in the foundation along the south side of the building.

CONCLUSION

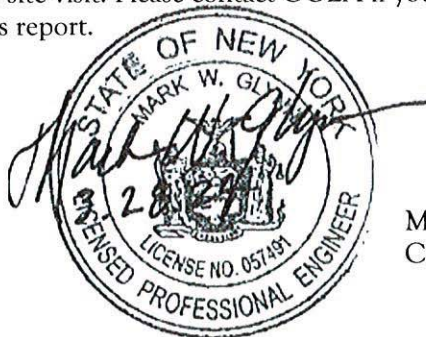
Considering the dilapidated condition of the house, barn, shed and silo, rehabilitation of the structures is impractical. The structures are unsafe in the current condition and represent a hazard to those who enter. The structures are also reportedly uninsurable due to the dilapidated state. Given the unstable condition of the structures and the history of trespassing on the property, it is GGEA's recommendation that the structures should be condemned and demolished.

This completes the structural appraisal for the property located at 5774 Salt Road in the Town of Clarence, New York. The recommendations presented in this report are based on the conditions observed during GGEA's March 8, 2024 site visit. Please contact GGEA if you should have any questions or if conditions change from those noted in this report.

Sincerely,



G. Edward Lover, P.G.
Senior Geologist
/gel



Mark W. Glynn, P.E.
Consulting Engineer, Principal



Photo 1. Overall view of house facing northeast corner.



Photo 2. Collapsed foundation and steel beams on west side of house.



Photo 3. Gutted interior with collapsed floor, middle portion and south end of house.

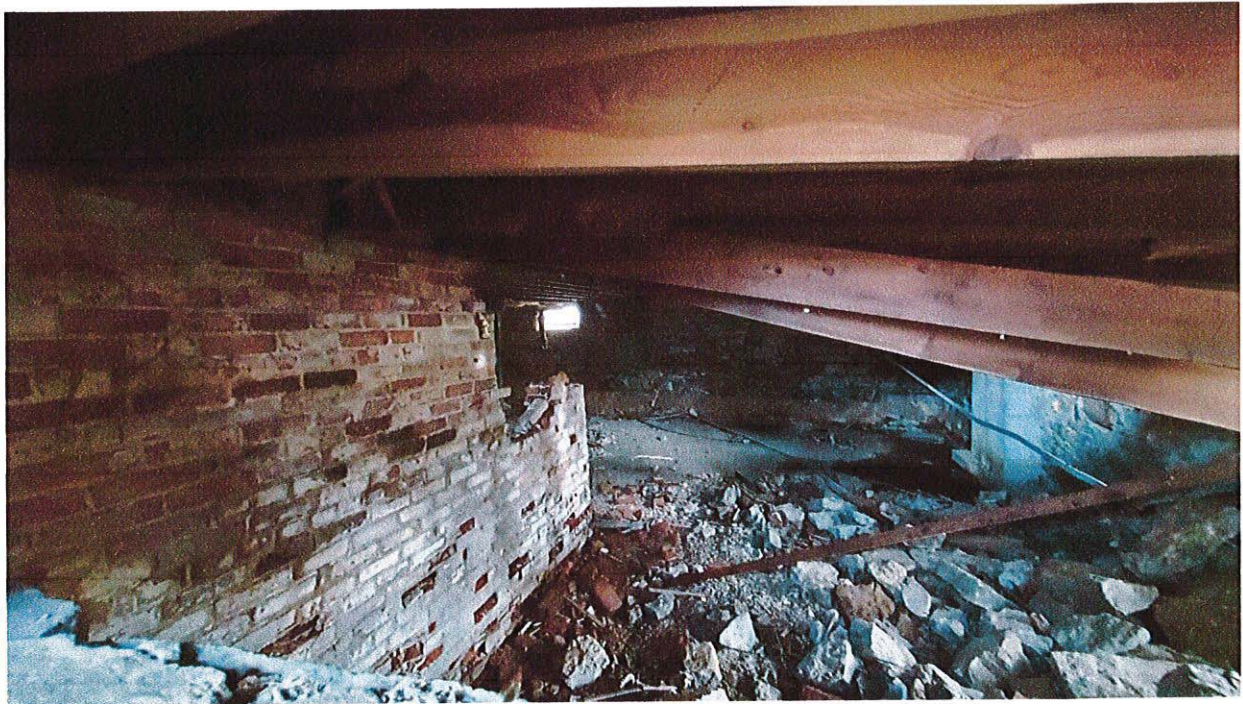


Photo 4. Deteriorated foundation beneath collapsed floor area.

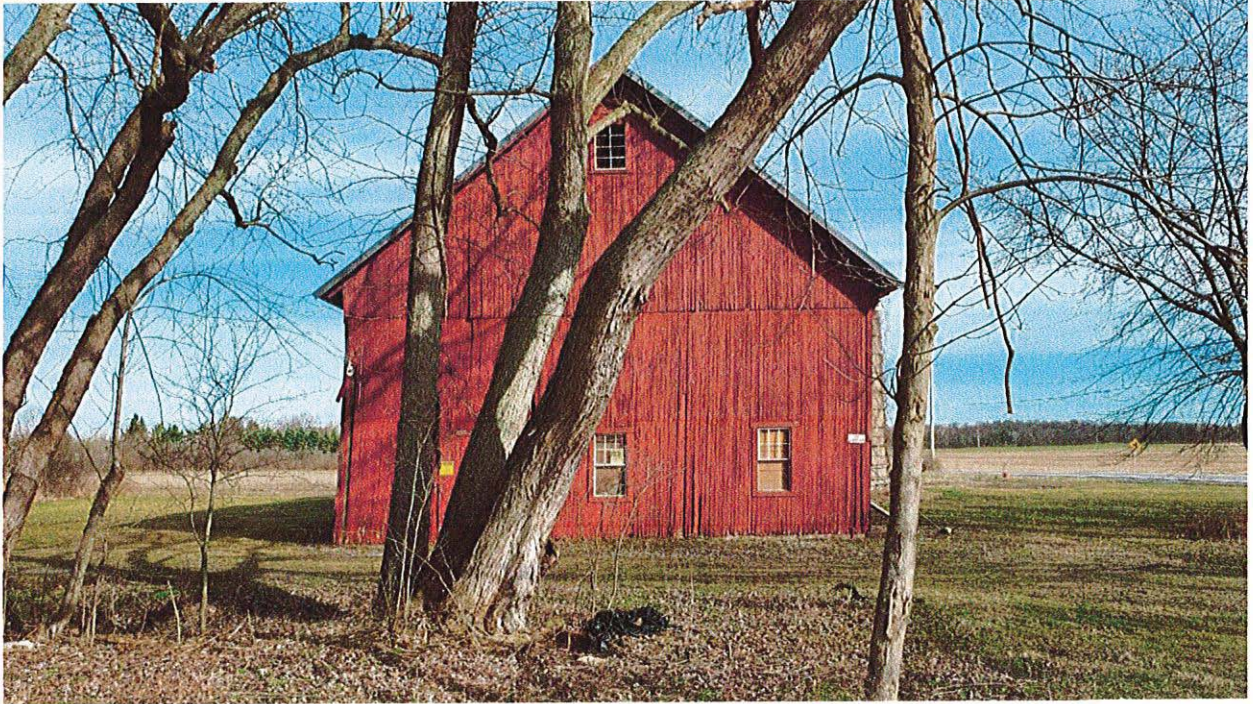


Photo 5. Overall view of barn, note lean to the east.

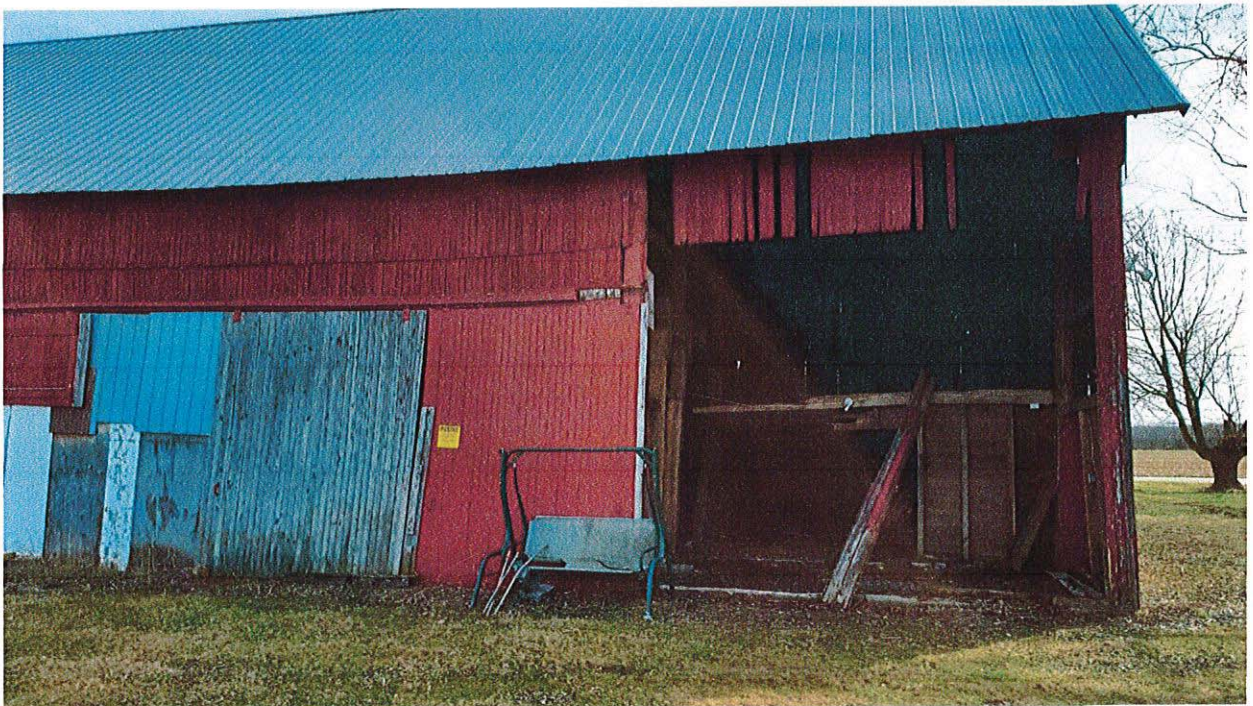


Photo 6. Missing west wall of barn from recent 2024 wind storm.



Photo 7. Interior barn wood column, rotted at base (typical).



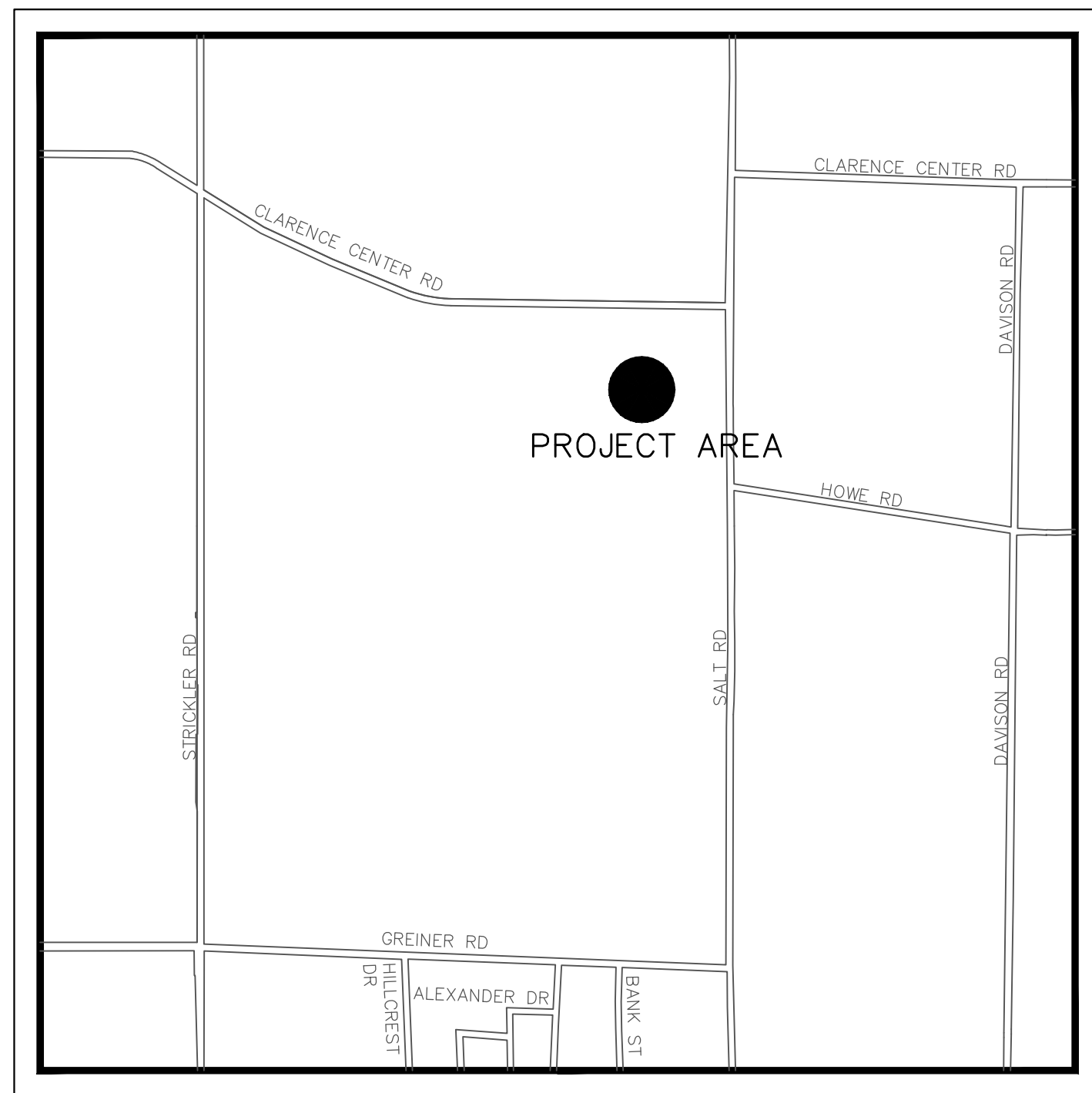
Photo 8. Barn sill plate shifted off foundation southwest corner.



Photo 9. Deteriorated silo foundation.

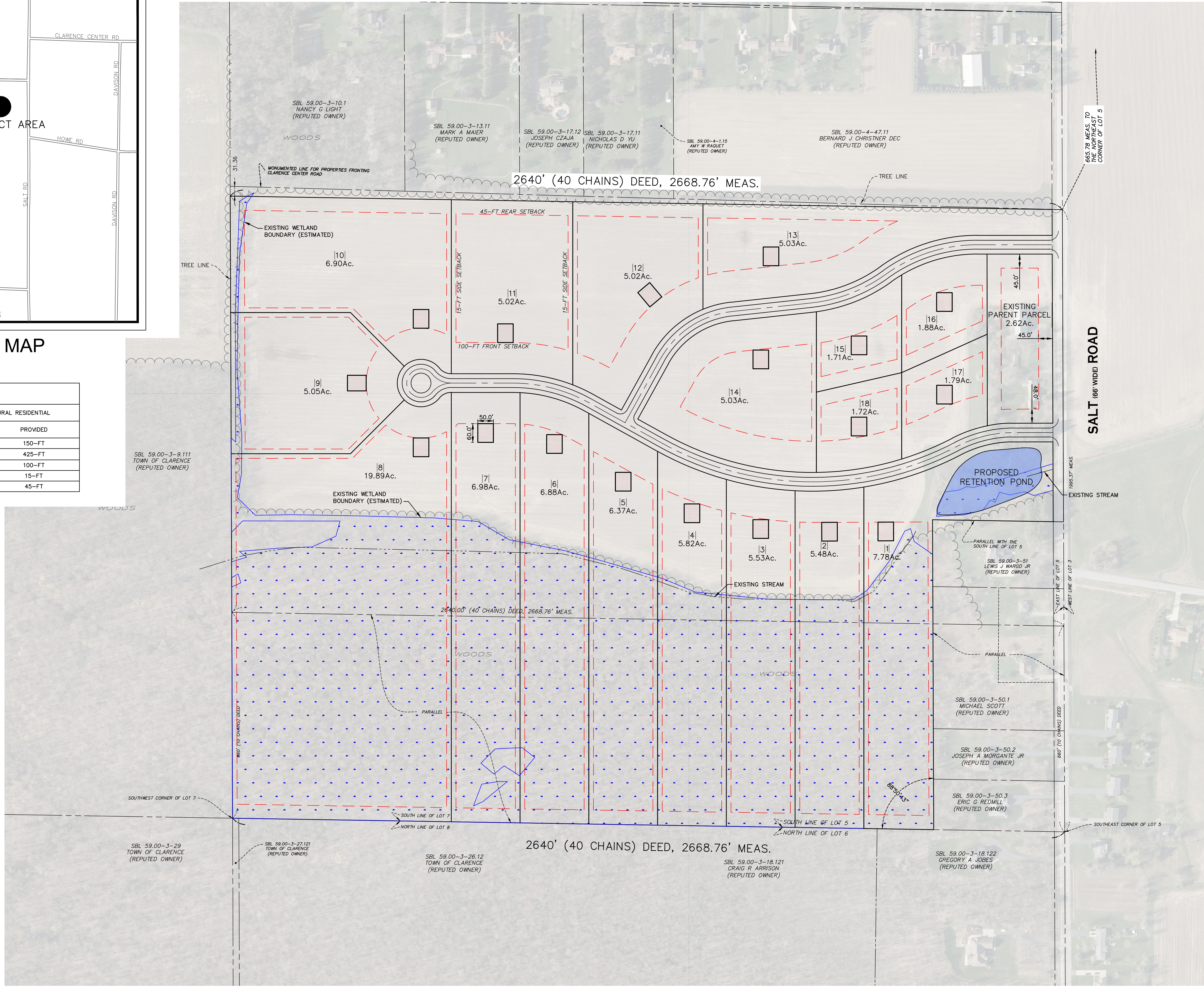


Photo 10. West Side of shed/garage with missing siding, gutters and fascia. Note foundation settlement.



LOCATION MAP
N.T.S.

DETAILS OF DEVELOPMENT		
ZONING	A-RR AGRICULTURAL RURAL RESIDENTIAL	
	MIN./MAX.	PROVIDED
LOT WIDTH	150-FT MIN.	150-FT
LOT WIDTH (CORNER)	200-FT MIN.	425-FT
FRONT YARD SETBACK	45-FT MIN.	100-FT
SIDE YARD SETBACK	15-FT MIN.	15-FT
REAR YARD SETBACK	45-FT MIN.	45-FT



DRAWING REVISIONS	
ITEM	DESCRIPTION

DESIGNED BY:	DSL
DRAWN BY:	DSL
CHECKED BY:	WES
DATE:	JANUARY 2024

WARNING: THIS DOCUMENT IS IN VIOLATION OF THE LAW EXCEPTING AS PROVIDED IN SECTION 1605-A OF THE ENVIRONMENTAL CONSERVATION LAW (ECL) AS AMENDED BY CHAPTER 2020 OF THE LAWS OF 2020. W.M. SCHUTT & ASSOCIATES P.C.

WM SCHUTT ASSOCIATES
37 CENTRAL AVE.
LANCASTER, NY 14086-2143
PH. 716-683-5961
FAX 716-683-0169
WWW.WMSCHUTT.COM

5774 SALT ROAD LLC
SALT ROAD
TOWN OF CLARENCE - ERIE COUNTY - NEW YORK
CONCEPTUAL PLAN

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

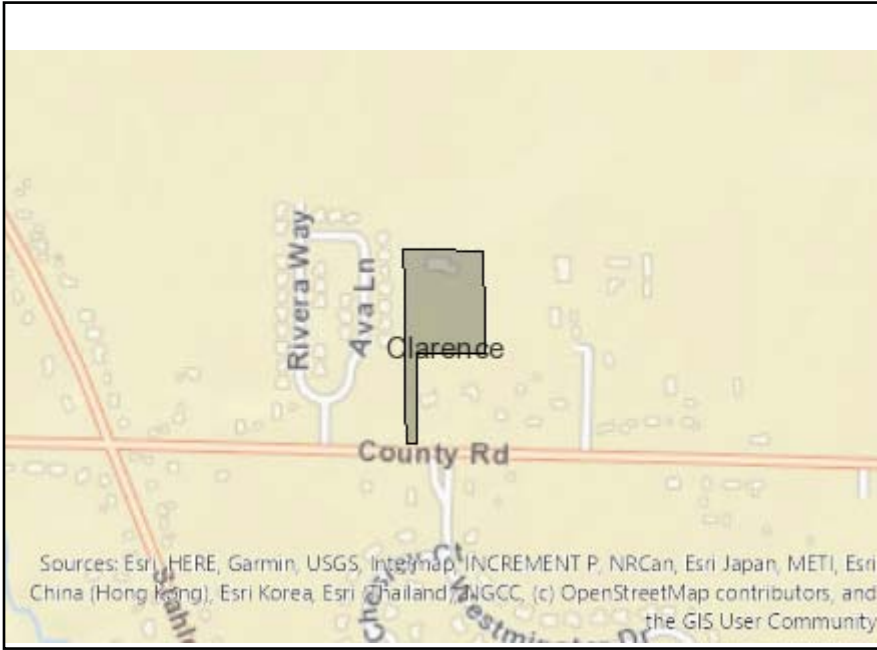
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: County Road Open Development Area			
Project Location (describe, and attach a location map): 8272 County Road, Clarence NY, SBL 29.00-2-7.12			
Brief Description of Proposed Action: The proposed action consists of the development of an open development area, minor subdivision located to accommodate one 2.0 acre single family residential building lot on an existing parent parcel of 4.05 acres. The proposed project includes all related site improvements as depicted on the project plans. The proposed action has been defined to include all required discretionary approvals and permits as well as all proposed site improvements.			
Name of Applicant or Sponsor: Henry Jurek		Telephone: (716) 472-7914	
		E-Mail:	
Address: 8272 County Road			
City/PO: East Amherst		State: NY	Zip Code: 14051
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		4.05 acres	
b. Total acreage to be physically disturbed?		0.4 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.05 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Proposed project will not impact wetlands. Proposed building location is on an existing lawn area that has been maintained. _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Henslow's Sparrow	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Stormwater will discharge to the existing pond on site and through the existing conveyance system. _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: Henry Jurek _____ Date: 2/20/24 Signature: <u>Kenneth C. Zollitsch</u> _____ Title: Project Manager		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Henslow's Sparrow
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

ENGINEER'S SUMMARY

FOR

**OPEN DEVELOPMENT AREA
COUNTY ROAD
TOWN OF CLARENCE**

Prepared for:

Jurek Builders
8272 County Road
East Amherst, New York 14051

Prepared by:

GPI

Greenman-Pedersen, Inc.
4950 Genesee Street, Suite 100
Buffalo, New York 14225

Job No. WNY-2300117.00

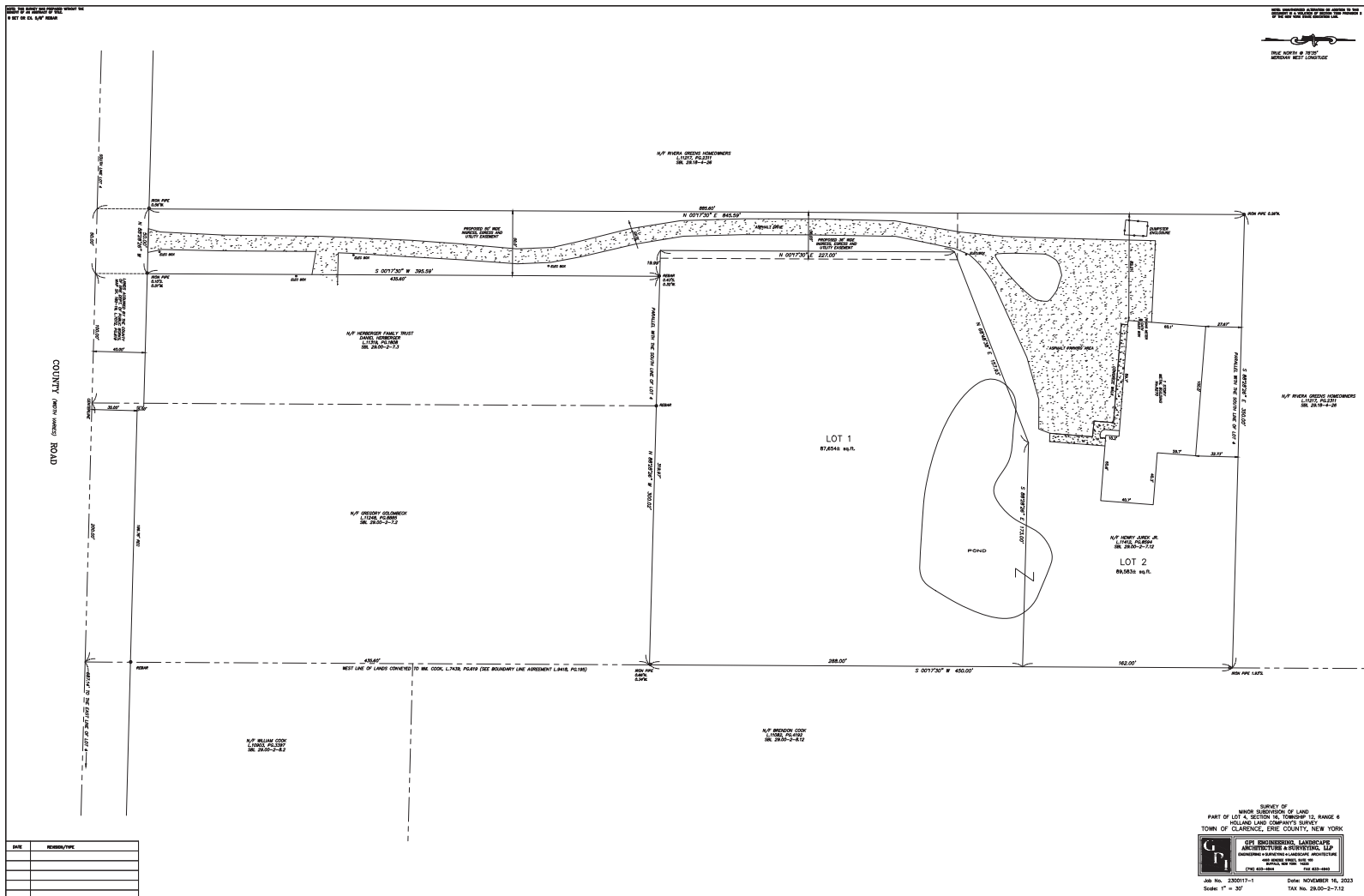
February 2024

ENGINEER'S SUMMARY

The proposed development, Open Development Area County Road, is located at 8270 County Road (SBL: 29.00-2-7.12) in the Town of Clarence in Lot 4, Township 12, Range 6 of the Buffalo Creek Reservation. The 4.06± acre lot is bounded on the north and west by land now or formerly owned by Rivera Greens Homeowners (SBL: 29.18-4-36), bounded on the east by land now or formerly owned by Brenden Cook (SBL: 29.00-2-8.12), and bounded on the south by a residential lot now or formerly owned by Herberger Family Trust (SBL: 29.00-2-7.3), a residential lot now or formerly owned by Gregory M. Golombek (SBL: 29.00-2-7.2), and the northern right-of-way of County Road.

The existing lot at 8270 County Road contains an existing one-story metal building and is now or formerly owned by Henry J. Jurek Jr. The existing one-story metal building has an existing two (2) inch copper water service which connects to the existing eight (8) inch watermain (owned and operated by Erie County Water Authority) that runs along the southern right-of-way of County Road. Runoff from existing stormwater is conveyed to the existing wet pond located along the eastern side of the property southeast of the existing building and the existing woodlands located within the site.

The proposed development consists of splitting the existing 4.06± acre lot into a 2.06± acre lot which will contain the existing one-story metal building, existing driveway, and a portion of the existing wet pond, and a 2.00± acre lot for a proposed residential home. The proposed development of the 2.00± acre lot consists of constructing the proposed residential home, the proposed driveway, all proposed utility connections, all proposed lot grading, and all erosion and sediment control procedures required during construction. Water for domestic use will be provided to the proposed home by a ¾" type 'K' copper service line which will connect to the existing two (2) inch copper service line that supplies the existing one-story metal building. Water for firefighting services will be provided by the existing hydrant located along the southern right-of-way of County Road. Sanitary sewage service will be provided to the proposed home by a proposed 625 linear foot six (6) inch polyvinyl - chloride (PVC) service lateral that runs westerly along the northern side of the proposed driveway then crosses the existing driveway to the western side of the existing driveway and runs southerly until it connects to the existing ten (10) inch polyvinyl-chloride (PVC) sanitary main (owned and operated by Erie County Sewer District No. 5) which runs along the northern right-of-way on County Road. Stormwater runoff produced by the proposed development will be directed towards the existing wet pond and towards the existing woodlands on the site which generally follows the same flow path of the existing conditions. The total disturbance from the proposed development is 0.41± acres. There is no work being proposed to the existing wet pond or the one-story metal building.



DATE	REVISION/TYPE

SURVEY OF
 PART OF LOT 4, SECTION 16, TOWNSHIP 12, RANGE 4
 HIGHLAND LANE COMPANY'S SERIES
 TOWN OF CLARENCE, ERIE COUNTY, NEW YORK

GPI
 GPI ENGINEERING, LANDSCAPE
 ARCHITECTURE & SURVEYING, LLP
 ARCHITECTURE & LANDSCAPE ARCHITECTURE
 100 WOODLAND AVENUE
 CLARENCE, NY 14939
 TEL: 607-884-8888 FAX: 607-884-8888

Job No. 2300117-1 Date: NOVEMBER 16, 2023
 Sheet: 1 of 37 TWA No. 29-00-2-712

Open Development Area County Road

Jurek Builders

8272 County Road
Clarence, New York



PROJECT LOCATION MAP
N.T.S.

Sheet List Table	
Sheet Number	Sheet Title
00	COVER SHEET
01	TOPOGRAPHIC MAP
02	SITE PLAN
03	UTILITY PLAN
04	SITE UTILITY DETAILS
05	GRADING PLAN
06	EROSION & SEDIMENT CONTROL PLAN AND DETAILS

THOMAS J. WOLANSKI, P.E.

DATE: 2/28/2024



GPI
Engineering
Design
Planning
Construction Management
(716) 633-4844 GPINET.COM
Greenman - Pedersen, Inc.
4950 Genesee Street, Suite 100
Buffalo, NY, 14225

PREPARED FOR

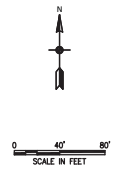
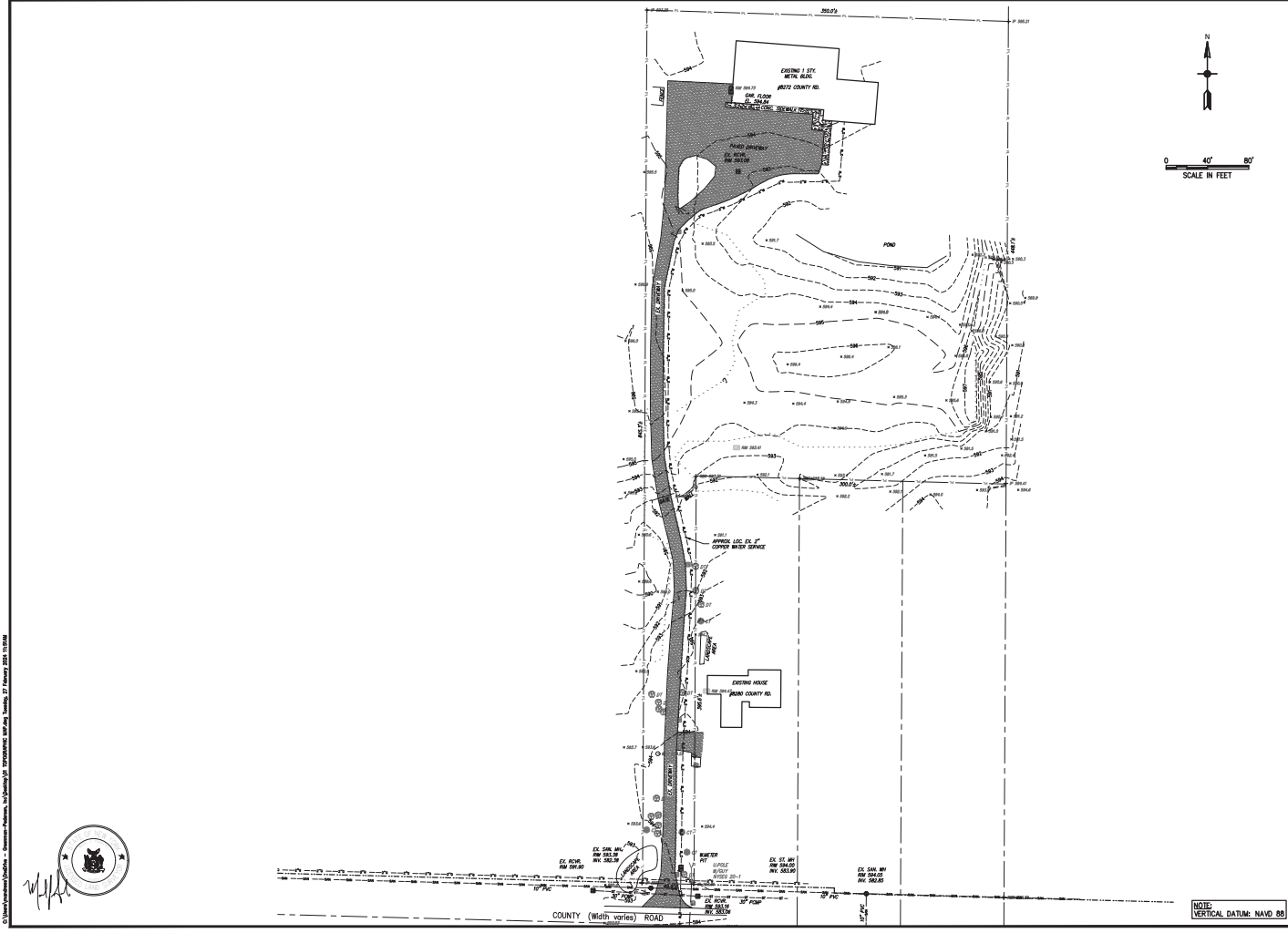
Jurek Builders
8272 County Road
East Amherst, NY

WNY-2300117.00

February 2024

SHEET NO.
00

WARNING: A PRINTING TOLL HAS
BEEN INCURRED FOR THIS SHEET.
PLEASE DO NOT CONSIDER THIS
DRAWING FOR CONSTRUCTION.



GPI
 Geomatics
 Consulting
 Environmental Management
 Corporation - P.O. Box 100
 450 Geneva Street, Suite 100
 Buffalo, NY 14225

PREPARED FOR
 Junk Builders
 8272 County Road
 East Amherst, NY

Open Development Area
 County Road
 8272 County Road
 Clarence, New York



REVISIONS	
NO.	DESCRIPTION

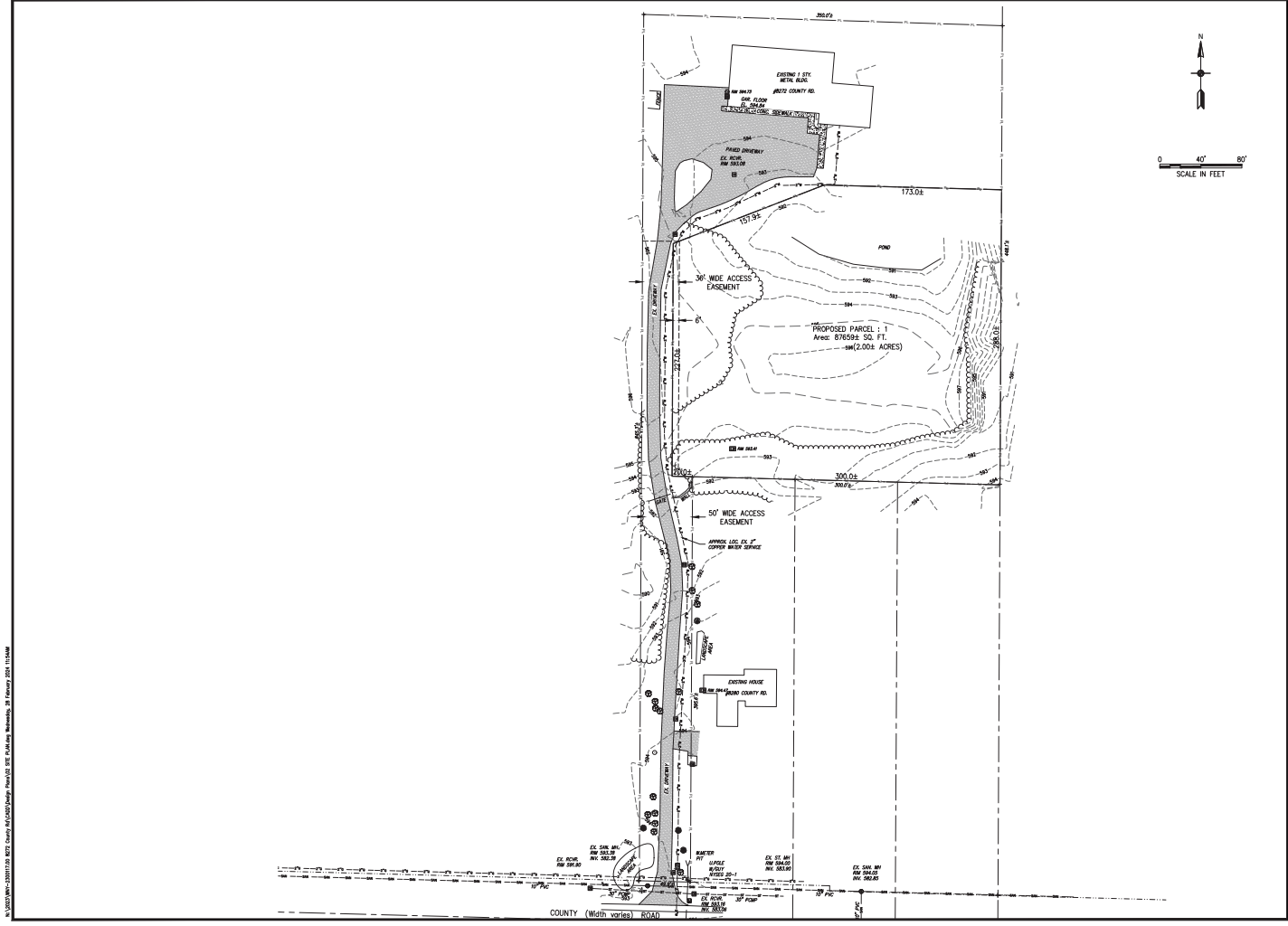
February 2024
 DRAWN/DESIGN BY: D.V. CHECKED BY: K.Z.

TOPOGRAPHIC MAP
 SCALE: 1"=40'
 WNY-2300117.00
 01

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NOTE:
 VERTICAL DATUM: NAVD 88



GPI Geotechnical
Engineering
Professional
Engineering
450 Delaware Street, Suite 100
Buffalo, NY 14225
PH: 424-4444

PREPARED FOR
Jurek Builders
8272 County Road
East Amherst, NY

Open Development Area
County Road
8272 County Road
Clarence, New York

REVISIONS	
DATE	REVISION

February 2024

DRAWN/DESIGN BY D.V.	CHECKED BY K.Z.
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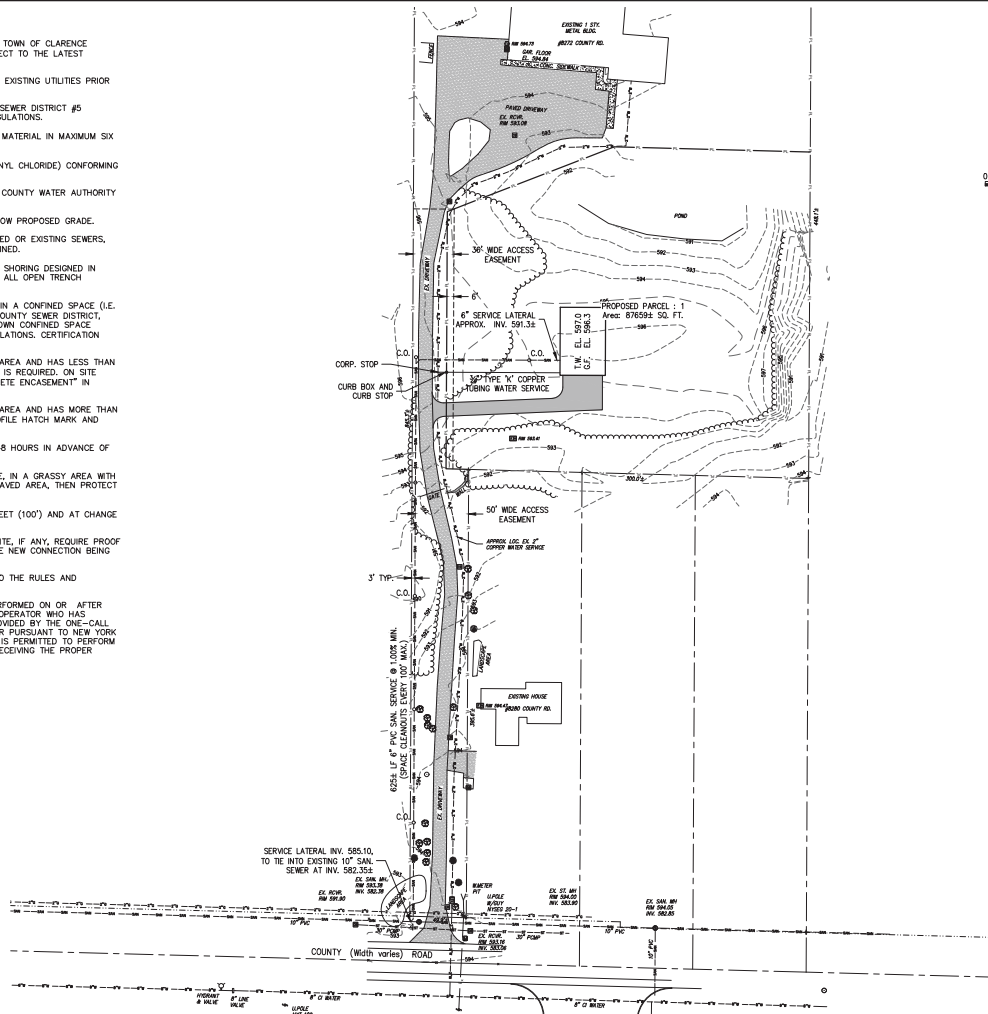
SITE PLAN

SCALE	1"=40'
PROJECT NO.	WNY-2300117.00
SHEET NO.	02

W:\2300117-2300117-02-County-Road-Development-Plan\03-Site-Plan\Map-Records-28-February-2024.dwg

NOTES :

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CLARENCE STANDARD CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS AS APPROVED BY THE TOWN ENGINEER.
2. CONTRACTOR TO VERIFY EXACT DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. ALL SANITARY SEWER SHALL CONFORM TO ERIE COUNTY SEWER DISTRICT #5 CONSTRUCTION SPECIFICATIONS, DETAILS, RULES AND REGULATIONS.
4. #### BACKFILL WITH MECHANICALLY TAMPED SELECT MATERIAL IN MAXIMUM SIX (6) INCH LIFTS.
5. SANITARY SEWER PIPE SHALL BE SDR-35 P.V.C. (POLYVINYL CHLORIDE) CONFORMING TO ASTM 3034.
6. ALL WATERLINE CONSTRUCTION SHALL CONFORM TO ERIE COUNTY WATER AUTHORITY CONSTRUCTION SPECIFICATIONS AND DETAILS.
7. WATERLINE SHALL HAVE A MINIMUM OF 5' OF COVER BELOW PROPOSED GRADE.
8. WHERE THE PROPOSED WATERLINE CROSSES THE PROPOSED OR EXISTING SEWERS, AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED.
9. THE CONTRACTOR IS ADVISED A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
10. ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, NETWELLS, CHAMBERS) OWNED BY AN ERIE COUNTY SEWER DISTRICT, MUST CERTIFY TO THE COUNTY THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
11. IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN FOUR (4) FEET OF COVER, THEN CONCRETE ENCASEMENT IS REQUIRED, ON SITE PLAN AND PROFILE HATCH MARK AND/OR LABEL "CONCRETE ENCASEMENT" IN AFFECTED AREAS. OR IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS MORE THAN FOUR (4) FEET OF COVER, THEN ON SITE PLAN AND PROFILE HATCH MARK AND LABEL, "SELECT FILL REQUIRED" IN AFFECTED AREAS.
12. THE CONTRACTOR MUST CONTACT THE DISTRICT OFFICE 48 HOURS IN ADVANCE OF CONSTRUCTION.
13. VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, THEN PROTECT WITH BOLLARDS (3 MINIMUM).
14. CLEANOUTS (C.O.) ARE REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE OF DIRECTION.
15. ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
16. REUSE OF EXISTING BUILDING SEWERS SHALL CONFORM TO THE RULES AND REGULATIONS FOR ECSD, ARTICLE III, SECTION 304.
17. NEW YORK STATE EXCAVATOR LAW: ALL EXCAVATION PERFORMED ON OR AFTER MAY 4, 2019 SHALL BE CONDUCTED BY AN EXCAVATOR OPERATOR WHO HAS COMPLETED THE TRAINING AND EDUCATION PROGRAM PROVIDED BY THE ONE-CALL NOTIFICATION SYSTEM OR ANOTHER AUTHORIZED PROVIDER PURSUANT TO NEW YORK STATE SENATE BILL S.6756A. NO EXCAVATOR OPERATOR IS PERMITTED TO PERFORM ANY EXCAVATION ON OR AFTER MAY 4, 2019 WITHOUT RECEIVING THE PROPER TRAINING AND EDUCATION PROGRAM.



PREPARED FOR:
Jurek Builders
8272 County Road
East Amherst, NY

Open Development Area
County Road
8272 County Road
Clarence, New York



REVISIONS	
NO.	DESCRIPTION

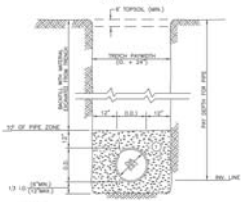
February 2024
DRAWN/DESIGN BY: D.V. CHECKED BY: K.Z.

UTILITY PLAN

SCALE: 1"=40'
WNY-2300117.00
03

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UNSHREED TRENCH DETAIL
(JANUARY 2012)



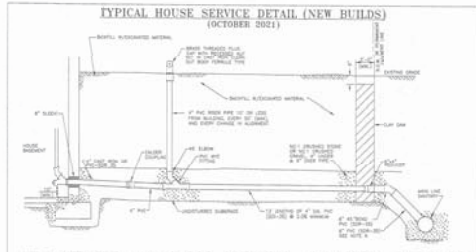
- NOTES:**
1. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 2. TRENCH OPERATIONS SHALL INCLUDE ALL NECESSARY SEWERING RECONSTRUCTION.
 3. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND SHOULD NOT BE USED.
 4. AN OPEN APPROVED TRENCH SHIELD SHALL BE USED IN ALL UNSHREED TRENCH WORK.

MATERIALS

1. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
2. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
3. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
4. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
5. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
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7. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
8. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
9. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.
10. 12" PVC PIPE SHALL BE USED FOR ALL UNSHREED TRENCH WORK.

SEE: SEE SHALL NOT BE ALLOWED FOR MATERIALS

TYPICAL HOUSE SERVICE DETAIL (NEW BUILDS)
(OCTOBER 2021)



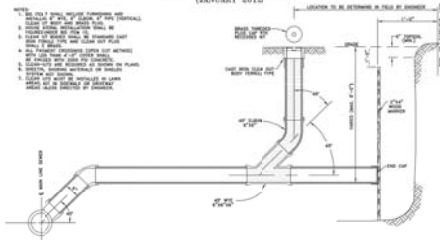
- NOTES:**
1. ALL HOUSE SERVICE WORK SHALL BE IN ACCORDANCE WITH THE 2021 ERE COUNTY DEPARTMENT OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT STANDARDS.
 2. ALL HOUSE SERVICE WORK SHALL BE IN ACCORDANCE WITH THE 2021 ERE COUNTY DEPARTMENT OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT STANDARDS.
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ERE COUNTY
DEPT. OF ENVIRONMENT & PLANNING
DIVISION OF SEWERAGE MANAGEMENT

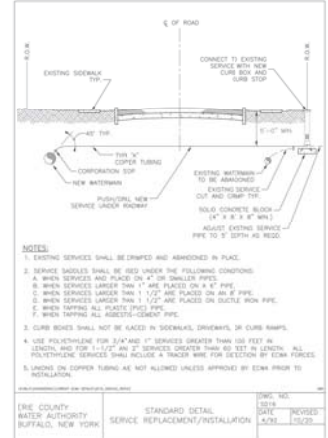
STD. DETAIL
21

FILE: 6-21 [Rev. 3/1/21]

CLEAN-OUT DETAIL FOR SERVICE CONNECTION
(JANUARY 2012)



- NOTES:**
1. ALL CLEAN-OUT WORK SHALL BE IN ACCORDANCE WITH THE 2021 ERE COUNTY DEPARTMENT OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT STANDARDS.
 2. ALL CLEAN-OUT WORK SHALL BE IN ACCORDANCE WITH THE 2021 ERE COUNTY DEPARTMENT OF ENVIRONMENT & PLANNING DIVISION OF SEWERAGE MANAGEMENT STANDARDS.
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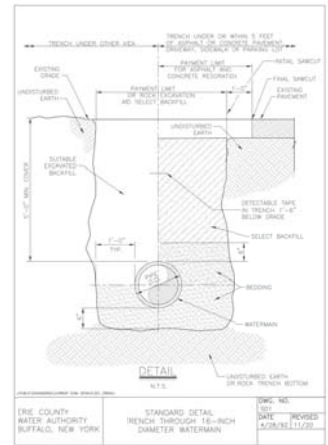
- NOTES:**
1. EXISTING SERVICES SHALL BE DRIPPED AND ABANDONED IN PLACE.
 2. SERVICE SADDLES SHALL BE USED UNDER THE FOLLOWING CONDITIONS:
 - A. WHEN SERVICES ARE PLACED ON 4" OR SMALLER PIPES.
 - B. WHEN SERVICES ARE PLACED ON 6" OR 8" PIPES.
 - C. WHEN SERVICES ARE PLACED ON 12" OR 18" PIPES.
 - D. WHEN SERVICES ARE PLACED ON 24" OR 36" PIPES.
 3. CURB SIDES SHALL NOT BE SAVED IN SIDEWALKS, DRIVEWAYS OR CURB RAMP.
 4. USE POLYETHYLENE FOR 3/4" AND 1" SERVICES GREATER THAN 100 FEET IN LENGTH AND FOR 1 1/2" AND 2" SERVICES GREATER THAN 50 FEET IN LENGTH. ALL POLYETHYLENE SERVICES SHALL INCLUDE A TRACER WIRE FOR LOCATION BY SEAM FORCES.
 5. SLOPE ON COPPER TUBING AS NOT ALLOWED UNLESS APPROVED BY ESDM PRIOR TO INSTALLATION.

ERE COUNTY WATER AUTHORITY BUFFALO, NEW YORK

STANDARD DETAIL SERVICE REPLACEMENT/INSTALLATION

DATE: 1/12/12

REVISED: 1/12/12



ERE COUNTY WATER AUTHORITY BUFFALO, NEW YORK

STANDARD DETAIL TRENCH THROUGH 16-INCH DIAMETER WATERMAIN

DATE: 5/28/2011

REVISED: 11/11/20

GPI Consulting Engineers & Surveyors
450 Geneva Street, Suite 100
Buffalo, NY 14222

PREPARED FOR:
Junk Builders
8272 County Road
East Amherst, NY

Open Development Area
County Road
8272 County Road
Clarence, New York

REVISIONS

NO.	DESCRIPTION	DATE

February 2024

DRAWN/DESIGN BY: D.V. CHECKED BY: B.V.

SITE UTILITY DETAILS

SCALE: N.T.S.

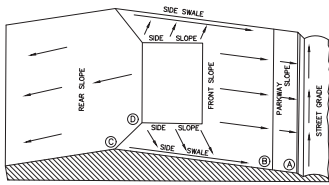
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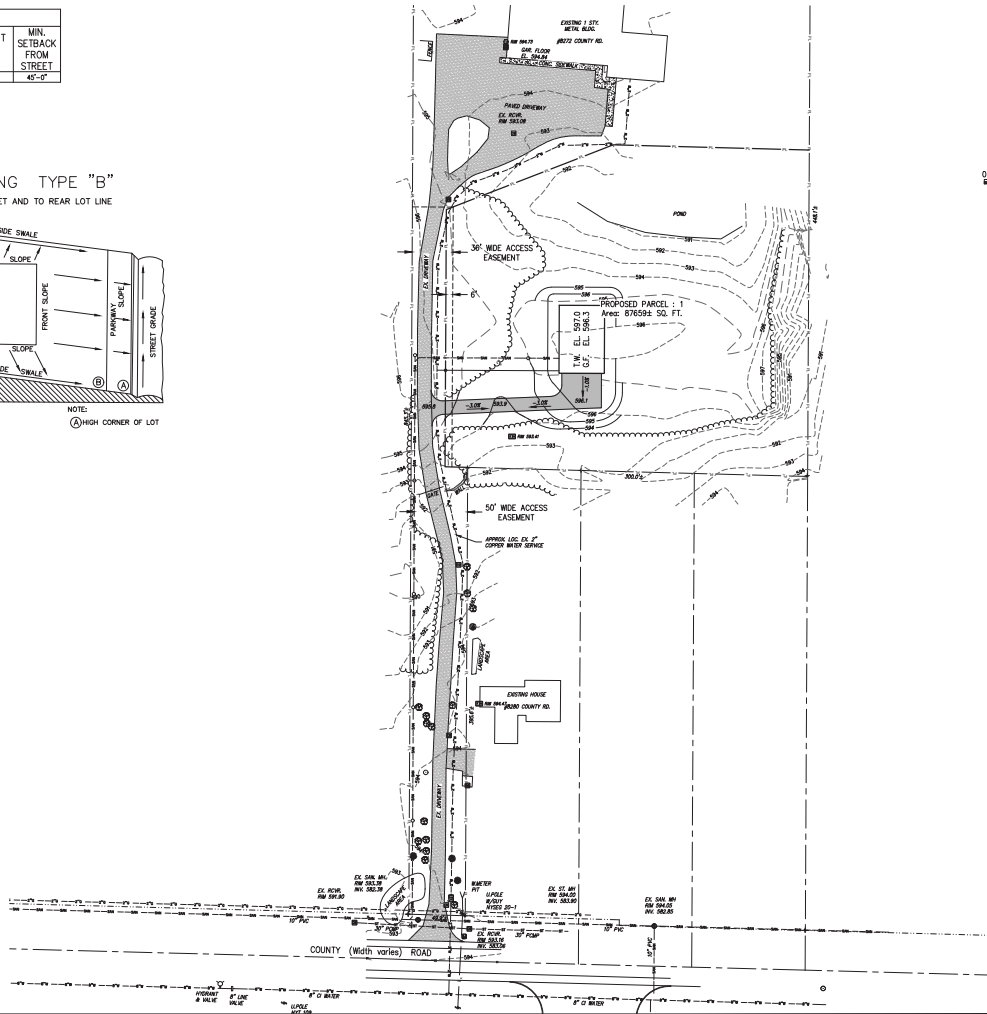
LOT DATA					
LOT #	LOT AREA	BASEMENT TYPE	BASEMENT FLOOR ELEVATION	BASEMENT WALL HEIGHT	MIN. SETBACK FROM STREET
1	87,318 SQ. FT.	TRADITIONAL	589.33'	8'-0"	45'-0"

NOTE :
CHANGES OF BASEMENT TYPE MUST BE APPROVED BY THE TOWN OF CLARENCE BUILDING DEPT.

LOT GRADING TYPE "B"
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE



NOTE:
A HIGH CORNER OF LOT



GPI
Geotechnical
Engineering
&
Construction
Management
4560 Conover Street, Suite 100
Buffalo, NY 14225
716.833.4444
www.gpinc.com

PREPARED FOR
Jurek Builders
8272 County Road
East Amherst, NY

Open Development Area
County Road
8272 County Road
Clarence, New York



REVISIONS	
NO.	DESCRIPTION

February 2024

DRAWN/DESIGN BY: D.V. CHECKED BY: K.Z.

GRADING PLAN

SCALE: 1"=40'

WNY-2300117.00

05

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STANDARD AND SPECIFICATIONS FOR COMPOST FILTER SOCK



Definition & Scope
A temporary sediment control practice composed of a degradable permeable mesh tube filled with compost filter socks to filter sediment and other pollutants associated with construction activity to prevent their migration off-site.

Condition Where Practice Applies
Compost filter socks can be used in many construction site applications where erosion will occur in the form of sheet erosion and there is no concentration of water flowing to the sock. It is generally most effective when used on steep slopes. Conditions must be such that the sock continues without being pulled away and it is maintained throughout its length. For use on impervious surfaces such as road pavement or parking areas, proper drainage must be provided to prevent shifting of the sock or separation of the contact between the sock and the pavement. Compost filter socks are utilized both at the site perimeter as well as within the construction area. These socks may be filled after placement by blowing compost into the fabric permeability, or placed at a staging location and moved into its designed location.

Design Criteria
1. Compost filter socks will be placed on the contour with both terminal ends of the sock extended 8 feet up-slope at a 45 degree angle to prevent bypass flow.
2. Diameter designed for use shall be 12" - 32" except:
3. Compost filter socks shall be anchored in earth with 2" x 2" wooden stakes driven 12" into the soil 10 feet apart on the contour of the sock. On uneven terrain, effective ground contact can be enhanced by the placement of a fill of filter socks on the disturbed area up of the compost sock.
4. All newly constructed details and material specifications shall appear on the erosion and sediment control plan to be approved when compost filter socks are installed on the plan.
Maintenance
1. Traffic shall not be permitted to cross filter socks.
2. Accumulated sediment shall be removed when it reaches on half to above ground height of the sock and disposed in accordance with the plan.

- The 8" diameter sock may be used for residential lots to control areas less than 1/2 acre.
- The diameter of the sock shall be at least 1.5 times the normal diameter.
- The Maximum Slope Length (in feet) above a compost filter sock shall not exceed the following limits:

Soil, (s)	2	5	10	15	20	25	30	35	38
8	225'	200'	180'	165'	150'	135'	120'	105'	90'
12	250'	225'	205'	190'	175'	160'	145'	130'	115'
18	275'	250'	230'	215'	200'	185'	170'	155'	140'
24	300'	275'	255'	240'	225'	210'	195'	180'	165'
32	400'	375'	355'	340'	325'	310'	295'	280'	265'

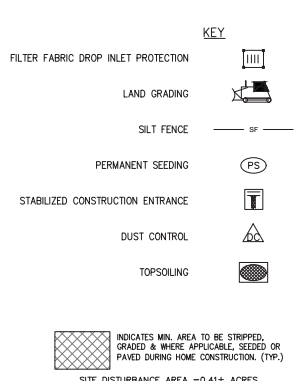
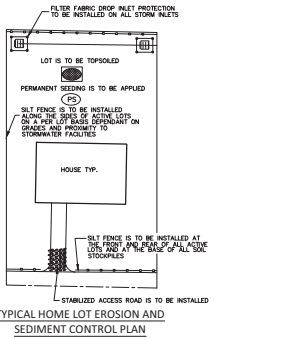
- Length in feet
- The compost sock shall be well decomposed (stained at least 2 months), weed free, organic matter. It shall be essentially compost, possess no objectionable odors, and contain less than 1% by dry weight of non-stalk foreign matter. The physical parameters of the compost shall meet the standards listed in Table 5.1 - Compost Standards Table. Note: All compost used for non-potable water shall meet NYS DEC's 6 NYCRR Part 146 Child Care Management Facilities requirements. The Part 146 requirements are used to more stringent than 68 NYCRR Part 146 which contains standards for pathogen reduction and heavy metals content. When using compost filter socks adjacent to surface water, the compost should meet a 4 or higher value.
- Socks shall be inspected weekly and after each rainfall event. Damaged socks shall be repaired to the manner required by the manufacturer or replaced within 24 hours of inspection notification.
- Biodegradable filter socks shall be replaced after 6 months, non-biodegradable filter socks after 1 year. Polypropylene socks shall be replaced according to the manufacturer's recommendations.
- Upon notification of the area contractor to the sock, socks shall be removed. The sock may be left in place and repaired or removed in accordance with the maintenance plan. For removal the sock shall be cut at the compost spread or an additional sock to act as an end supplement.

Table 5.1 - Compost Sock Fabric Minimum Specifications Table

Material Type	3 mil HDPE	6 mil HDPE	8 mil HDPE	10 mil HDPE	12 mil HDPE	15 mil HDPE	18 mil HDPE	20 mil HDPE
Material Characteristics	Phenolic-free	Phenolic-free	Phenolic-free	Phenolic-free	Phenolic-free	Phenolic-free	Phenolic-free	Phenolic-free
Sock Diameter	12"	18"	24"	30"	36"	42"	48"	54"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"
Tensile Strength	20 psi	20 psi	20 psi	20 psi	20 psi	20 psi	20 psi	20 psi
Ultra-permeability % (Dry/through)	22% at 1000 ft	22% at 1000 ft	100% at 1000 ft	100% at 1000 ft	100% at 1000 ft	100% at 1000 ft	100% at 1000 ft	100% at 1000 ft
Minimum Functional Longevity	6 months	9 months	6 months	1 year	1 year	1 year	1 year	2 years

Table 5.2 - Compost Standards Table

Organic content	25% - 100% (dry weight)
Organic portion	Fibrous and elongated
pH	6.0 - 8.0
Moisture content	70% - 80%
Particle size	100% passing 1" screen and 10 - 50% passing a 3/8" screen
Stable with decomposition	1.0-45 by (composted) maximum



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE SIDES OR CORNERS OCCUR. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE BEVEL - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE FIRMLY BEHIND THE ENTRANCE. IF PAVING IS IMPRACTICAL, A MOUNTAIN BERM WITH 5:1 SLOPES WILL BE FORMED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT DURING PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHEEL SPAKERS AND AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY USIA - NIOS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMISSION.

STABILIZED CONSTRUCTION ACCESS

GPI Geotechnical Engineering, Inc.
450 Geneva Street, Suite 100
Buffalo, NY 14222

PREPARED FOR
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8272 County Road
East Amherst, NY

Open Development Area
County Road
8272 County Road
Clarence, New York

February 2024
DRAWN/DESIGN BY: D.V. CHECKED BY: K.Z.

EROSION & SEDIMENT CONTROL PLAN AND DETAILS

SCALE: 1"=40'
WNY-2300117.00
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