

2024 State of Development

Town of Clarence





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Zoning Code Update Exercise



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Introductions

Introductions

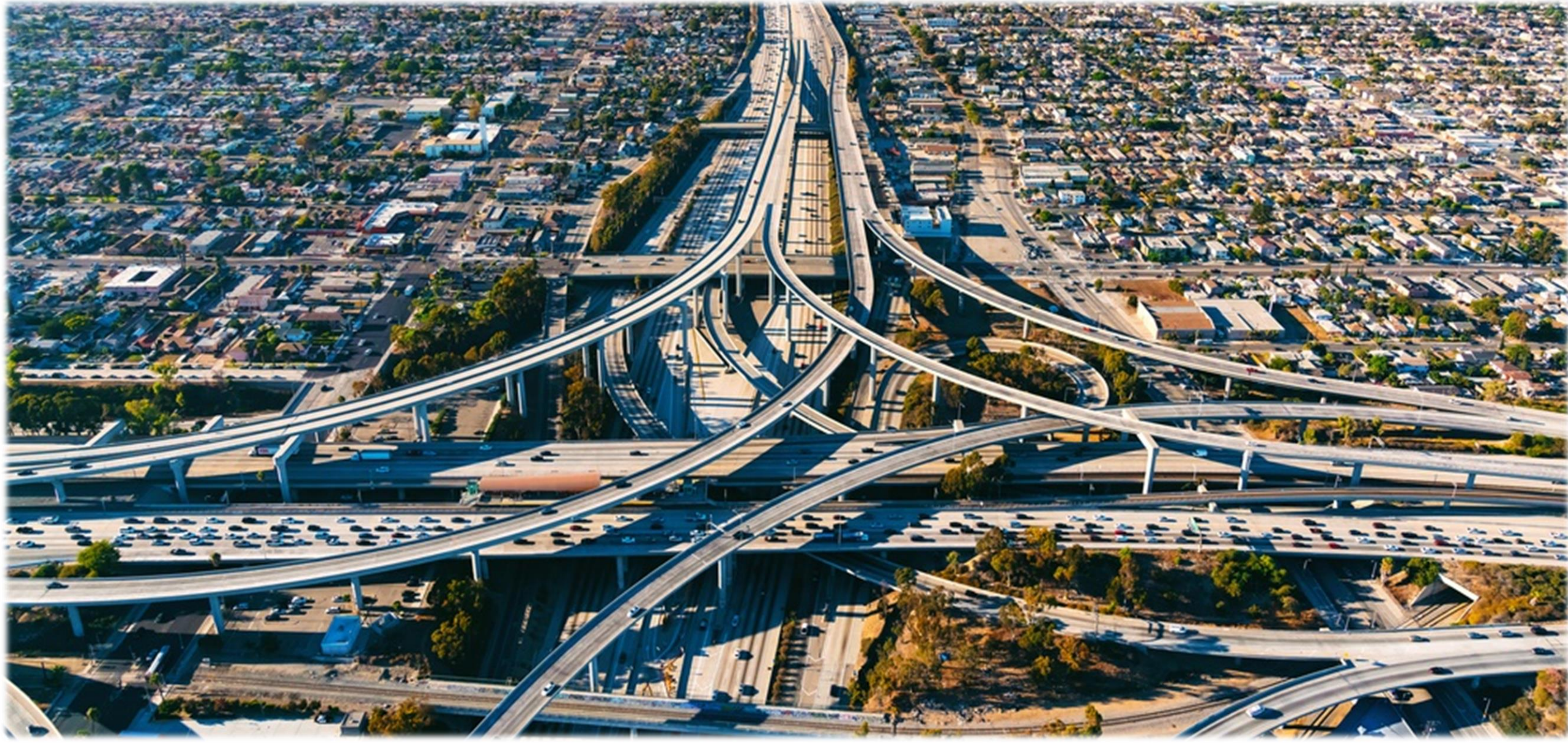
Planning

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Development

Alteration of land

Change

The act or instance of making or becoming different

Comfort

Physical ease and freedom from pain or constraint



Planning

Optimizing the effectiveness of land



Introductions

CREATING A PRO-HOUSING STATE

Communities across New York are committing to pro-housing principles



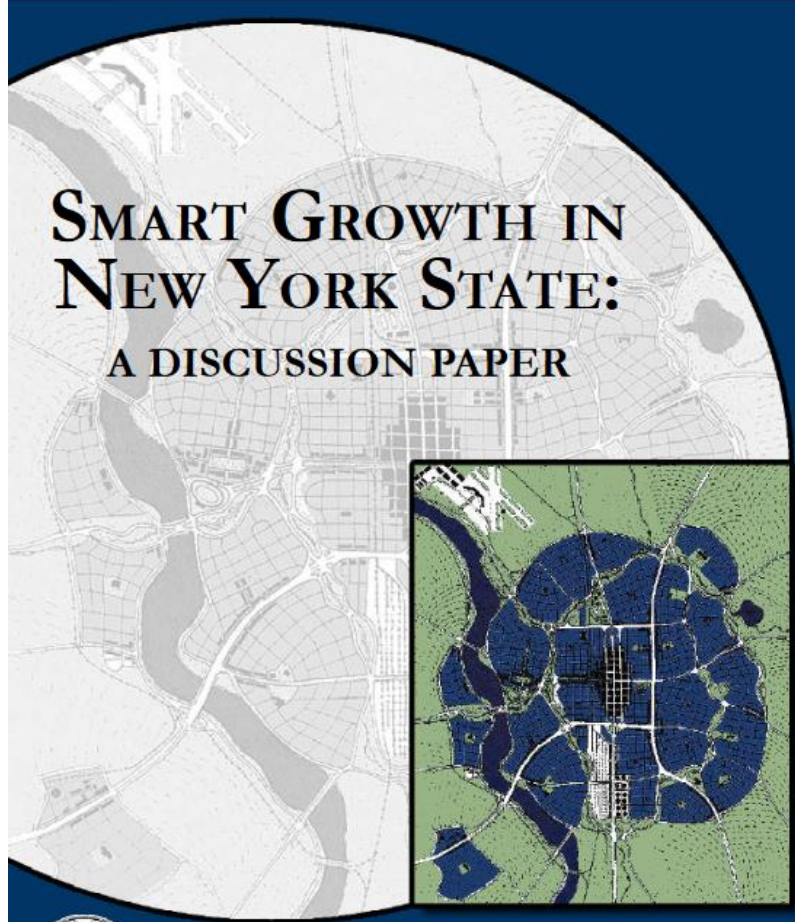
“No plan to address the City of Buffalo’s financial straits is complete until and unless it addresses how sprawl has contributed to its troubled financial condition.”

“The housing crisis has negative effects at regional and local levels, and we believe that every community must do their part to contribute to housing growth.”

OFFICE OF THE NEW YORK STATE COMPTROLLER



DIVISION OF LOCAL GOVERNMENT SERVICES & ECONOMIC DEVELOPMENT



Alan G. Hevesi



Planning

Introductions

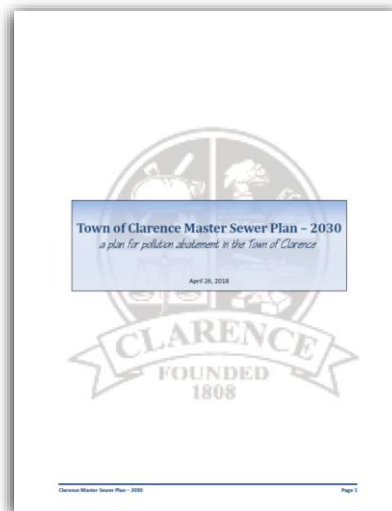
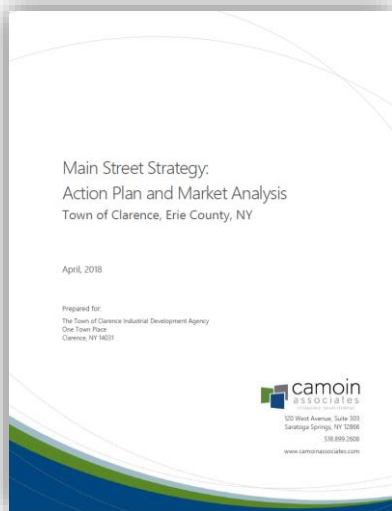
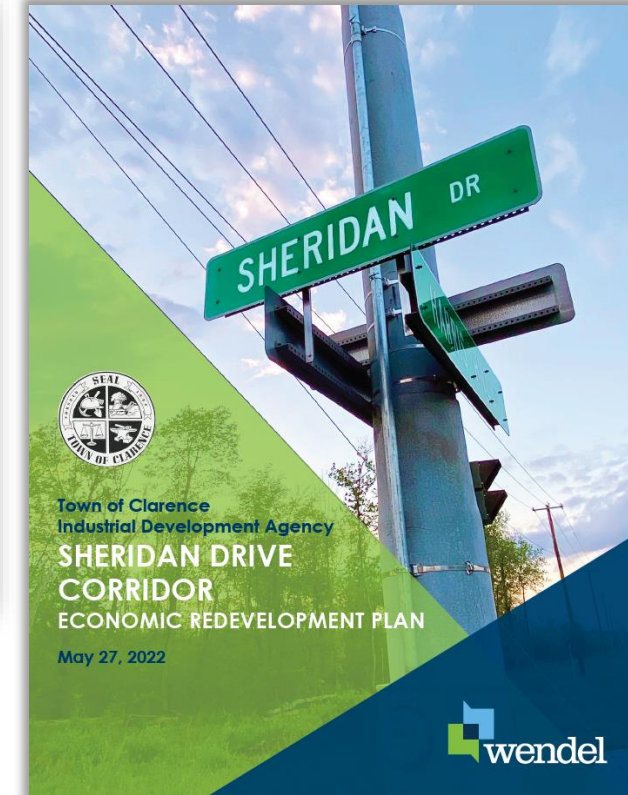
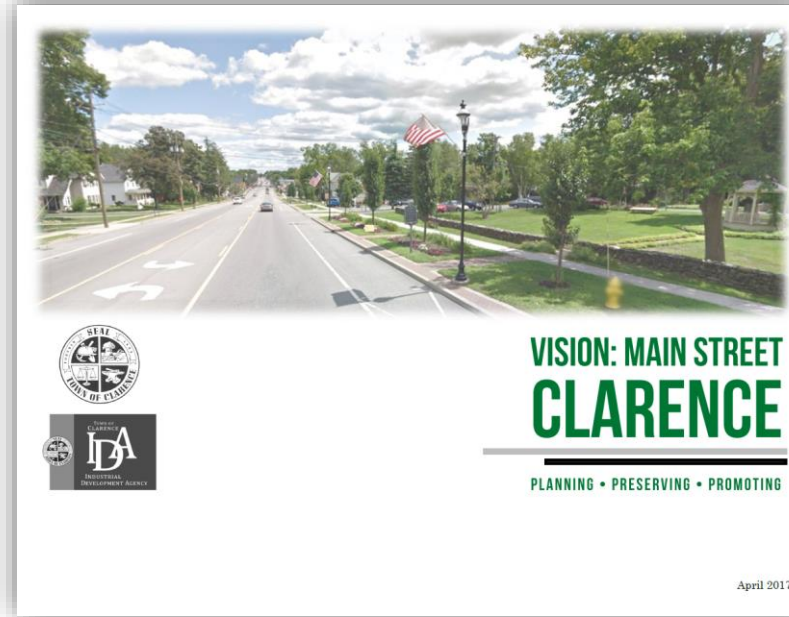
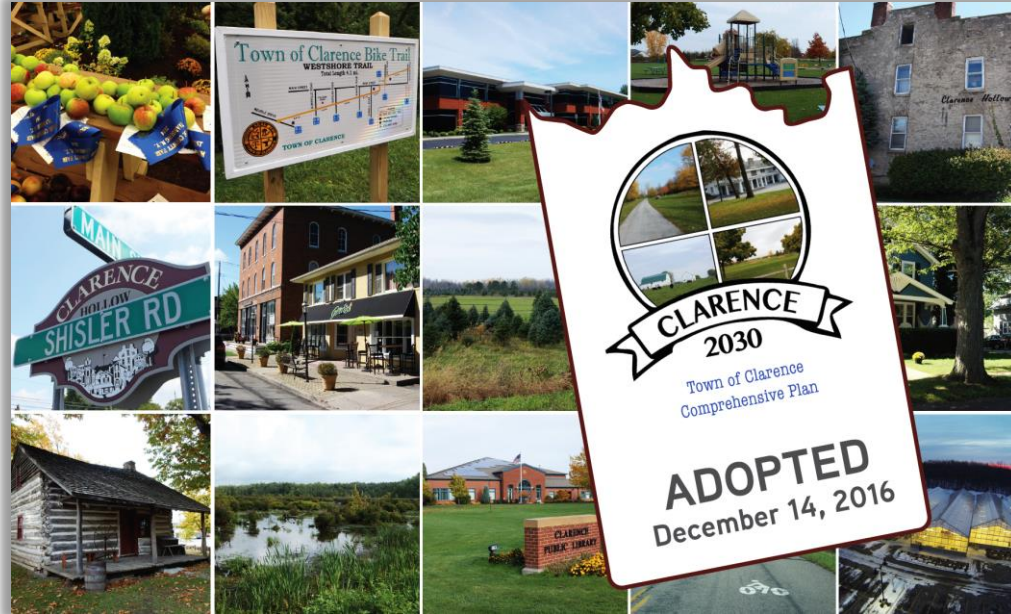
Planning

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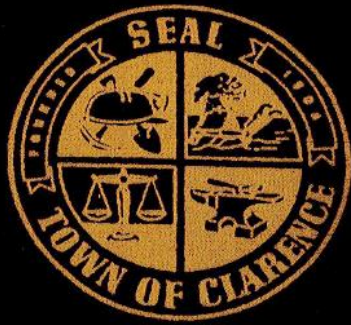


Local Unified Initiatives





CODE OF THE TOWN OF CLARENCE



NEW YORK

GENERAL
CODE
PUBLISHERS

Scope of Work

**PHASE 1 – DISCOVERY AND
ANALYSIS (YEAR 1)**

8-10 months

**PHASE 2 – PRIORITY CODE
UPDATES (YEAR 2)**

10-12 months

**PHASE 3 – ADDITIONAL CODE
UPDATES (YEAR 3)**

8-10 months

26-32 months

Census Update

2024 State of Development





Census Update

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DEC – Decennial Data

- Actual count every 10 years
 - Samples everyone
 - 99.8 % accurate
-



ACS – American Community Survey

- Yearly estimates
 - Samples small pool
 - 90 % accurate
-



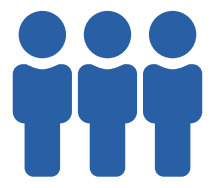
LAUS – Local Area Unemployment Statistics

- Monthly estimates
- Samples large pool
- 90 % accurate



Census Update

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
---------------	----------	----------------------	---------------	--------------------	-------------



32,950
 Total Population
 DEC 2020



2.7%
 Unemployment Rate*
 Bureau of Labor Statistics 2023 LAUS



\$116,396
 Median Household Income
 ACS 2022 5-Year Estimates



47.9
 Median Age
 ACS 2022 5-Year Estimates



97.5%
 of individuals 25 years old and higher have
 a high school diploma or equivalent
 ACS 2022 5-Year Estimates



6.2%
 Poverty Rate
 ACS 2022 5-Year Estimates



Census Update

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Clarence



2.7%
 Unemployment Rate*
 Bureau of Labor Statistics 2023 LAUS



47.9
 Median Age
 ACS 2022 5-Year Estimate



6.2%
 Poverty Rate
 ACS 2022 5-Year Estimate

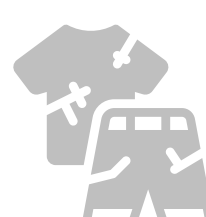
Erie County



3.6%
 Unemployment Rate*
 Bureau of Labor Statistics 2023 LAUS



40.3
 Median Age
 ACS 2022 5-Year Estimate



13.2%
 Poverty Rate
 ACS 2022 5-Year Estimate



Census Update

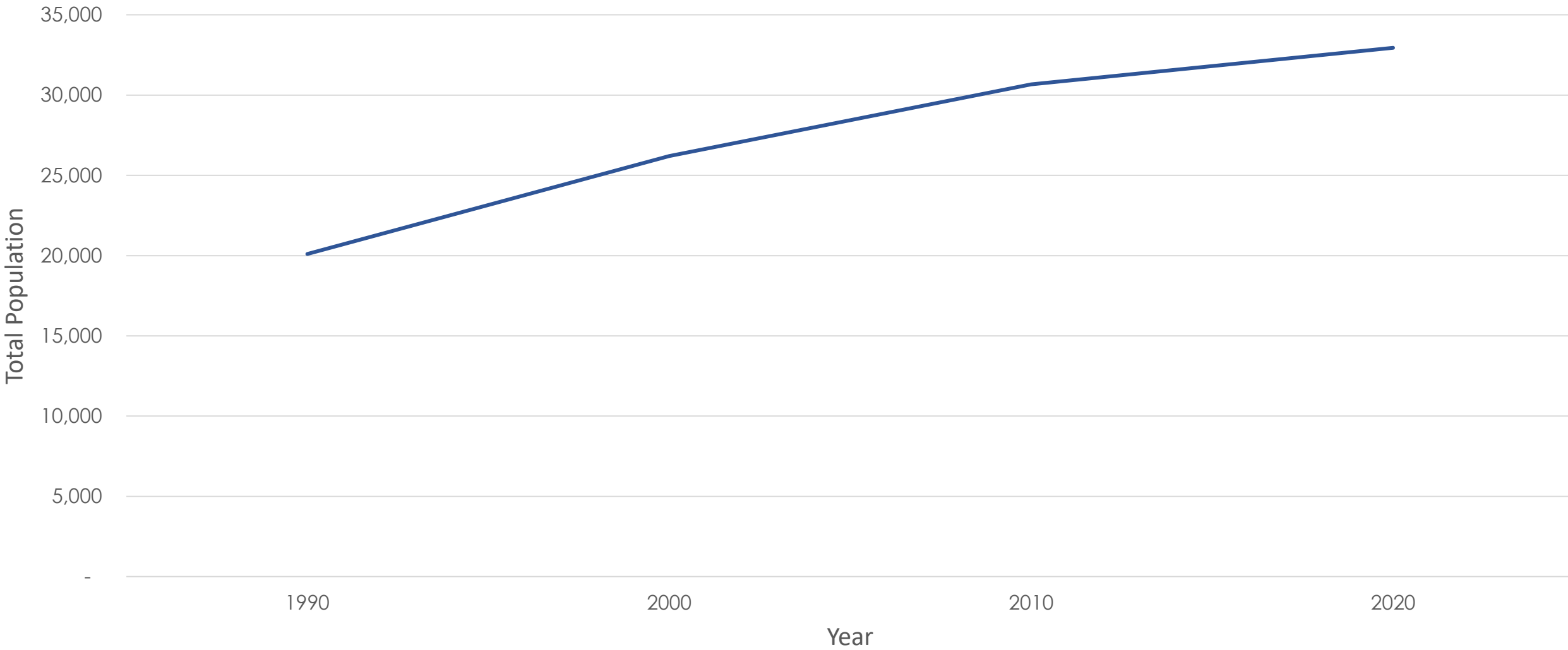
Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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	Clarence	Erie County
Population	32,950	951,232
Total Households	13,035	411,422
Average Household Size	2.49	2.24
One or More People Under 18 Years	28.5%	24.7%
One or More People Over 65 Years	36.2%	32.7%
Median Gross Rent	\$1,335	\$1,027
Median Housing Value	\$366,600	\$197,400
Homeownership Rate	83.8%	65.6%



Census Update

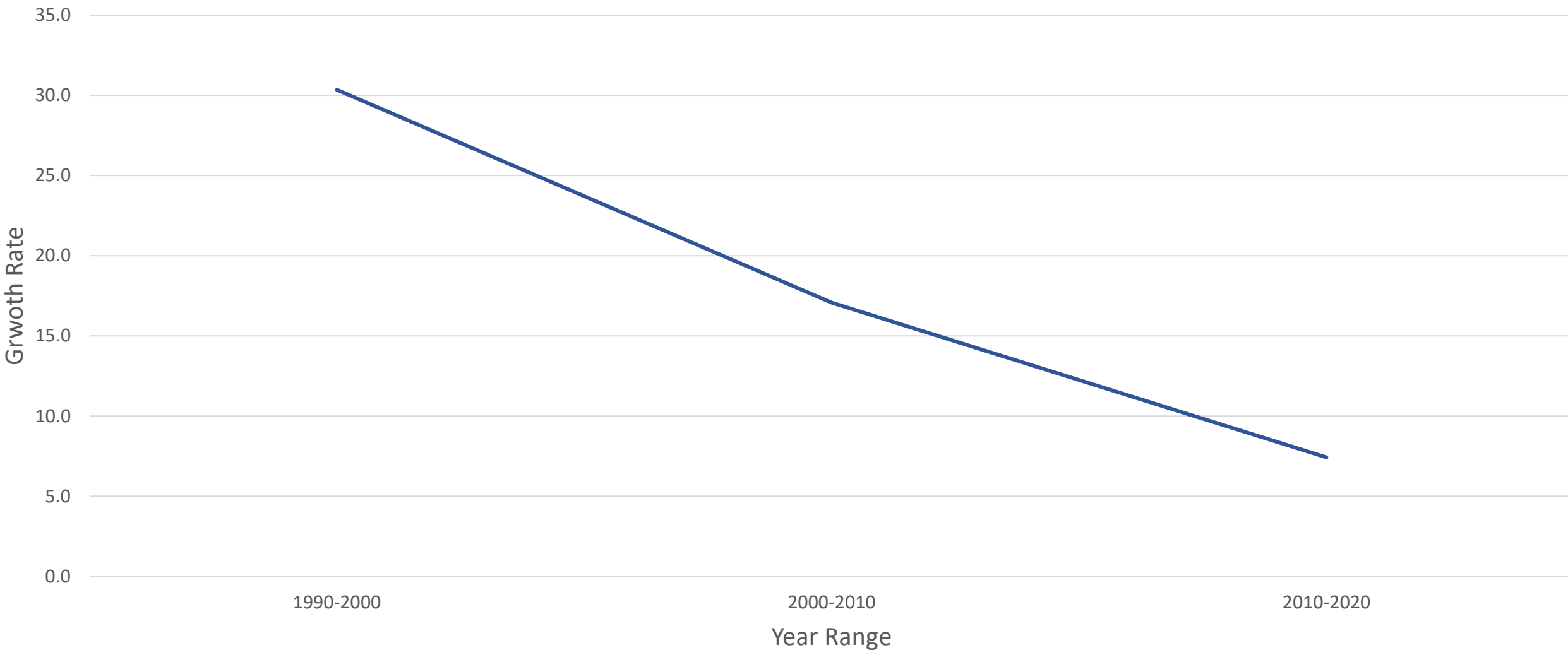
Clarence Population 1990-2020





Census Update

Clarence Growth Rate 1990-2020



Permit Review

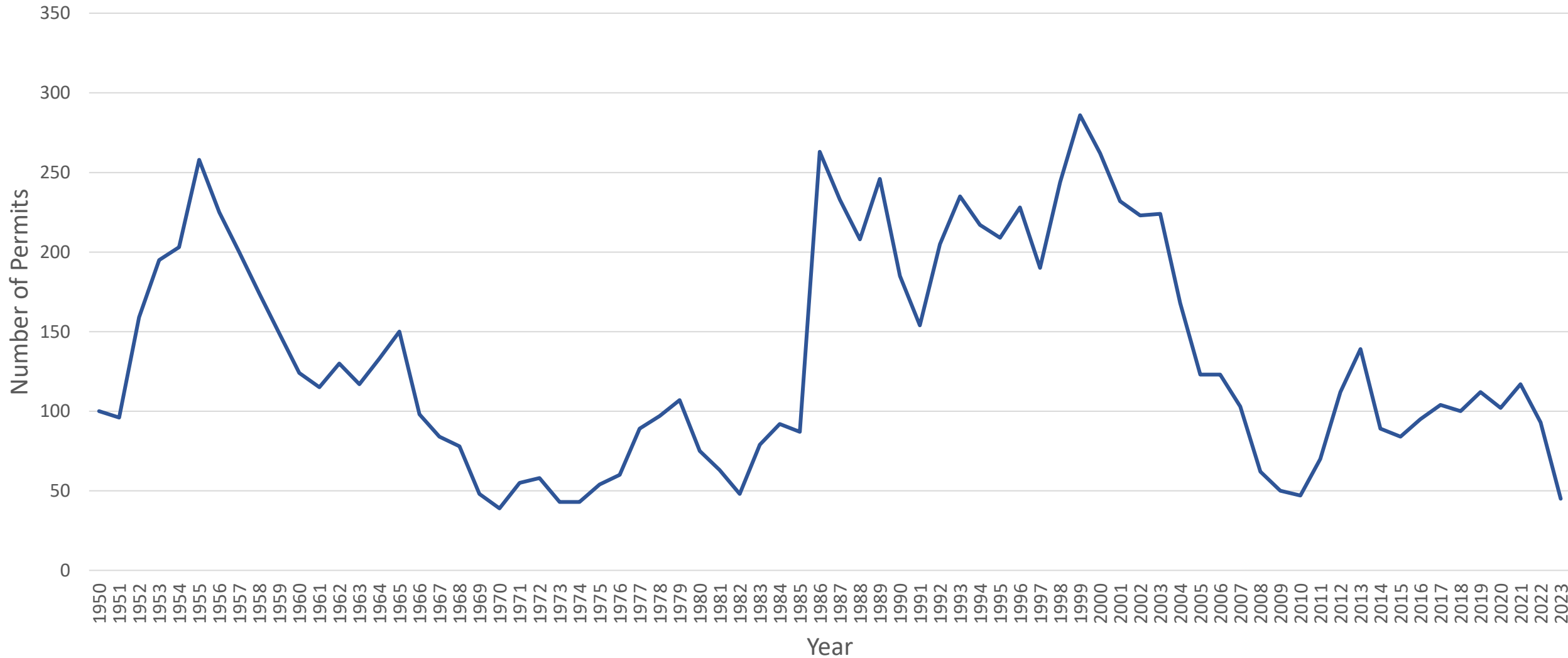
2024 State of Development





Permit Review

Residential Single-Family Building Permits 1950-2023





Permit Review

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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Residential Single Family Permits	2023	2022	2021	2020
Total New Units	45	93	117	104
Total Square Footage	188,469	370,211	411,589	370,618
Average Square Footage	4,188	3,981	3,518	3,564
Total Value	\$ 39,454,075	\$ 76,540,425	\$ 91,487,000	\$ 73,310,000
Average Value	\$ 876,757	\$ 823,015	\$ 781,940	\$ 704,904
Sewered Units	31	74	101	83
Unsewered Units	14	19	16	21
Units in Clarence Schools	42	85	100	103
Units in Williamsville Schools	2	8	17	1
Cost Per Square Foot	\$ 209	\$ 207	\$ 222	\$ 198



Permit Review

Introductions

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Zoning Code

Residential Additions

2023

2022

2021

2020

Total Additions 48

93

101

58

Total Square Footage 31,066

40,896

50,837

30,983

Average Square Footage 647

649

503

534

Total Value \$ 4,535,897

\$ 5,077,305

\$ 4,471,500

\$ 2,326,984

Average Value \$ 94,498

\$ 80,592

\$ 44,272

\$ 40,120

Cost Per Square Foot \$ 146

\$ 124

\$ 88

\$ 75



Permit Review

Introductions

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Residential Alterations

2023

2022

2021

2020

Total Alteration

91

76

88

70

Total Square Footage

50,275

50,565

65,087

58,386

Average Square Footage

552

665

740

834

Total Value

\$ 3,707,099

\$ 2,754,486

\$ 4,283,620

\$ 3,481,292

Average Value

\$ 40,737

\$ 36,243

\$ 48,678

\$ 49,733

Cost Per Square Foot

\$ 74

\$ 54

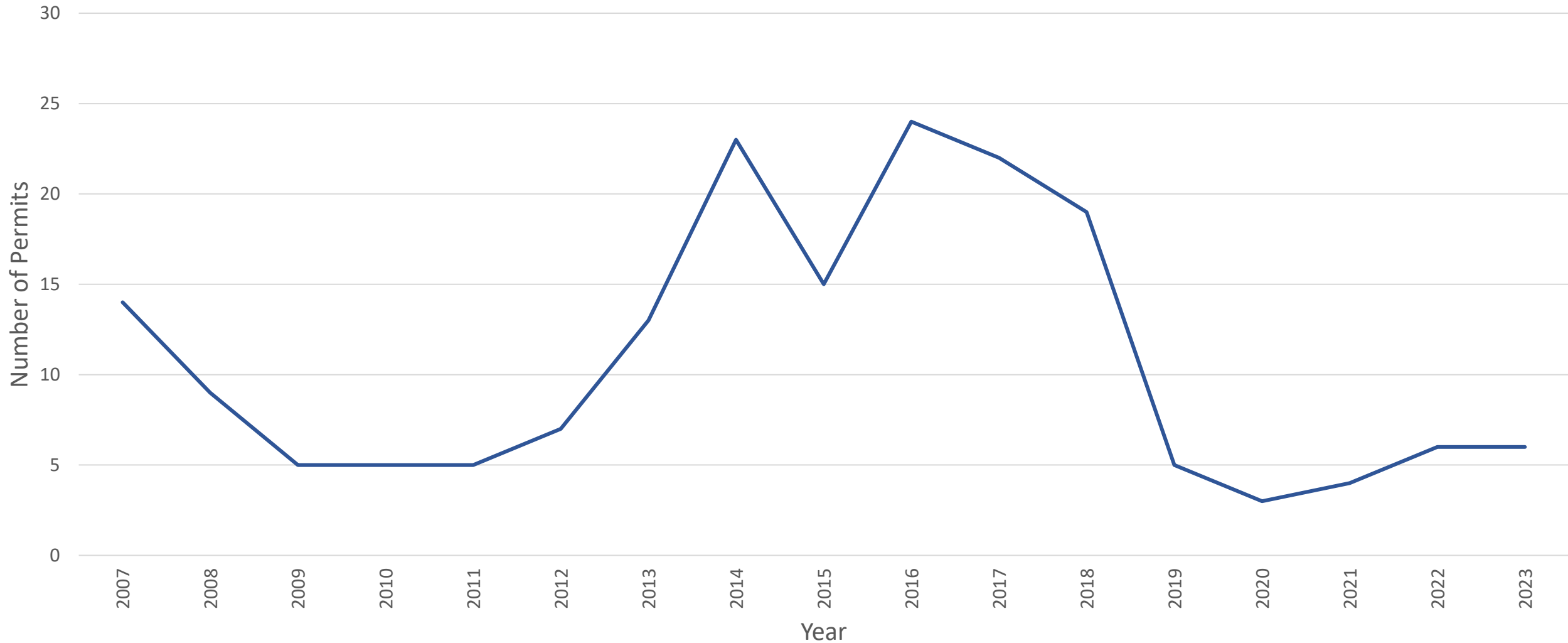
\$ 66

\$ 60



Permit Review

Commercial / Industrial New Build Permits 2007-2023





Permit Review

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
---------------	----------	---------------	----------------------	--------------------	-------------

Commercial / Industrial New Build Permits	2023	2022	2021	2020
Total Permits	6	5	4	3
Total Square Footage	96,701	78,611	26,750	72,819
Average Square Footage	16,117	15,722	6,688	24,273
Total Value	\$ 11,323,123	\$ 5,575,000	\$ 3,608,000	\$ 1,902,000
Average Value	\$ 1,887,187	\$ 1,115,000	\$ 902,000	\$ 634,000
Permits in Clarence Schools	4	5	2	2
Permits in Williamsville Schools	2	0	2	1
Cost Per Square Foot	\$ 117	\$ 71	\$ 135	\$ 26



Permit Review

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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Commercial / Industrial Additions	2023	2022	2021	2020
Total Additions	6	3	7	7
Total Square Footage	28,860	13,374	29,932	30,770
Average Square Footage	4,810	4,458	4,276	4,396
Total Value	\$ 8,346,000	\$ 1,025,000	\$ 1,006,000	\$ 7,697,900
Average Value	\$ 1,391,000	\$ 341,666	\$ 143,714	\$ 1,099,700
Cost Per Square Foot	\$ 289	\$ 77	\$ 34	\$ 250



Permit Review

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Commercial / Industrial Alterations

2023

2022

2021

2020

Total Alteration **67**

63

37

21

Total Square Footage **325,158**

468,171

86,324

132,817

Average Square Footage **4,853**

7,431

2,333

6,325

Total Value **\$ 15,597,681**

\$ 24,581,853

\$ 4,339,000

\$ 9,097,755

Average Value **\$ 232,801**

\$ 390,188

\$ 117,270

\$ 433,226

Cost Per Square Foot **\$ 48**

\$ 53

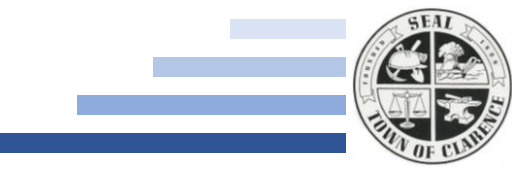
\$ 50

\$ 68

Commercial Now

2024 State of Development





Commercial Project Highlights

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9377 County Road

GMA Concrete

Status: Under Construction

Size: 8,067 sf

Engineering: Studio T3

Architecture: MPD

9367 County Road

Wilcox Landscaping

Status: Under Construction

Size: 4,160 sf

Engineering: Metzger

Architecture: MPD





Commercial Project Highlights

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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8550 Roll Road

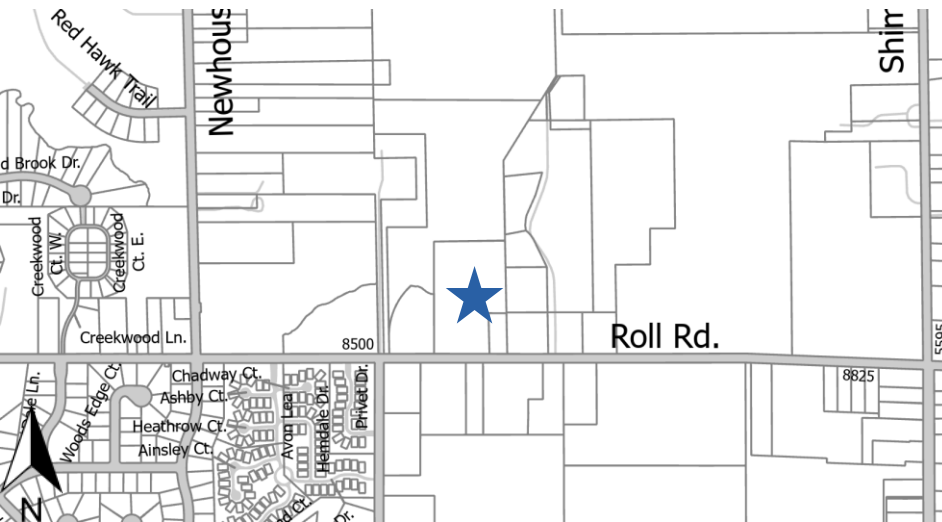
Natale Self-Storage

Status: Under Construction

Size: 18,920 sf | 232 units

Engineering: GPI

Architecture: Silvestri





Commercial Project Highlights

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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8167 Sheridan Drive

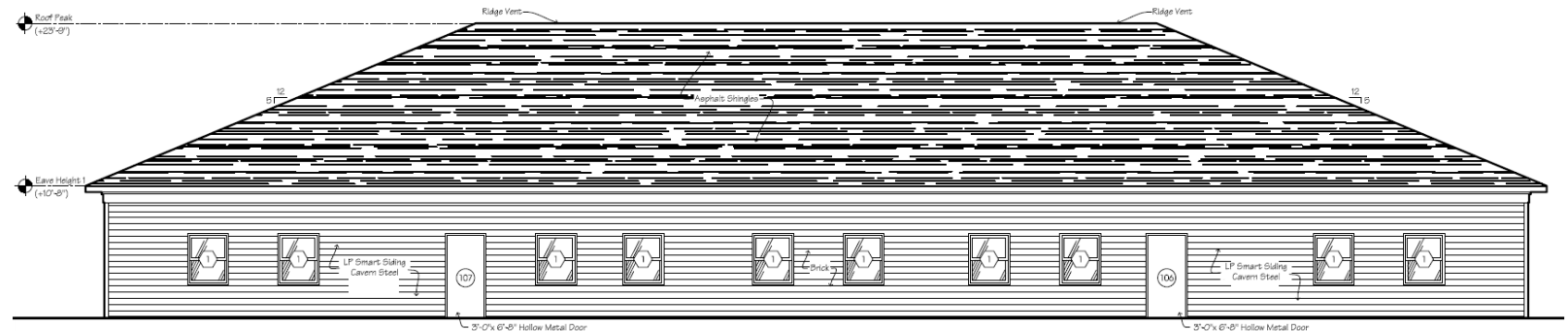
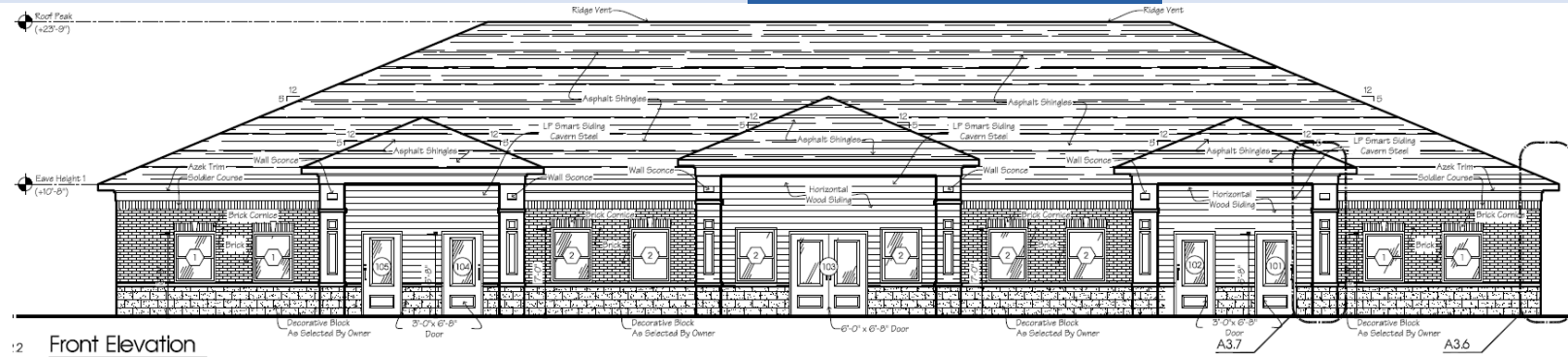
Rockledge Office Park

Status: Under Construction

Size: 6,900 sf

Engineering: Carmina Wood Design

Architecture: Sutton





Commercial Project Highlights

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4280 Research Pkwy

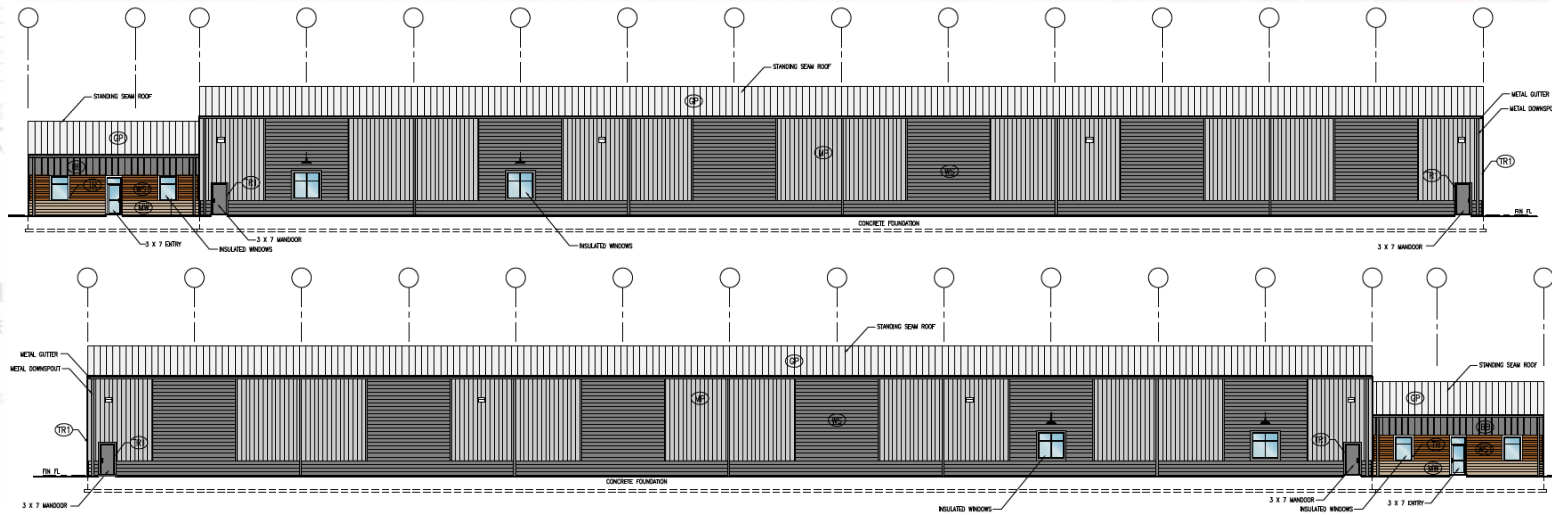
Dimar Manufacturing | Stephen Development

Status: Under Construction

Size: 55,100 sf

Engineering: Metzger

Architecture: Kulback's





Commercial Project Highlights

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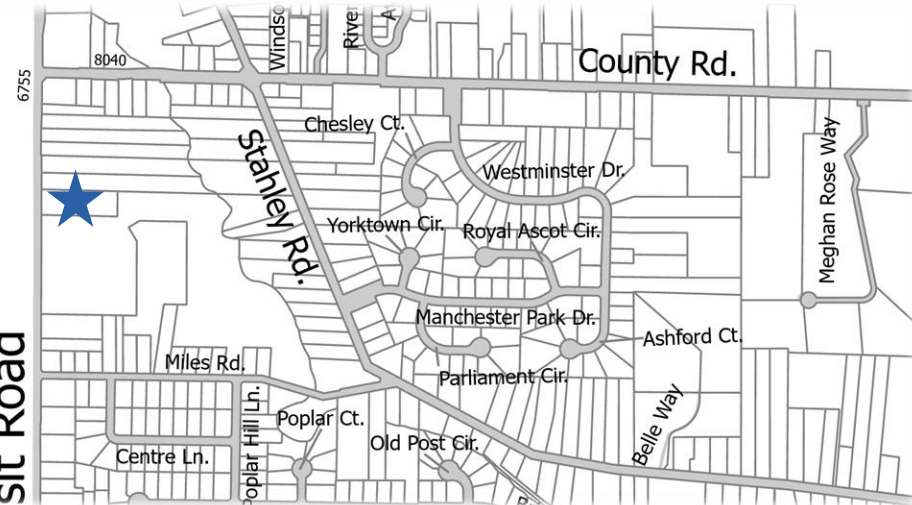
6685 Transit Road

Go | Royal Car Wash

Status: Under Construction

Size: 4,096 sf

Engineering: Passero





Commercial Project Highlights

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6409 Transit Road

Mister Sizzle's

Status: Under Construction

Size: 5,858 sf

Engineering: Carmina Wood Design

Architecture: Abstract





Commercial Project Highlights

8353 Main Street

Dean Architecture

Status: Complete

Size: 4,000 sf

Architecture: Dean





Commercial Project Highlights

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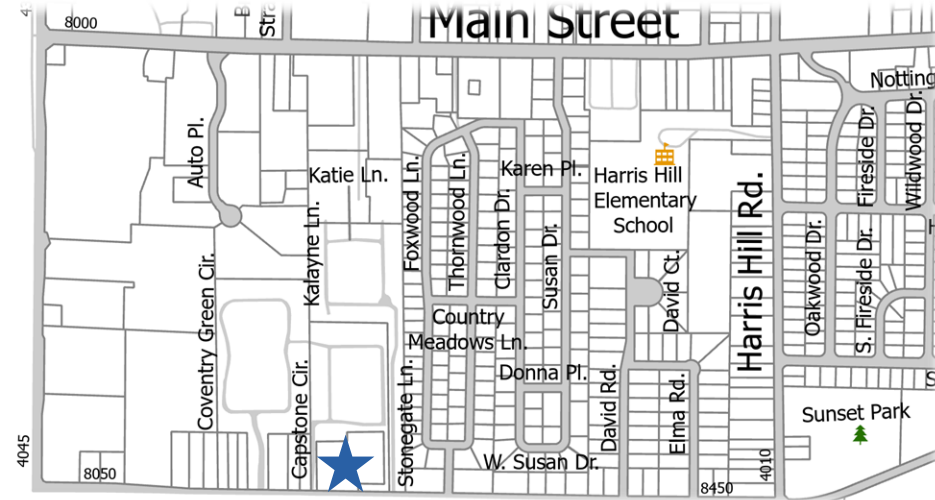
8230 Wehrle Drive

The Dome | Two Nines Kitchen Bar

Status: Complete (Rebuild)

Size: 72,000 sf

Owner: Regent





Commercial Project Highlights

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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9430 Main Street

Starbucks | Benderson

Status: Complete

Size: 2,301 sf

Architecture: James Allen





Commercial Project Highlights

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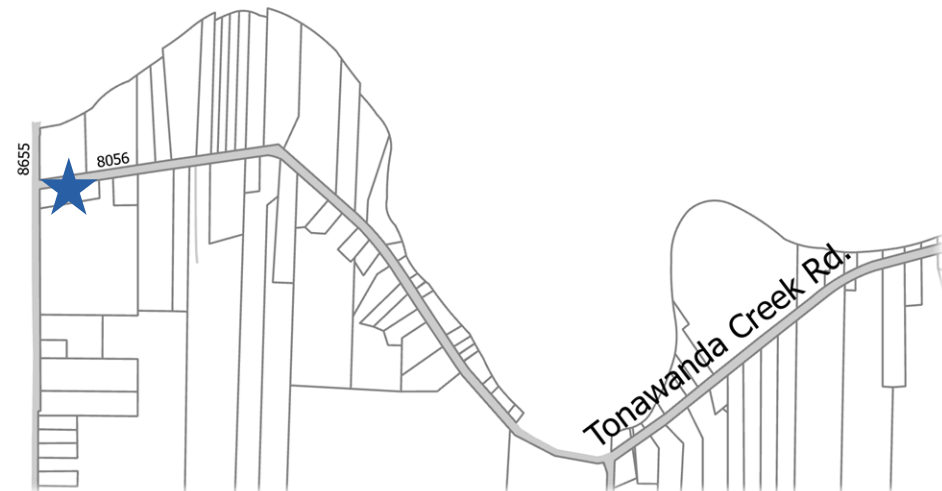
8625 Transit Road

Love Your Dog

Status: Complete

Size: 3,514 sf

Architecture: Dean





Commercial Project Highlights

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Project Highlights

Zoning Code

4520 Ransom Road

Brothers Of Mercy

Status: Under Construction

Size: 5,603 sf

Architecture: Professional Drafting Service





Commercial Project Highlights

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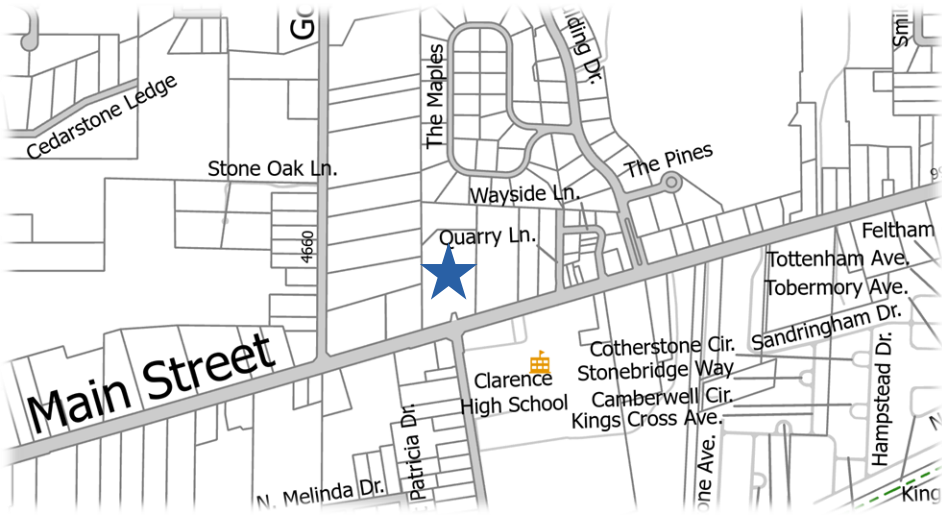
Project Highlights

Zoning Code

9560 Main Street

Stephen Development

- Additions:**
- Great Lakes Coffee Roasters
 - Cottage Bloom
 - Lazy Daisy Stitching
 - Nana's Mediterranean





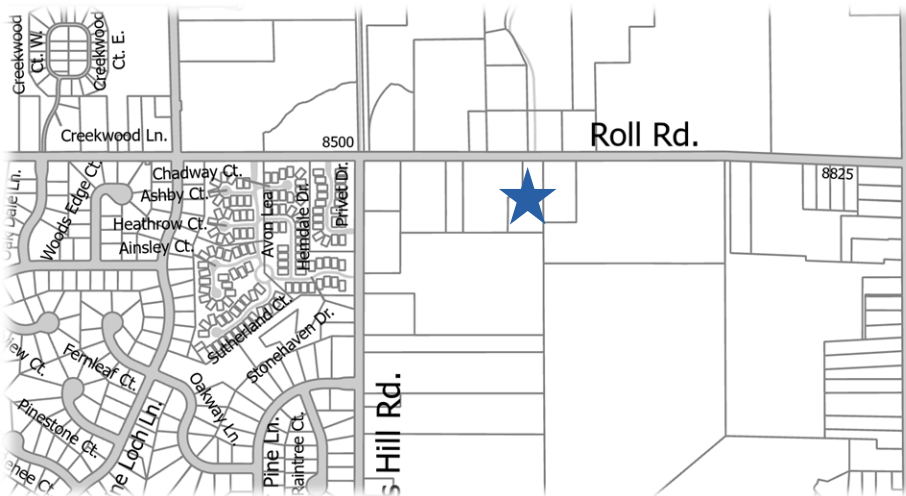
Commercial Project Highlights

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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8615 Roll Road

Re McNamara Enterprises

- Additions:**
- 3N2 Baseball Training
 - 21 Outs Softball Training
 - United Precious Metals





Commercial Project Highlights

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Clarence Hollow

STEM Automotive
10575 Main Street





Commercial Project Highlights

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Clarence Hollow

Hides-N-Seek

10611 Main Street





Commercial Project Highlights

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Clarence Hollow

Salvatore

10626 Main Street





Commercial Project Highlights

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Clarence Hollow

This Little Pig
10651 Main Street





Commercial Project Highlights

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Clarence Hollow

Shaloby Loofer Brewing

10737 Main Street





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Clarence Hollow

Duplex Buildings

10975 - 10985 Main Street



Commercial Future

2024 State of Development





Commercial Looking Forward

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Eastern Hills Mall

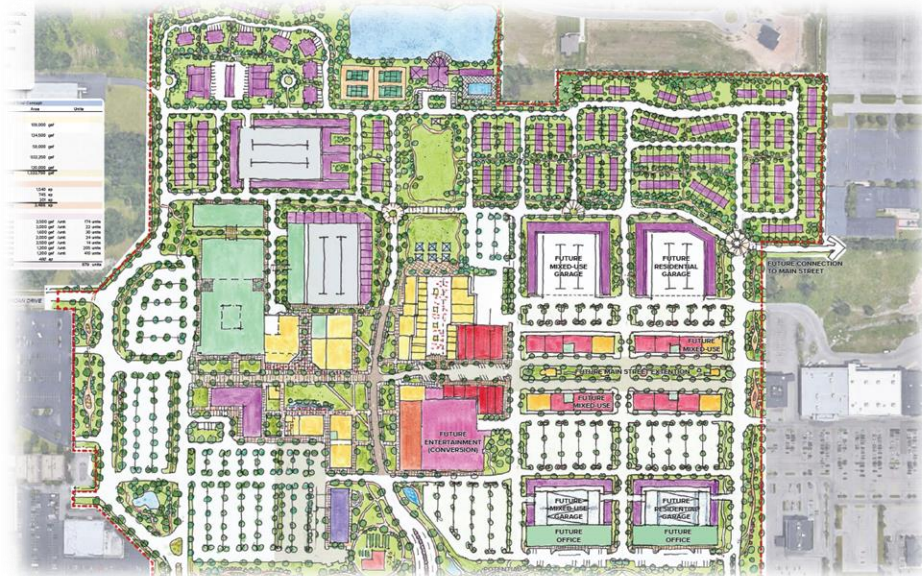
4475 | 4545 | 4555 Transit Road

Status: Conceptual Review

Project Team: Uniland

Mountain Development

Design: BCT Design Group





Commercial Looking Forward

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Bevilacqua Mixed-Use

6625 Transit Road

Status: Development Review

Project Team: Bevilacqua

Engineering: Carmina Wood Design





Commercial Looking Forward

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Zoning Code

Bliss Mixed-Use

5731 Transit Road

Status: Development Review

Project Team: Bliss

Engineering: Carmina Wood Design





Commercial Looking Forward

Natale Mixed-Use

8080 Wehrle Drive

Status: Pre-Application

Project Team: Natale

Engineering: GPI





Commercial Looking Forward

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The Farm Mixed-Use

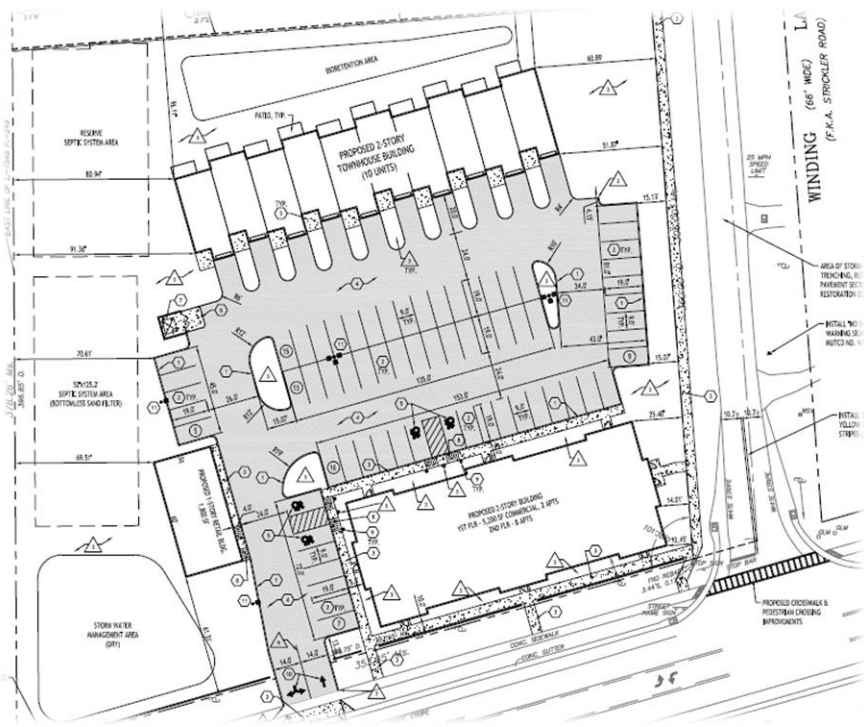
Main St. & Winding Ln.

Status: Development Review

Project Team: Salvatore

Engineering: Carmina Wood Design

Architecture: Sutton





Commercial Looking Forward

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Visone Mixed-Use

4880 Ransom Road

Status: Concept Review

Project Team: Visone

Engineering: Metzger



The Oaks Live+Work Townhomes Battle Ground, Washington



Lenox of Smyrna, Nashville, Tennessee



Northwest Crossing, Bend Oregon



Westhaven Tennessee



1 Site Plan
Scale: 1" = 50 ft



Commercial Looking Forward

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Harris Hill Commons

Sheridan Dr. & Harris Hill Rd.

Status: Development Review

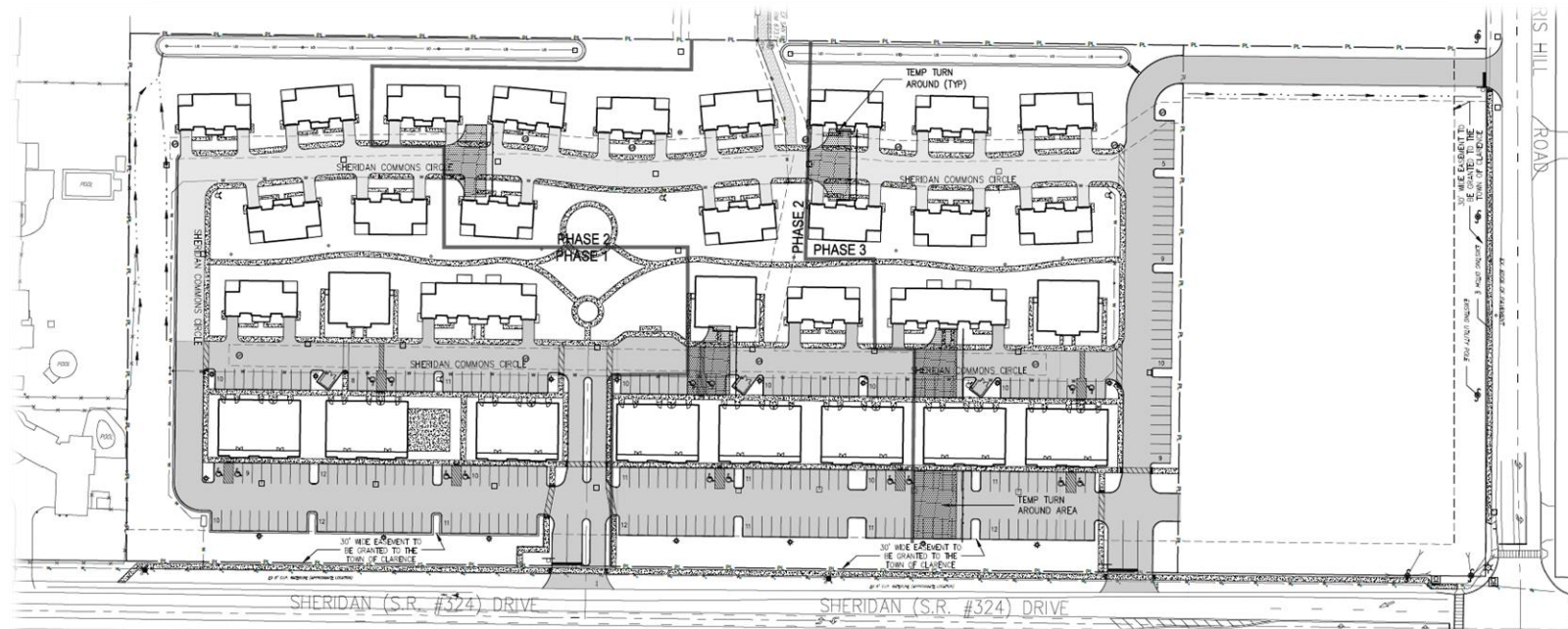
Project Team: Randaccio

Peterson

Lasky

Engineering: GPI

Architecture: Silvestri





Commercial Looking Forward

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Mattina Retail Plaza

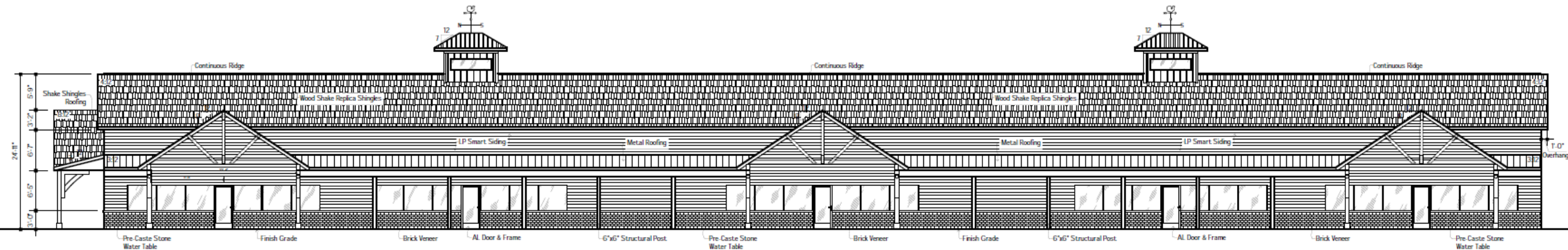
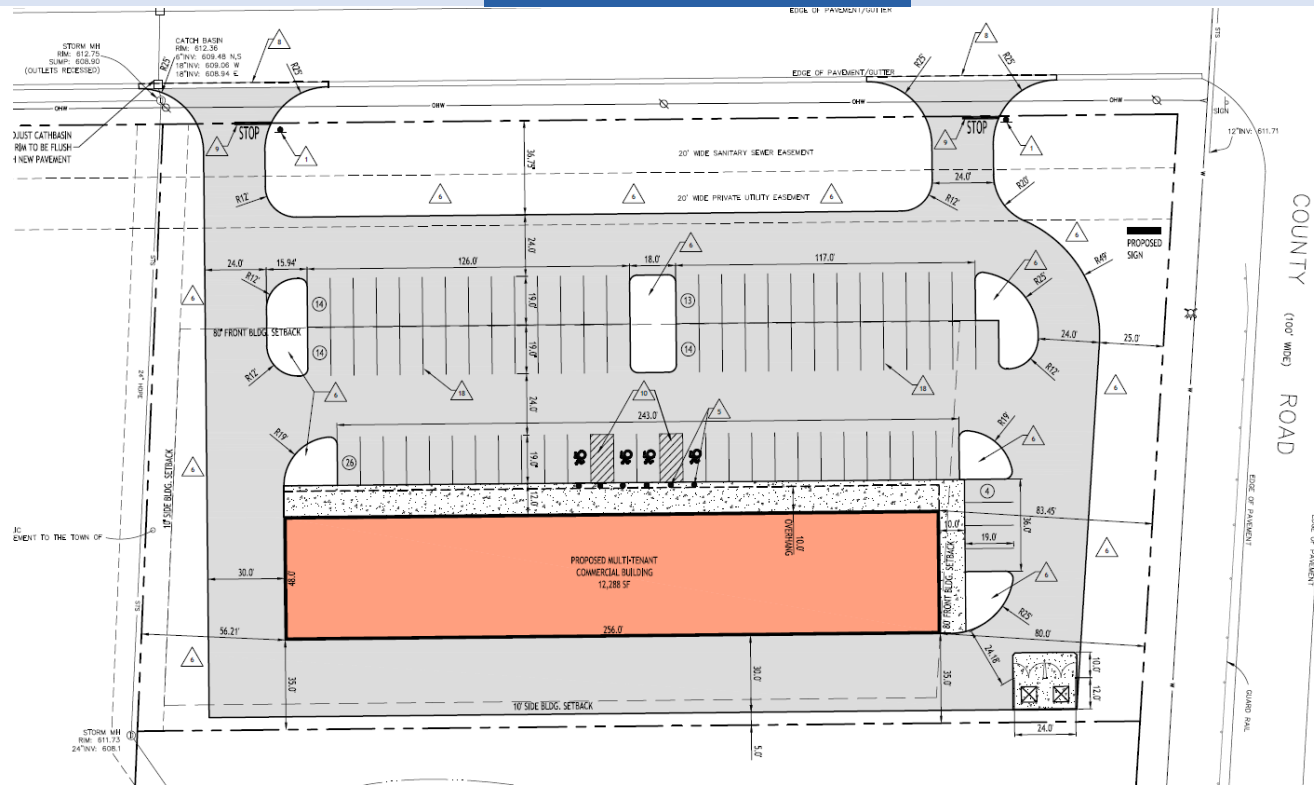
James Ryan Pkwy & County Rd.

Status: Concept Review

Project Team: Mattina

Engineering: Carmina Wood Design

Architecture: Sutton





Commercial Looking Forward

Tim Hortons

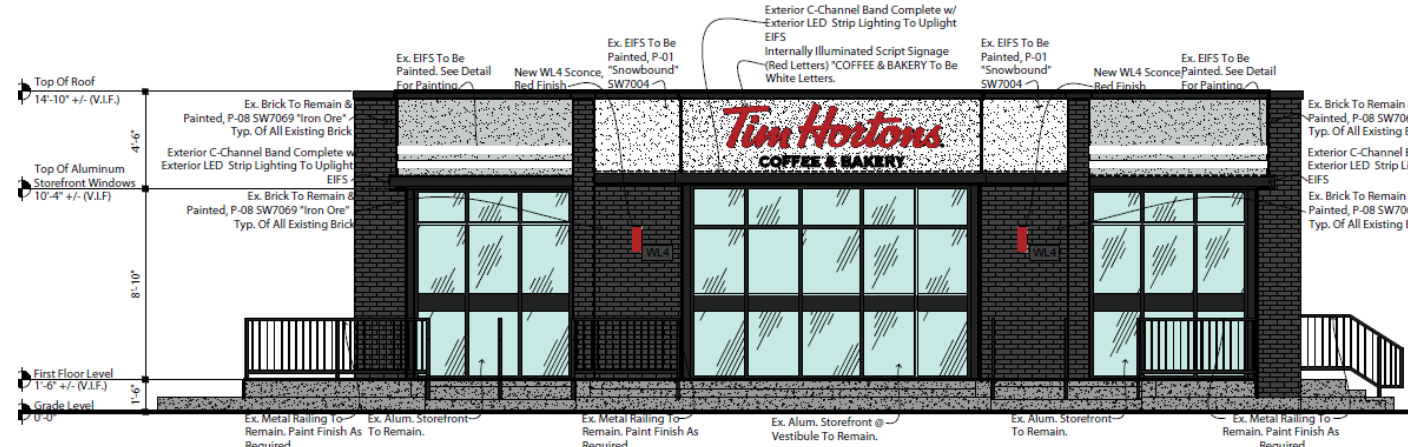
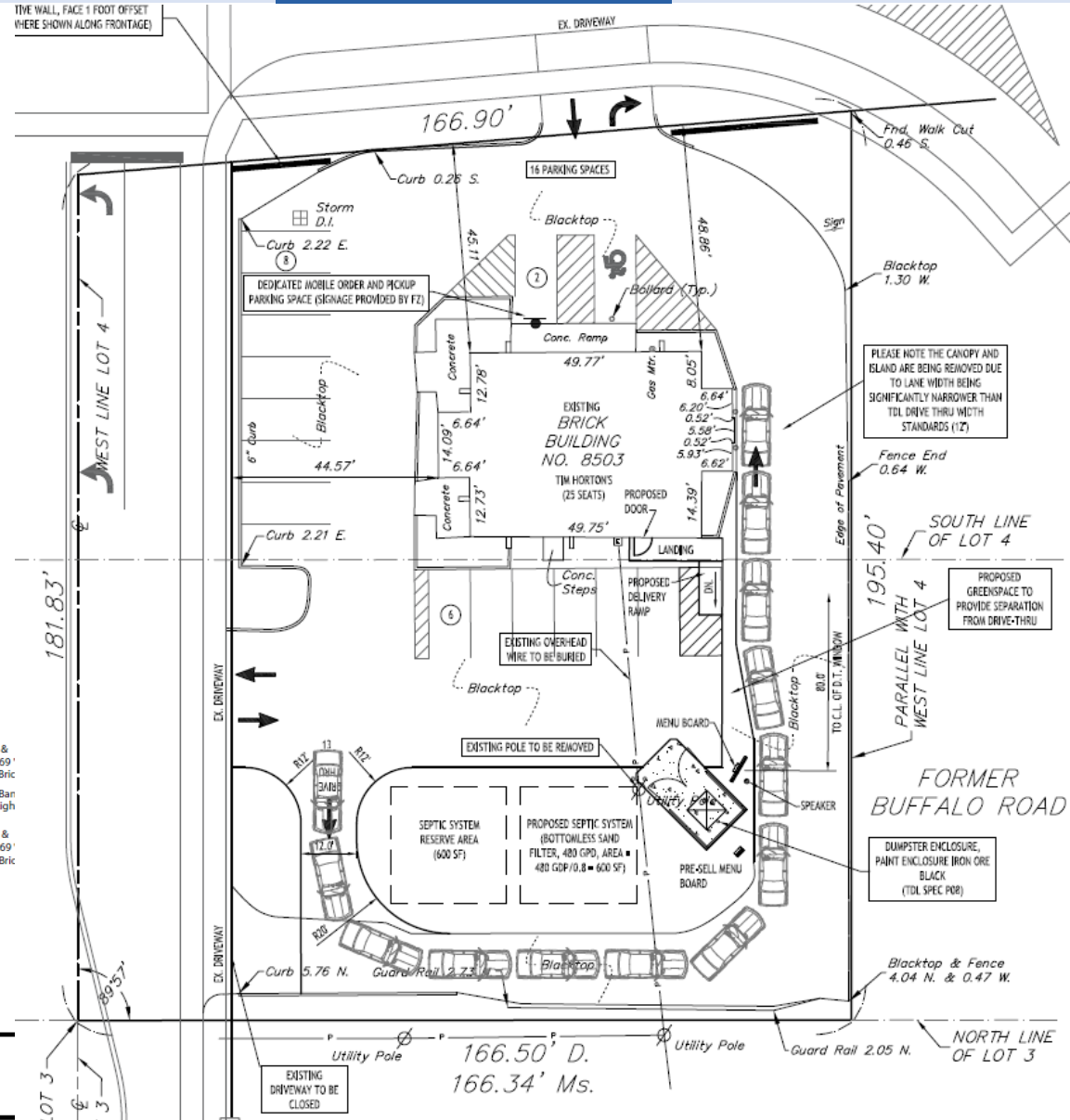
8503 Main Street

Status: Concept Review

Project Team: Kelton Enterprises / Benderson

Engineering: Carmina Wood Design

Architecture: Sutton



Proposed West Elevation (Harris Hill)



Commercial Looking Forward

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Resurgence Brewing

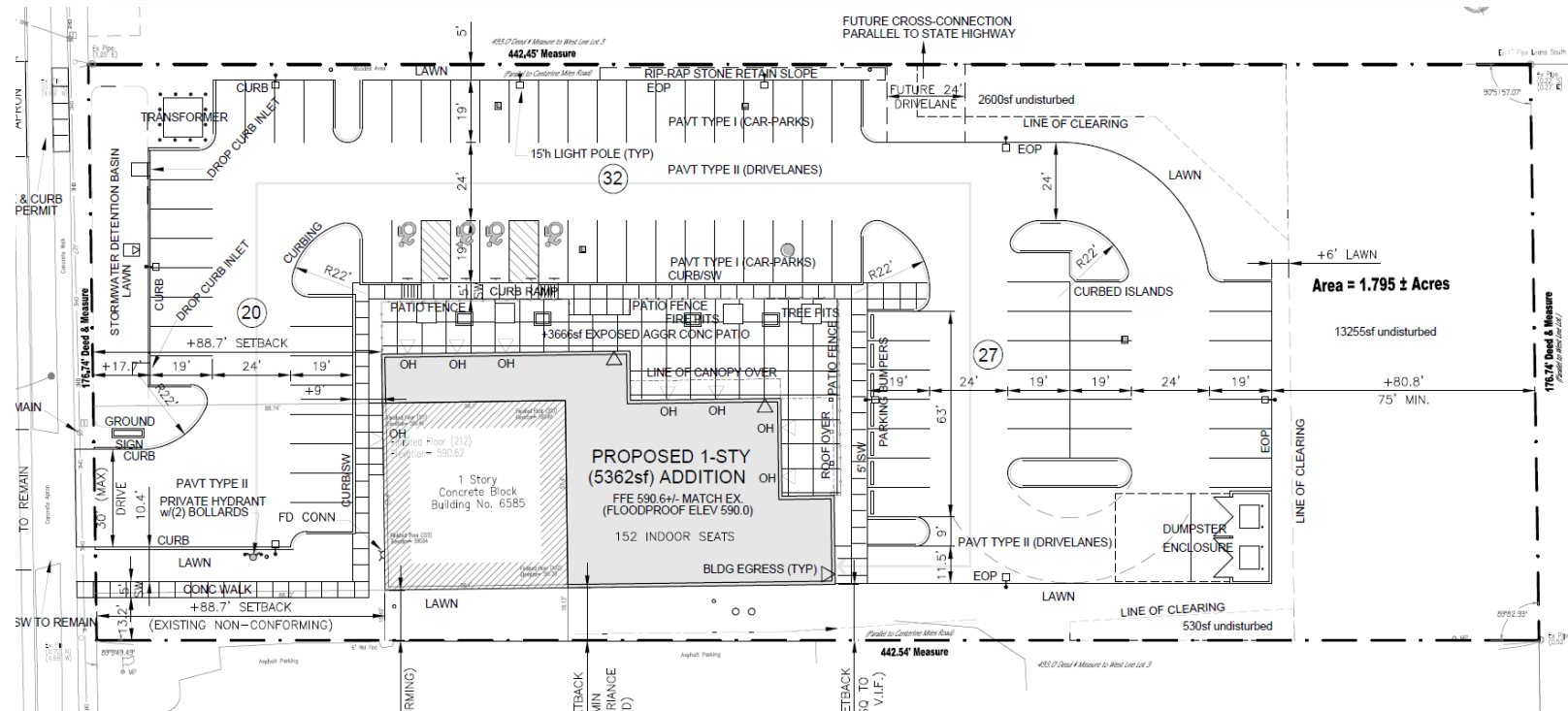
6585 Transit Road

Status: Concept Review

Project Team: Resurgence Brewing Co

Engineering: Tredo

Architecture: Silvestri





Commercial Looking Forward

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1927 Brew House

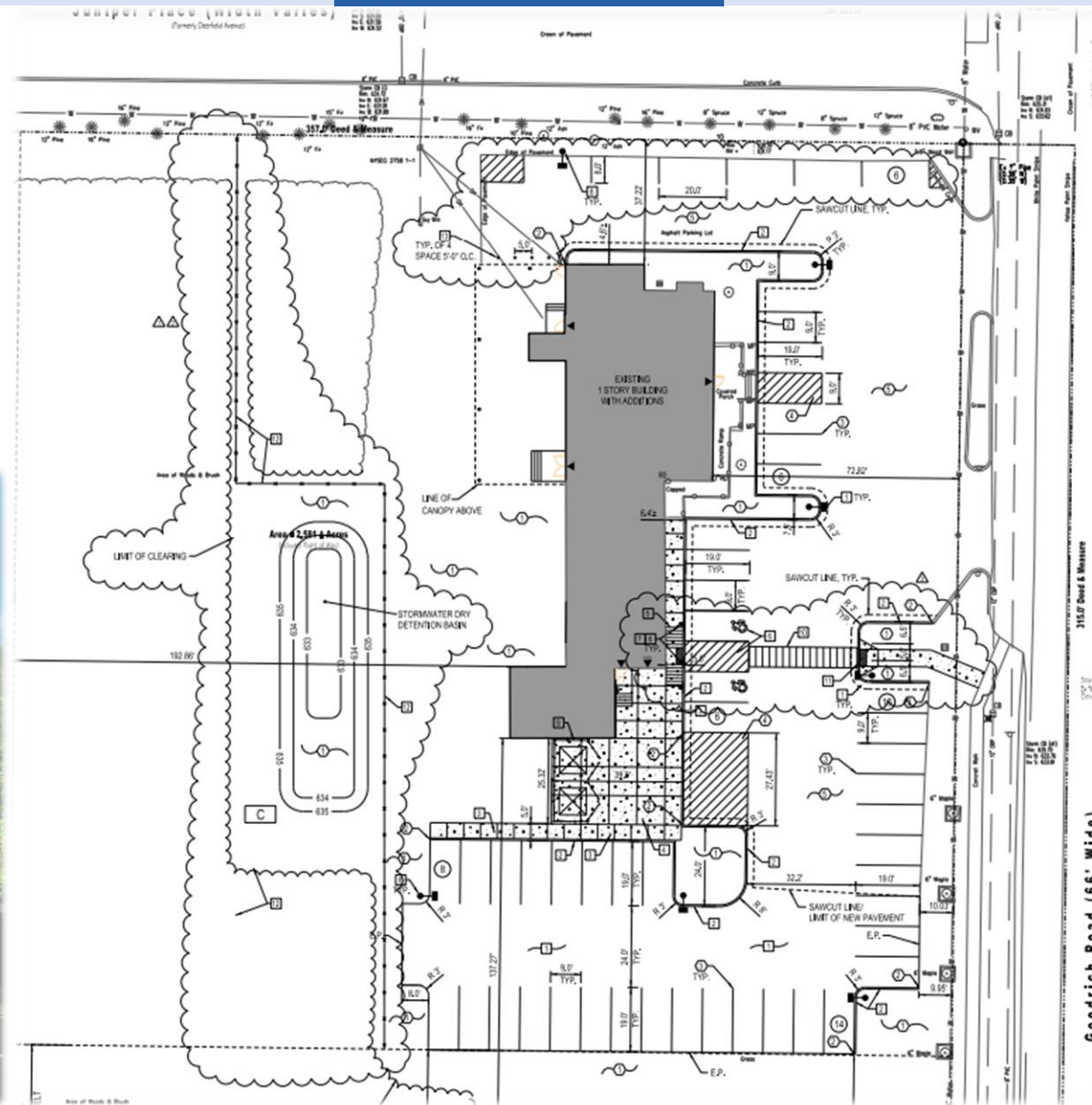
6260 Goodrich Road

Status: Development Plan

Project Team: Santora

Engineering: C&S Engineers

Architecture: Silvestri





Commercial Looking Forward

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Research Parkway Extension

Research Pkwy & Wehrle Dr

Status: Development Review

Project Team: Stephen Development

OurGeneration Solar

Engineering Metzger





Commercial Looking Forward

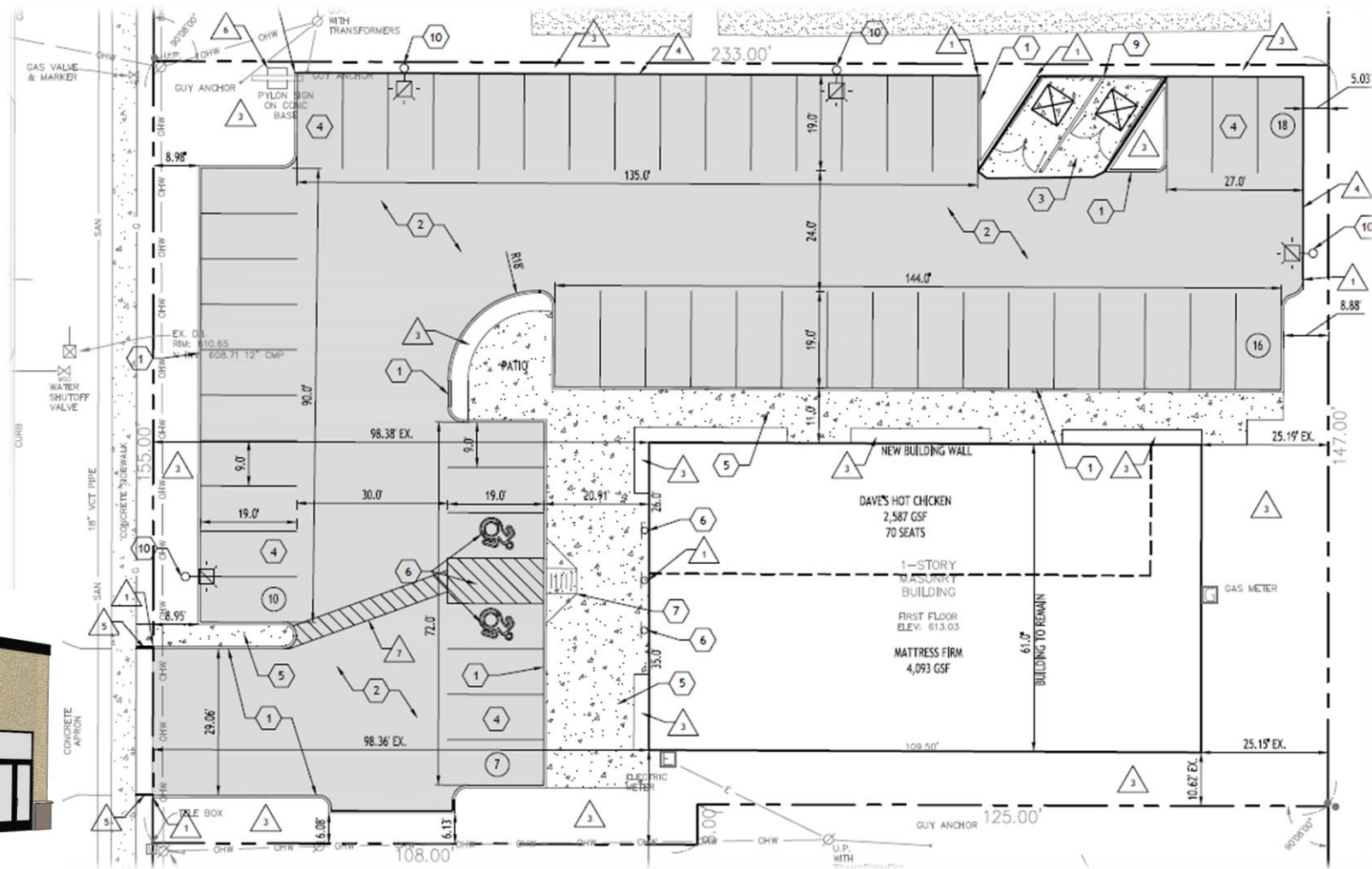
Dave's Hot Chicken & Mattress Firm

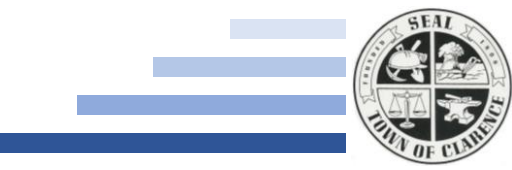
5355 Transit Road

Status: Development Review

Project Team: Caliber Brokerage

Engineer: Carmina Wood Design





Commercial Looking Forward

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Zoning Code

Roll Store Roll

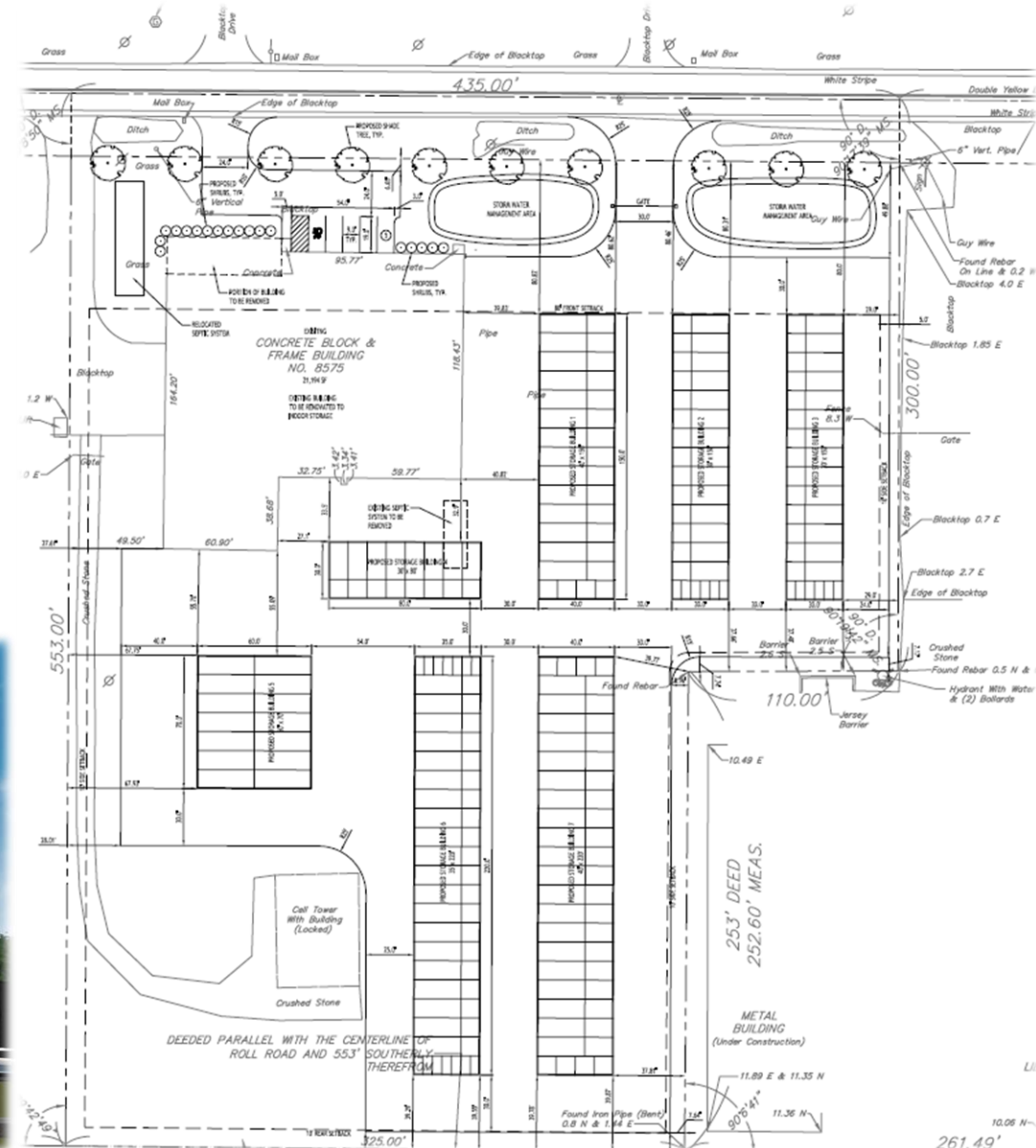
8575 Roll Road

Status: Concept Review

Project Team: Deni / Salvatore

Engineering: Carmina Wood Design

Architecture: Silvestri Architects



Residential Now

2024 State of Development





Residential Project Highlights

Introductions

Planning

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Project Highlights

Zoning Code

Waterford

Essex / Bliss / Variety

Year Approved 2003

of Lots 351

of Remaining Lots 0





Residential Project Highlights

Introductions

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Project Highlights

Zoning Code

Spaulding Green

Piestrak & Variety

Year Approved	2008
# of Lots	442 (380)
# of Remaining Lots	88





Residential Project Highlights

Introductions

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Permit Review

Project Highlights

Zoning Code

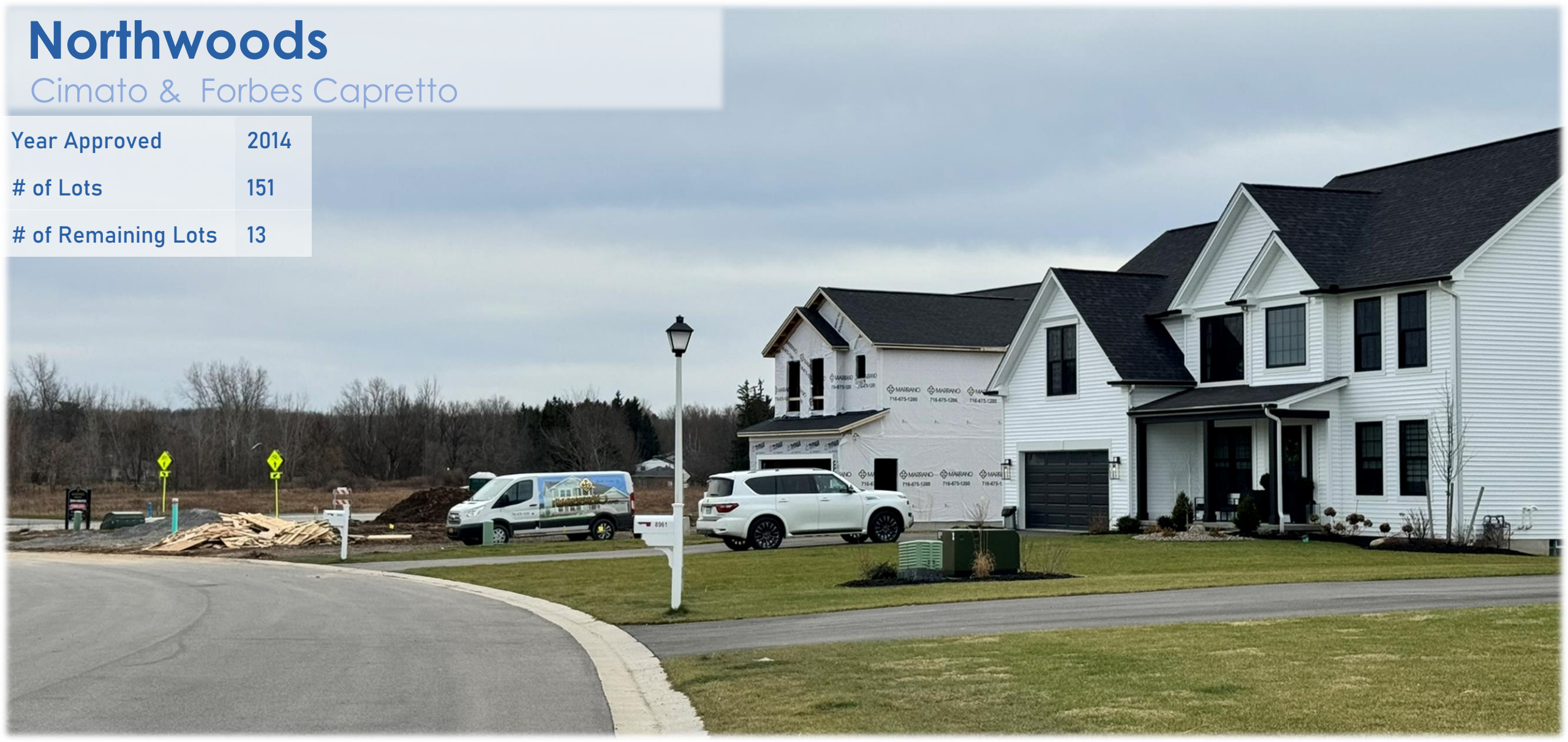
Northwoods

Cimato & Forbes Capretto

Year Approved 2014

of Lots 151

of Remaining Lots 13





Residential Project Highlights

Introductions

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Permit Review

Project Highlights

Zoning Code

Legacy Woods

Nidus Development

Year Approved 2018

of Lots 50

of Remaining Lots 49





Residential Project Highlights

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Permit Review

Project Highlights

Zoning Code

Sorellina Layne – Keller ODA

Jeff & Katie Collins

Year Approved	2022
# of Lots	8
# of Remaining Lots	8





Residential Project Highlights

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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Cannon Woods

Forbes Capretto

Year Approved	2022
# of Lots	40
# of Remaining Lots	40





Residential Project Highlights

[Introductions](#)

[Planning](#)

[Census Update](#)

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[Zoning Code](#)

Woodland Hills

Cimato & Marrano

Year Approved	2023
# of Lots	77
# of Remaining Lots	77





Residential Project Highlights

Introductions

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Project Highlights

Zoning Code

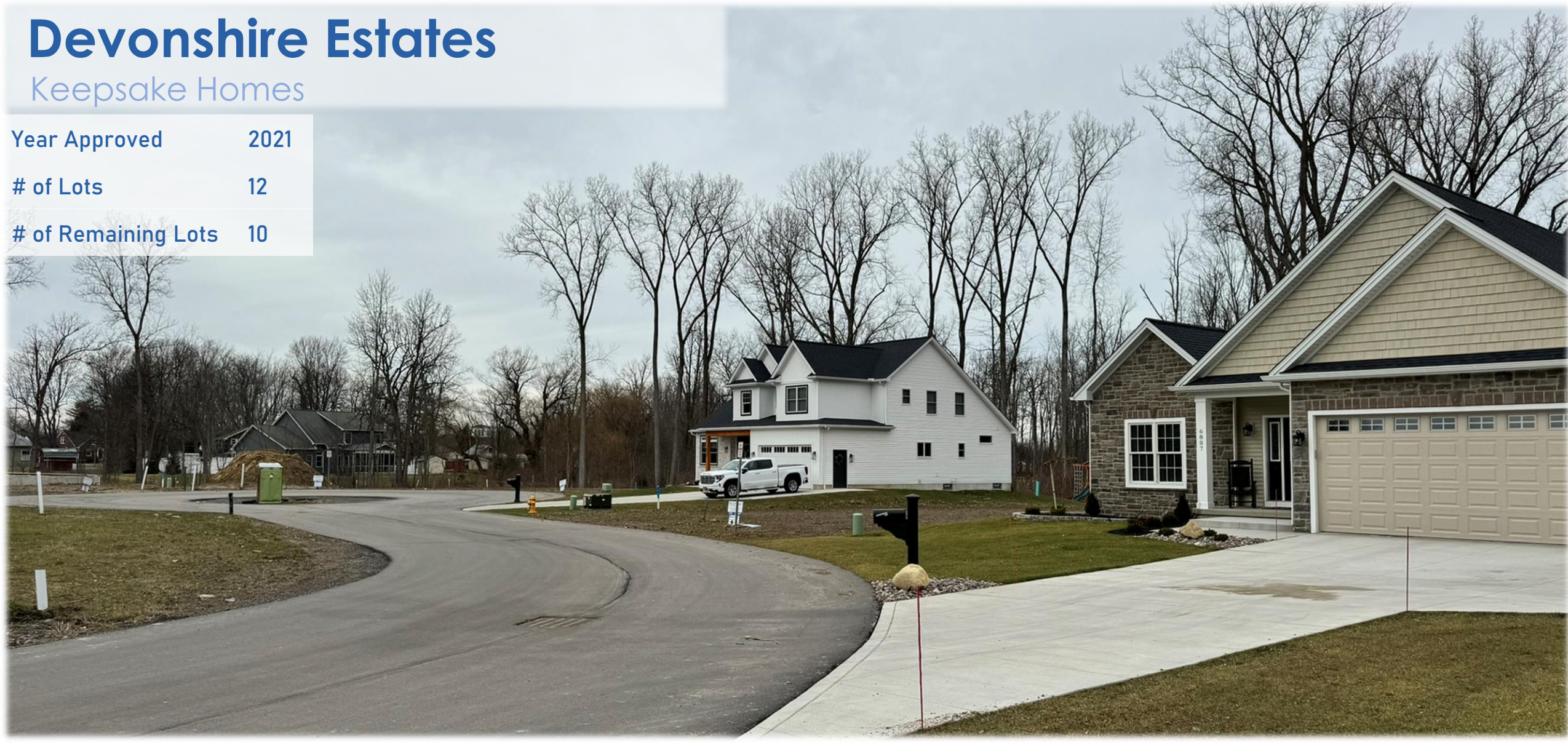
Devonshire Estates

Keepsake Homes

Year Approved 2021

of Lots 12

of Remaining Lots 10





Residential Project Highlights

Introductions

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Project Highlights

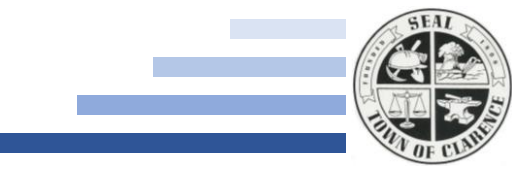
Zoning Code

Strickler Estates

Frank Rivett

Year Approved	2003
# of Lots	23
# of Remaining Lots	5





Residential Project Highlights

Introductions

Planning

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Permit Review

Project Highlights

Zoning Code

Rock Oak – East Expansion

Stephen Development

Year Approved	2020
# of Lots	27
# of Remaining Lots	8



Residential Future

2024 State of Development





Residential Looking Forward

Introductions

Planning

Census Update

Permit Review

Project Highlights

Zoning Code

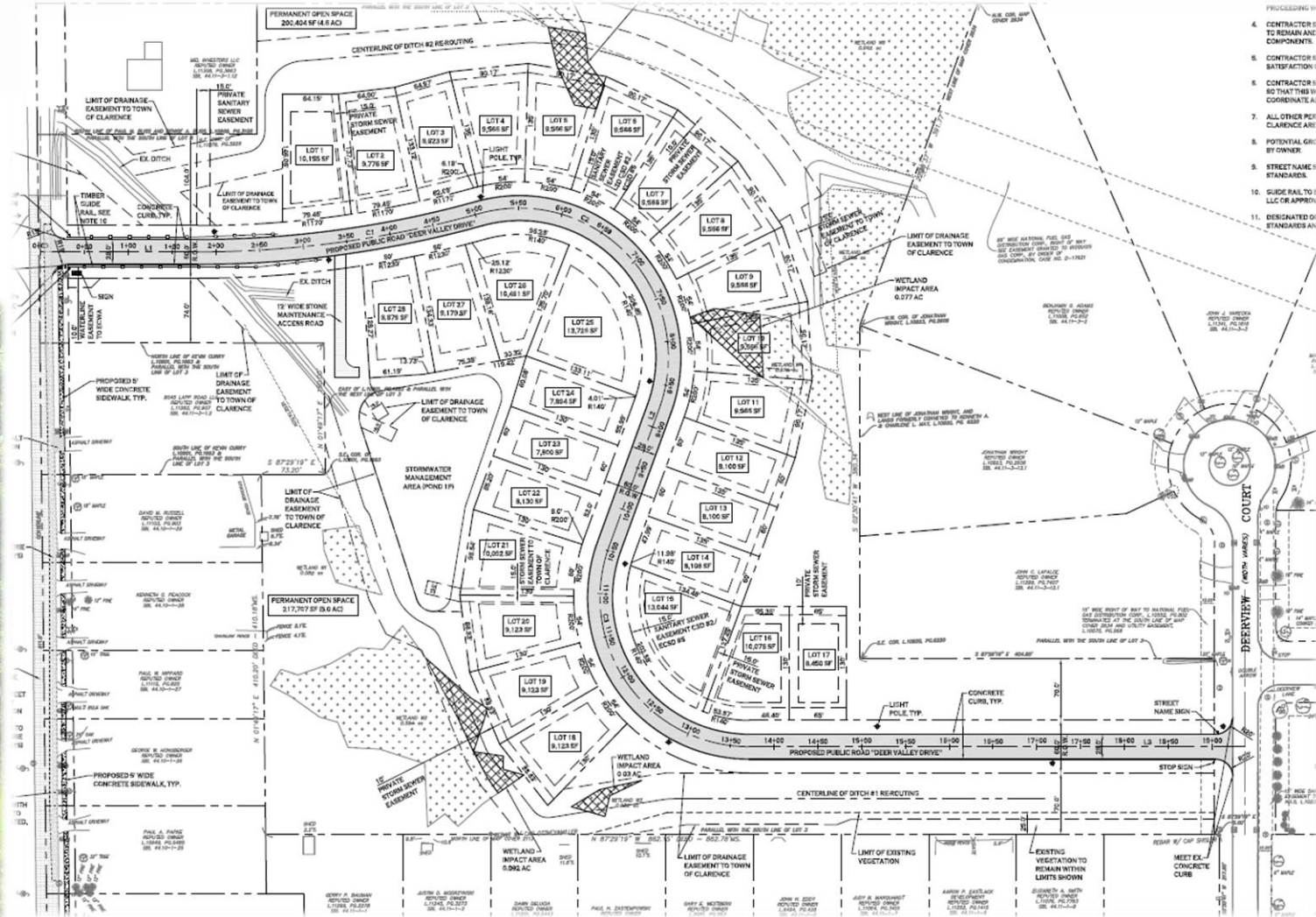
Deerview Estates

Bliss

Year Approved 2021

of Lots 31

of Remaining Lots 31



- 11. DESIGNATED OPEN SPACE
- 10. SIDE DRAINAGE
- 9. STREET NAME
- 8. POTENTIAL CLARENCE AREA
- 7. ALL OTHER PERMITS
- 6. CONTRACTOR SHALL COORDINATE ALL UTILITIES
- 5. CONTRACTOR SHALL SATISFY ACTION
- 4. CONTRACTOR SHALL REMAIN AND COMPONENTS
- 3. CONTRACTOR SHALL
- 2. CONTRACTOR SHALL
- 1. CONTRACTOR SHALL



Residential Looking Forward

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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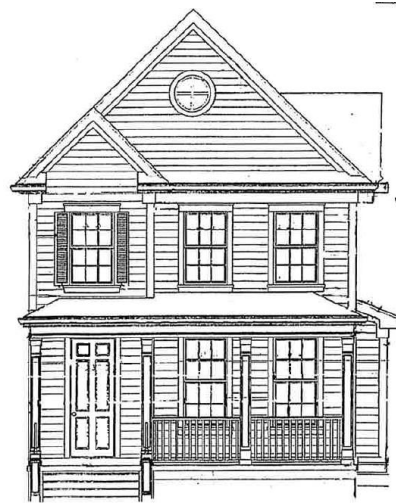
Clarence Center OSDDO

Piastrak & Designer Homes of WNY

Year Approved 2022

of Lots 40

of Remaining Lots 40





Residential Looking Forward

Introductions

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Census Update

Permit Review

Project Highlights

Zoning Code

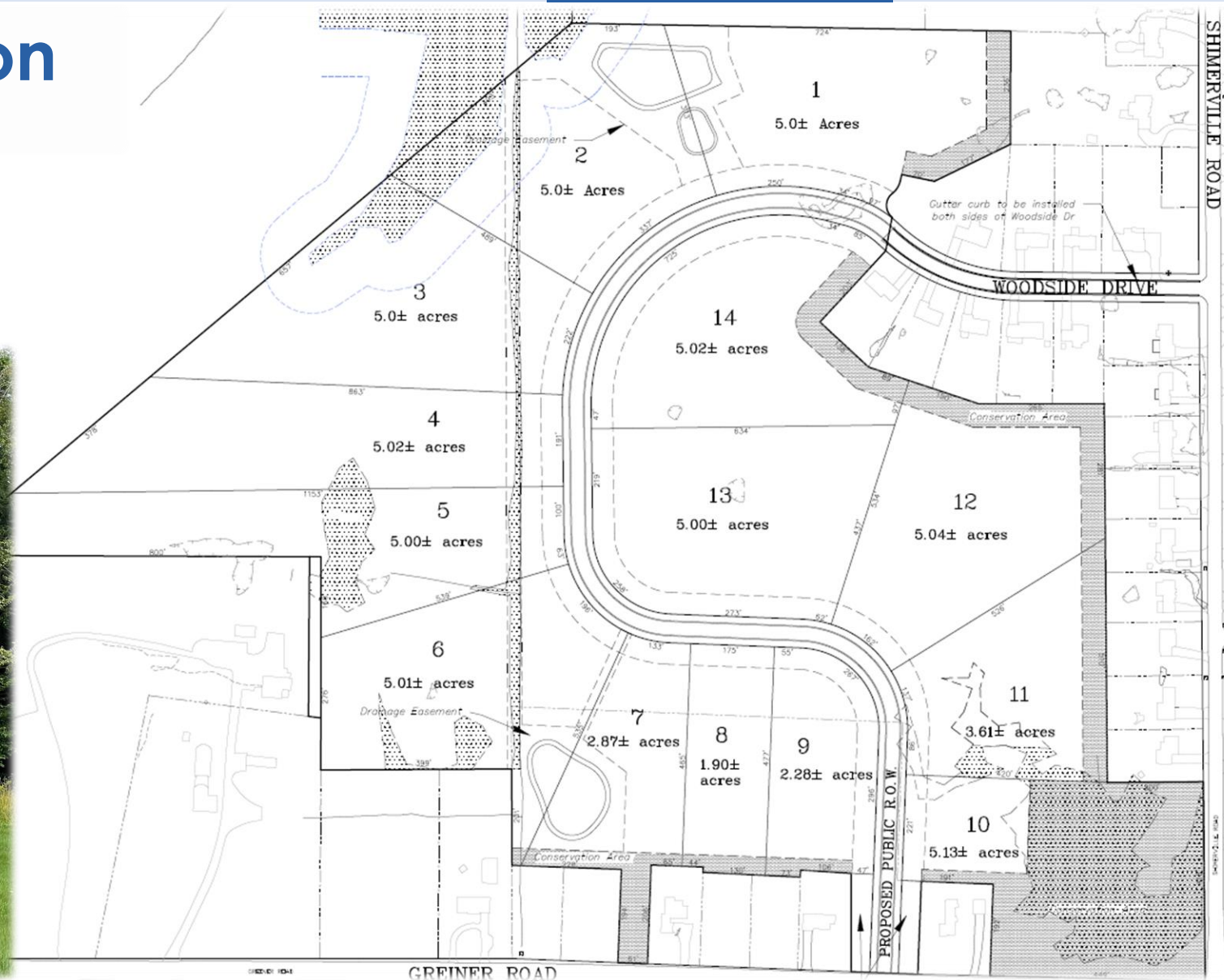
Woodside Drive Extension

Natale

Year Approved 2023

of Lots 15

of Remaining Lots 15



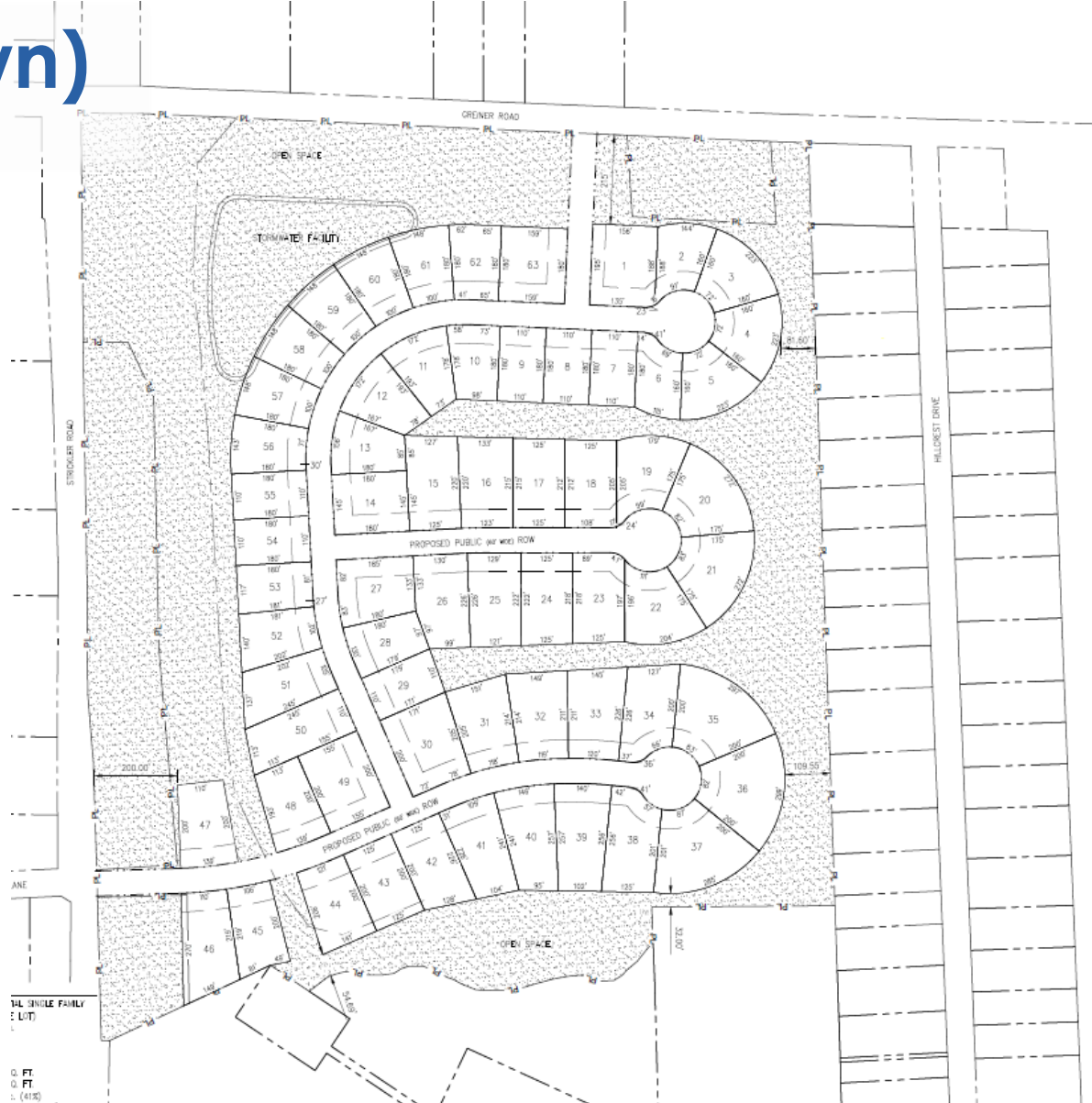


Residential Looking Forward

Strickler and Greiner (Forest Lawn)

Piastrak & Designer Homes of WNY

Year Approved	Under Review
# of Lots	63
# of Remaining Lots	63





Residential Looking Forward

Introductions

Planning

Census Update

Permit Review

Project Highlights

Zoning Code

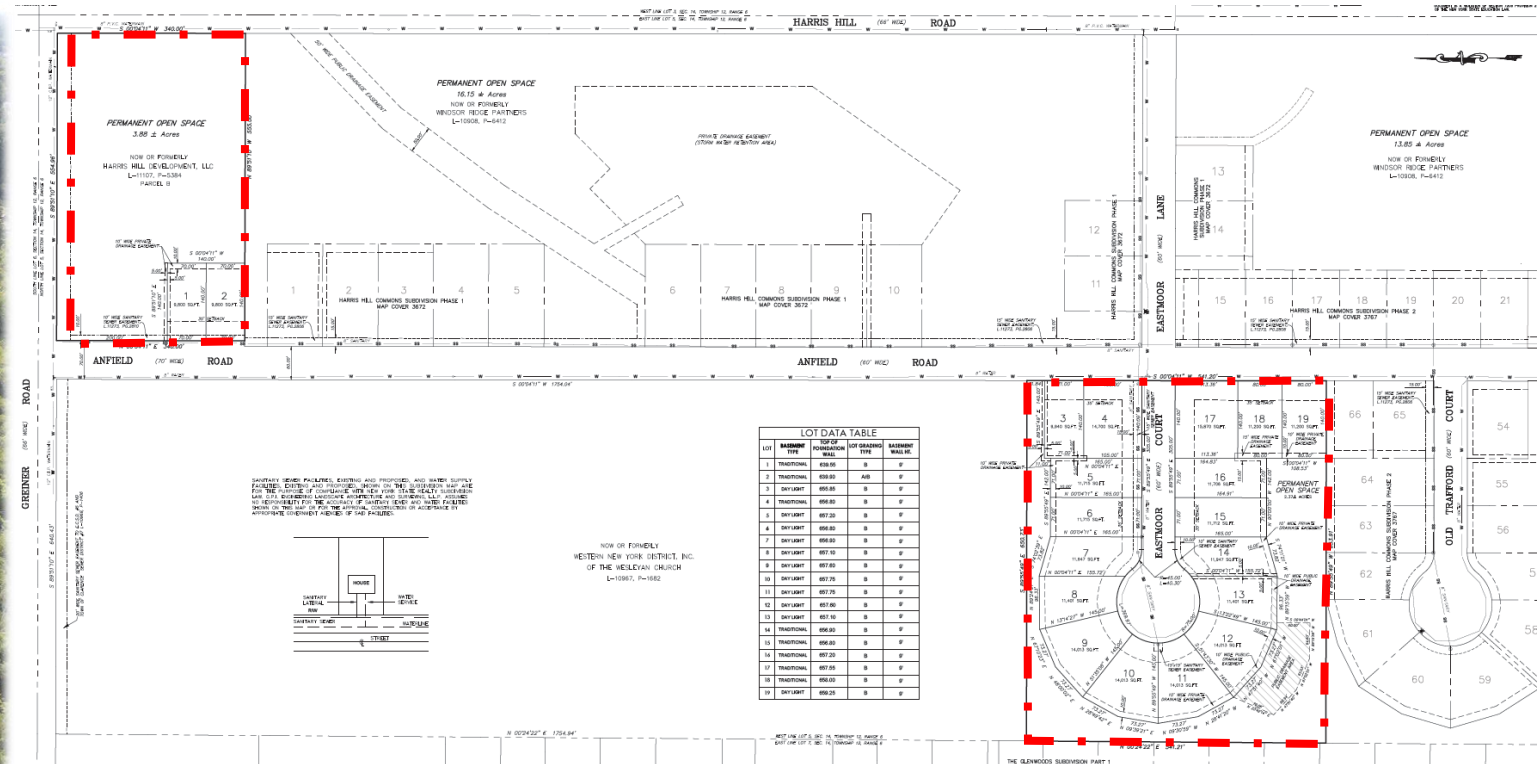
Harris Hill Commons Phase 4

Randaccio, Peterson, Lasky

Year Approved Under Review

of Lots 19

of Remaining Lots 19





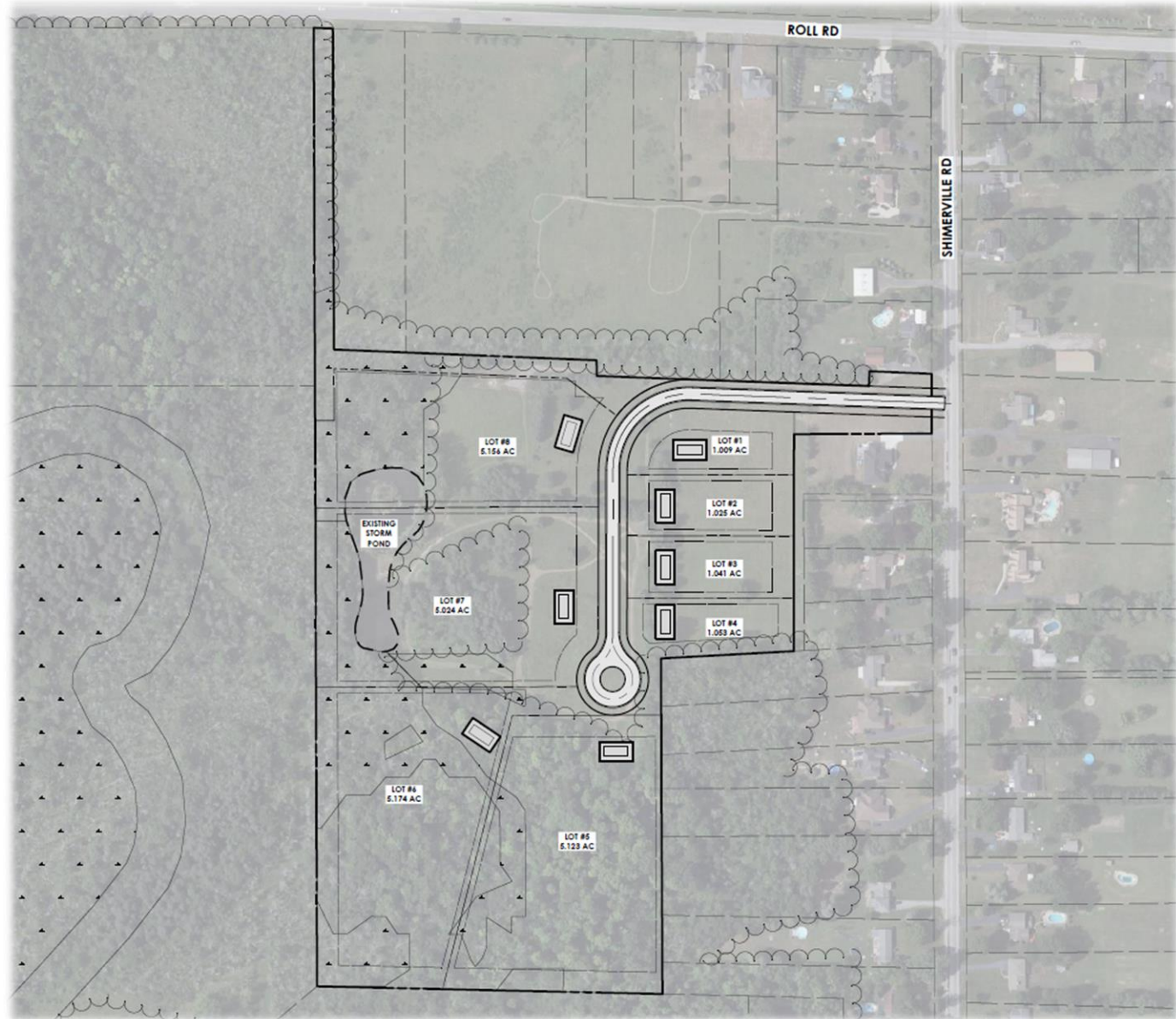
Residential Looking Forward

Introductions	Planning	Census Update	Permit Review	Project Highlights	Zoning Code
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Marinaccio Subdivision

Paul Marinaccio

Year Approved	Under Review
# of Lots	8
# of Remaining Lots	8



2024 State of Development

Town of Clarence

